

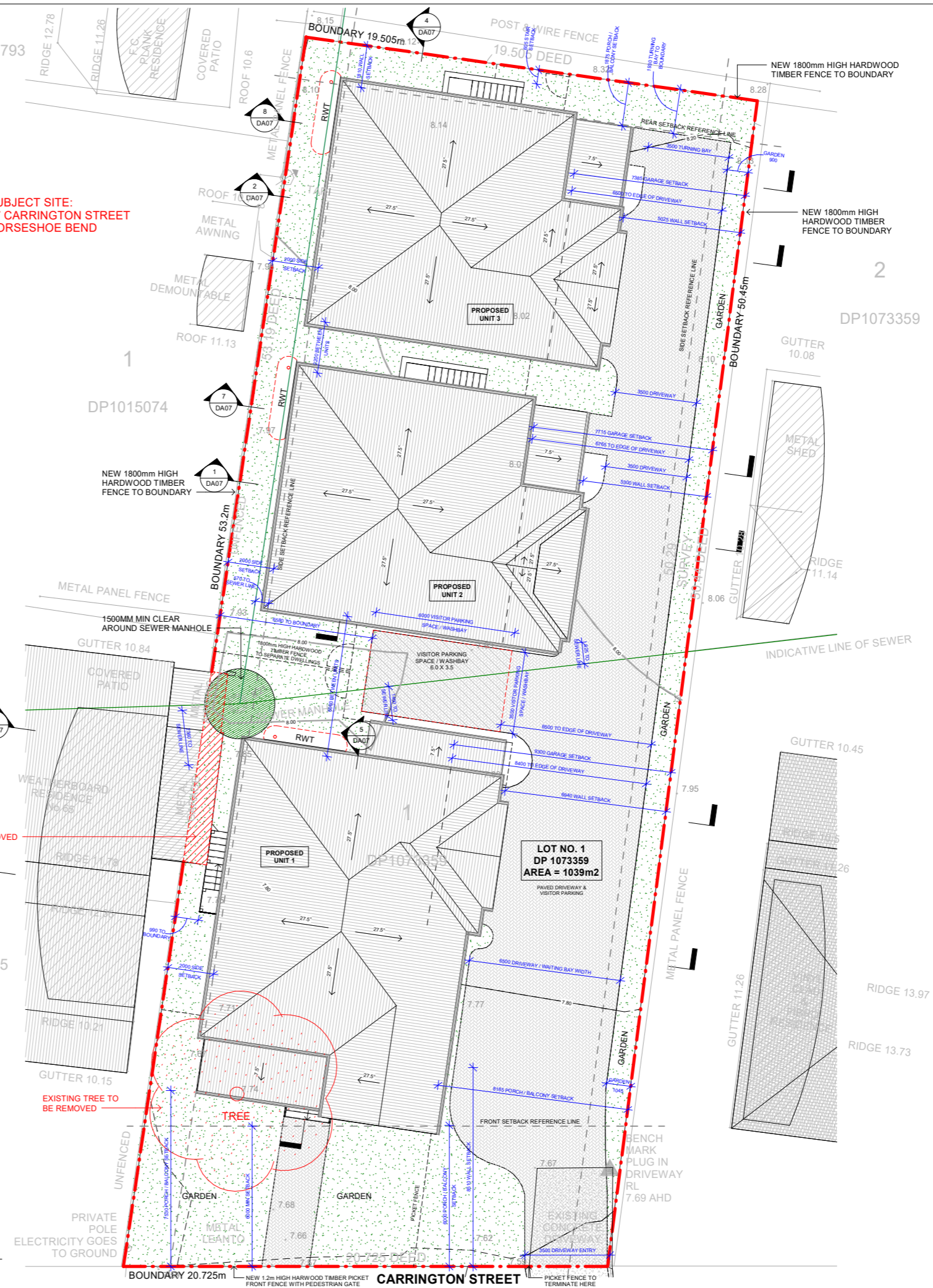


LOCATION PLAN (SOURCE: NEARMAP)

SITE COVERAGE CALCULATION	
SITE AREA	1039m ²
SITE COVERAGE	720.32m ² - 69.33%
UN-BUILT AREA	318.68m ² - 30.67%
FLOOR AREA CALCULATION	
UNIT 1	INTERNAL FLOOR AREA = 232m ² OUTDOOR (PORCH/BALCONIES) = 61m ² TOTAL FLOOR AREA = 293m ²
UNIT 2	INTERNAL FLOOR AREA = 192.5m ² OUTDOOR (PORCH/BALCONY) = 19.7m ² TOTAL FLOOR AREA = 212.2m ²
UNIT 3	INTERNAL FLOOR AREA = 192.5m ² OUTDOOR (PORCH/BALCONY) = 19.7m ² TOTAL FLOOR AREA = 212.2m ²

SUBJECT SITE:
67 CARRINGTON STREET
HORSESHOE BEND

1 SITE PLAN
1:100



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Sheet Issue Date: 04.05.2023

No.	Description	Date
A	CONCEPTUAL DESIGN ISSUED FOR PRE-LODGEEMENT MEETING REVIEW	17.02.2023
B	ISSUED FOR APPROVAL	04.05.2023

PRIDE BUILT HOMES
PROPOSED
TOWNHOUSES
67 CARRINGTON STREET
HORSESHOE BEND 2320

SHEET DA02
SITE PLAN

Project number PBH-202301
Project Issue Date 04.05.2023
Drawn by E TILSE
Checked & Approved by H GROUP

PBH-202301

Scale 1:100

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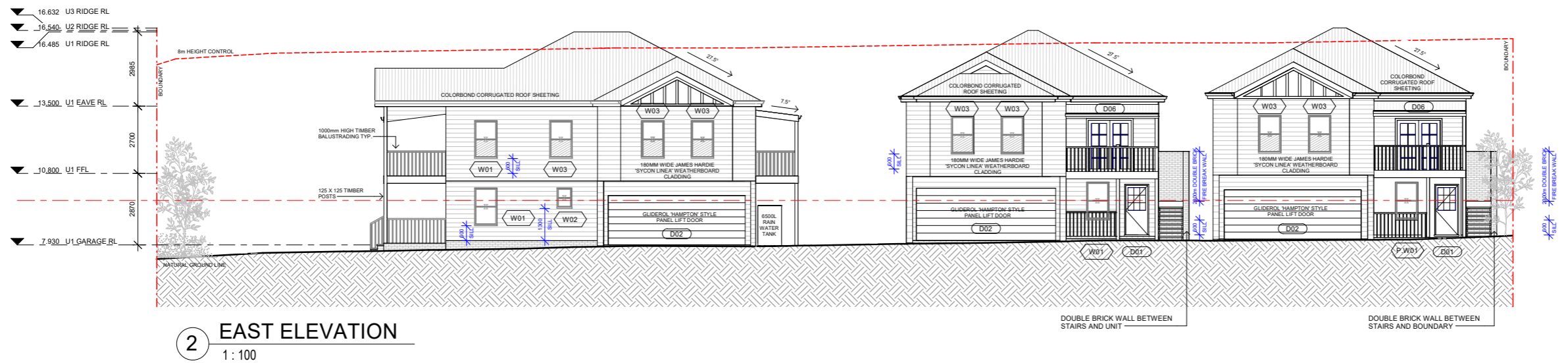
NOTE:

 - ALL VERANDAH BEAMS, POSTS AND FASCIA TO BE CONSTRUCTED WITH TIMBER.

 - ALL WINDOW FRAMES TO BE WIDE ALUMINIUM PROFILE THAT REFLECT TIMBER PROFILE.

 - ALL BALUSTRADE TO BE TIMBER.

 - GARAGE DOOR TO BE CLASSICAL STYLE AS PER FINISHES SCHEDULE.



2 EAST ELEVATION

 1:100



6 SOUTH ELEVATION

 1:100

0008618830 02 May 2023


 Assessor Gavin Chambers

 Accreditation No. DMN/13/1491

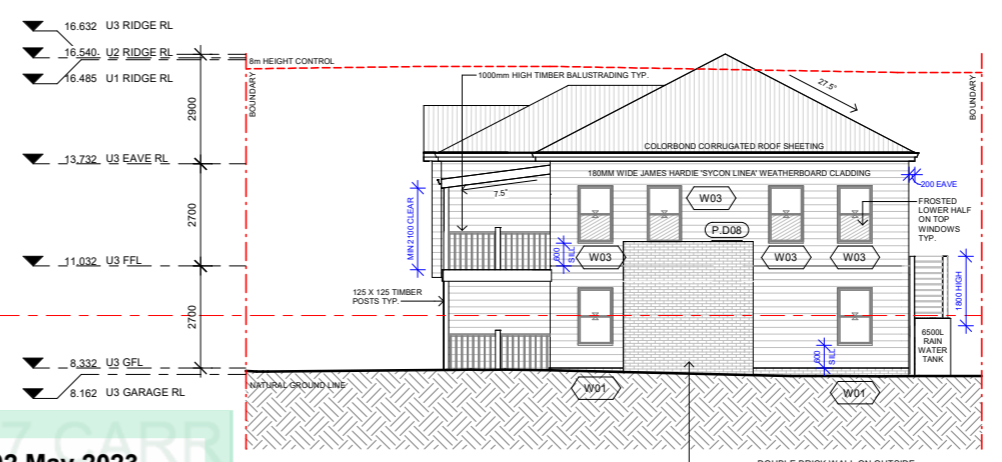
 Address

 67 Carrington Street ,

 Horseshoe Bend , NSW , 2320

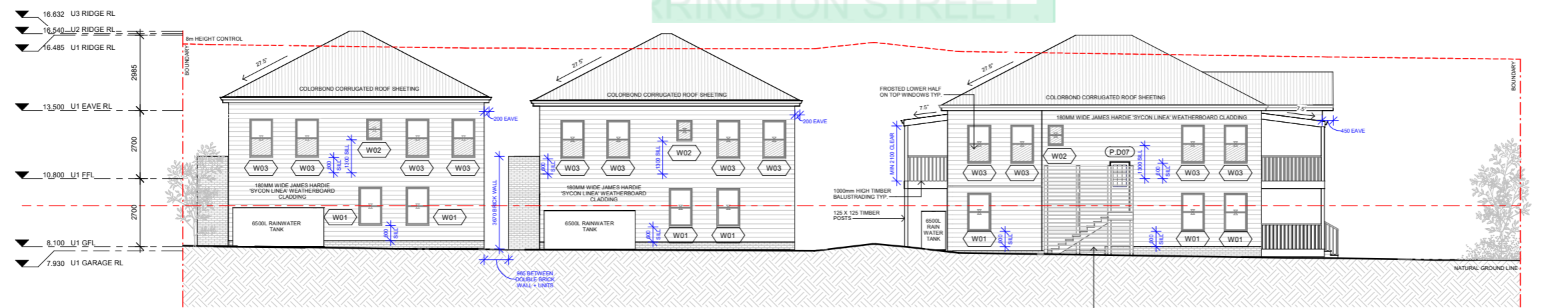


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4 NORTH ELEVATION

 1:100



7 WEST ELEVATION

 1:100

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PRIDE BUILT HOMES

 PROPOSED

 TOWNHOUSES

 67 CARRINGTON STREET

 HORSESHOE BEND 2320

SHEET DA06

ELEVATIONS

Project number PBH-202301

Project Issue Date 04.05.2023

Drawn by E TILSE

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PBH-202301

Scale 1 : 100



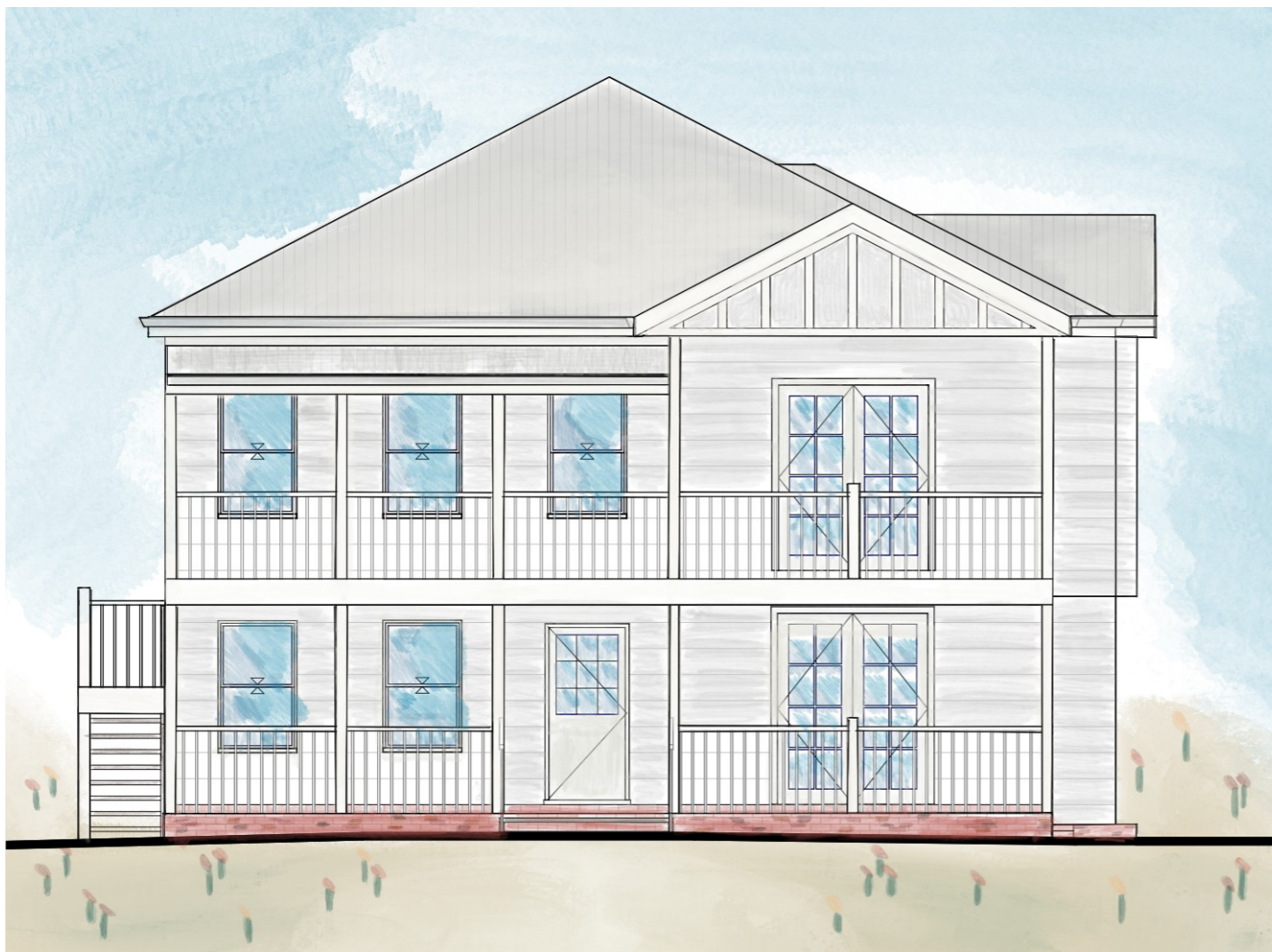
DOUBLE HUNG WINDOW REF. IMAGE FOR REVEAL SIZE
 (SOURCE: 'CHAMPION WINDOWS, SUNROOMS, HOME EXTERIORS')



FRONT TIMBER PICKET FENCE REF. IMAGE
 (SOURCE: SOFTWOODS)



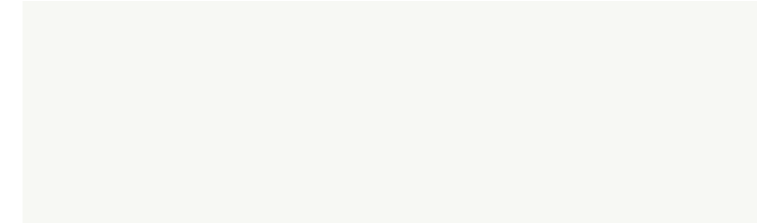
SELECTED GARAGE DOOR PANEL PROFILE
 (SOURCE: GLIDEROL)



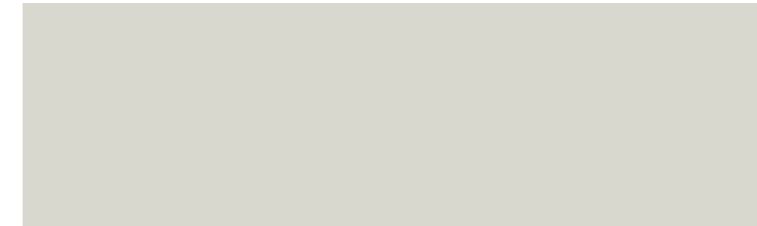
FRONT ELEVATION OF PROPOSED MULTI-DWELLING



CORRUGATED ROOF SHEETING AND GUTTER
 COLOUR: COLOBOND 'SHALE GREY'



ROOF FASCIA, TRIM, TIMBER POSTS, STAIR AND BALCONY BALUSTRADING:
 COLOUR: DULUX 'VIVID WHITE'



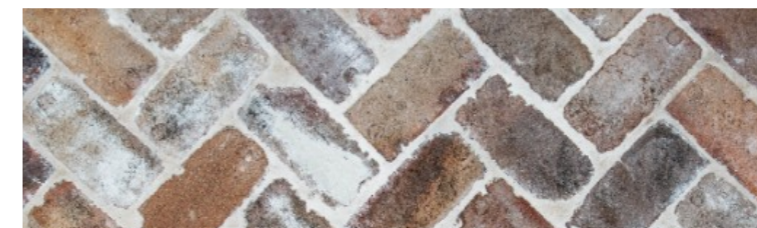
WINDOW AND DOOR FRAMES
 COLOUR: COLORBOND 'SURFMIST'



CLADDING - JAMES HARDIE 'SYCON LINEA' WEATHERBOARD
 COLOUR: DULUX 'TRANQUIL RETREAT'



FACEBRICK - PGH 'DRY PRESSED ARCHITECTURAL' BRICKS
 COLOUR: 'BRADFIELD BRONZE'



DRIVEWAY PAVEMENT - RECYCLED BRICKS
 (IMAGE SOURCE: JESSIE HARRIS)

NOTE: ALL DOWNPIPES TO BE PAINTED SAME COLOUR AS WALL CLADDING - DULUX 'TRANQUIL RETREAT'

① **SCHEDULE OF COLOURS AND MATERIALS**
 1 : 25

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PRIDE BUILT HOMES
 PROPOSED
 TOWNHOUSES
 67 CARRINGTON STREET
 HORSESHOE BEND 2320

SHEET DA08
MATERIALS AND
WATERCOLOUR

Project number PBH-202301

Project Issue Date 04.05.2023

Drawn by E TILSE

Checked & Approved by H GROUP

PBH-202301

Scale 1 : 25

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LEGEND

- BOUNDARY
- SOFT LEAF BUFFALO TURF
- STEPPING STONE
- OUTDOOR PAVEMENT / PAVED DRIVEWAY

Sheet Issue Date: 20.03.2023

No.	Description	Date
A	CONCEPTUAL DESIGN ISSUED FOR PRE-LODGEMENT MEETING REVIEW	17.02.2023
B	ISSUED FOR APPROVAL	04.05.2023

PRIDE BUILT HOMES
PROPOSED TOWNHOUSES
67 CARRINGTON STREET
HORSESHOE BEND 2320

SHEET DA11
LANDSCAPE PLAN

Project number PBH-202301

Project Issue Date 20.03.2023

Drawn by **AW**

Checked & Approved by **H GROUP**

PBH-202301

Scale As indicated

GENERAL NOTES:

- WORK TO FIGURED DIMENSIONS DO NOT SCALE FROM DRAWINGS. THESE CONCEPT DRAWINGS ARE NOT TO BE USED OR READ AS CONSTRUCTION DRAWINGS OR USED IN THE SETOUT OF ANY WORKS UNDERTAKEN. ALL CONCEPT DRAWINGS ARE ONLY INTENDED AS A VISUAL ONLY. PLEASE REPORT ANY DISCREPANCIES TO DESIGNER.

- 75mm ALUMINIUM LINK EDGE USED FOR GARDEN EDGING.
- TREES USED IN THIS DESIGN ARE TO HAVE A 5FT TALL SINGLE TERMINAL SHOOT/LEADER. THIS IS TO AID IN AN UNOBSTRUCTED VIEW BELOW THE TREE'S CANOPY.
- ALL RETAINING WALLS ON THIS SITE ARE TO BE PAINTED & RENDERED CORED FILLED MASONRY.
- NO EARTHWORKS TO BE CARRIED OUT OUTSIDE OF PROPERTY BOUNDARY.
- ALL GARDENS BUILT AT THE FRONT AND REAR OF PROPERTY IS TO BE MOUNDED GARDENS TO HELP WITH THE SLIGHT LEVEL CHANGES.
- REAR PLANTING DENSITY COMPLIES WITH APPROVED LMCC COVENANT.

- SMALL TREES SELECTED ALONG REAR BOUNDARY ARE USED TO REDUCE WIND SPEED, HELP IN TRAPPING EMBERS AND OTHER FLYING DEBRIS FROM REACHING THE HOUSE.

IMPORTANT SOIL & GARDENS NOTES:

SOIL DETAILS

- ALL SOIL IN AREAS TO BE PLANTED OUT OR GRASSED ARE TO BE TILED TO A DEPTH OF 100mm AND TREATED WITH GYPSUM AS PER INSTALLATION DETAILS BEFORE ADDING ANY IMPORTED SOIL.
- GARDEN SOIL USED ON ALL PROPOSED LOTS IS TO BE AN IMPORTED PREMIUM GARDEN SOIL MIX WITH NO LESS THAN 40% ORGANIC MATTER IN PLANTED AREAS. FREE OF WEED SEEDS AND DISEASE. HIGH AMOUNTS OF POULTRY MANURE THROUGH THE MIX ARE NOT RECOMMENDED.
- SOIL DEPTH IN GARDEN AREA'S TO BE BETWEEN 200mm-300mm AS REQUIRED.
- SOIL DEPTH IN GRASSED AREA'S TO BE BETWEEN 75mm - 100mm AS REQUIRED.

GARDENS ADVISE

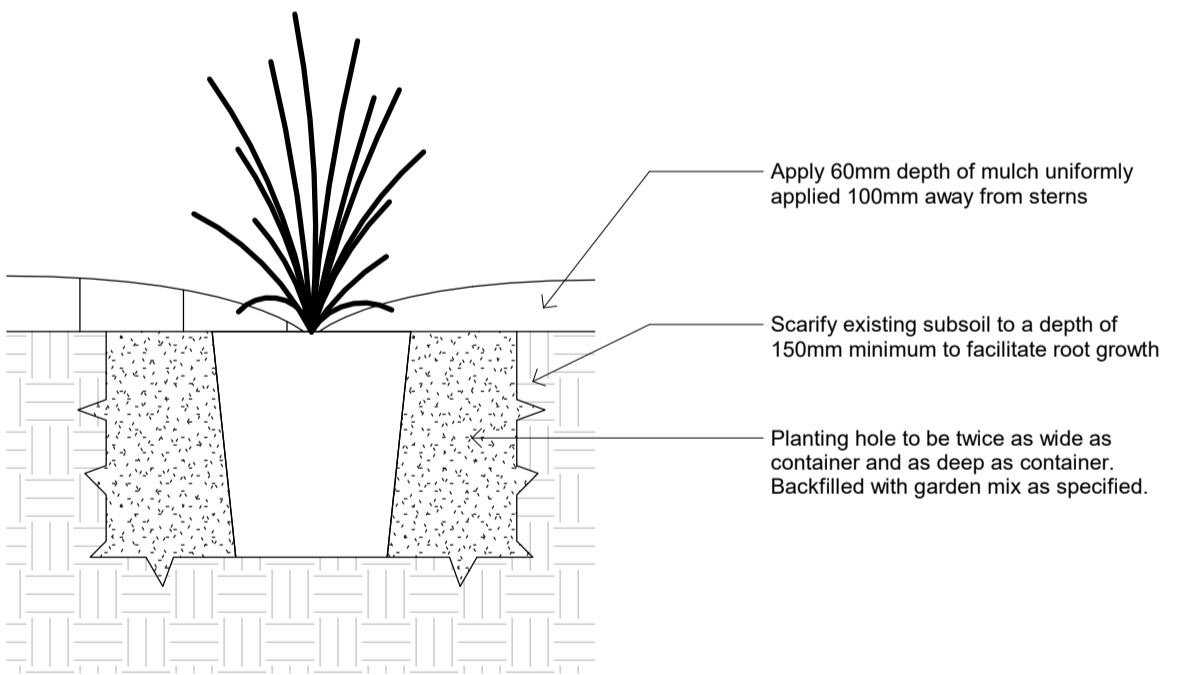
- ALL GARDEN AREAS ARE TO BE MULCHED WITH LEAF MULCH TO A DEPTH OF NO LESS THAN 75mm
- A DRIP IRRIGATION SYSTEM SET ON A TIMER IS RECOMMENDED FOR IRRIGATING ALL GARDENS AS SHOWN ON CONCEPT PLAN. UNLESS STATED OTHERWISE.
- IT IS ALSO ADVISABLE TO HAVE A THREE MONTH MAINTENANCE PERIOD TO HELP ESTABLISH PLANTED GARDENS AND LAWN AREAS.

PLANTS

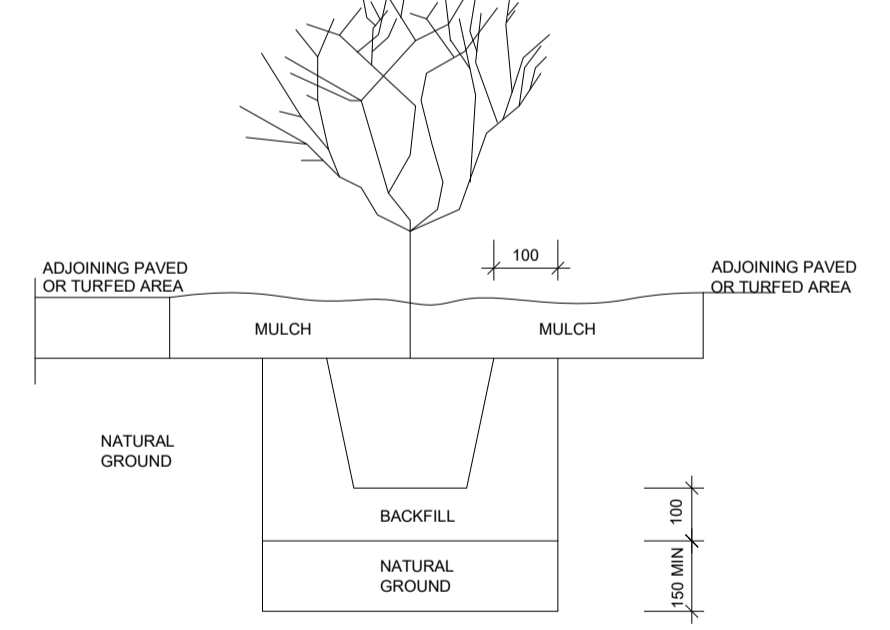
- PLANTS NEED TO BE VIGOROUS AND HEALTHY FROM PURCHASE. FREE OF PESTS & DISEASE AND ANY OBVIOUS DAMAGE THAT WILL AFFECT THE PLANTS NATURAL GROWTH HABIT AND APPEARANCE.

TIMBER

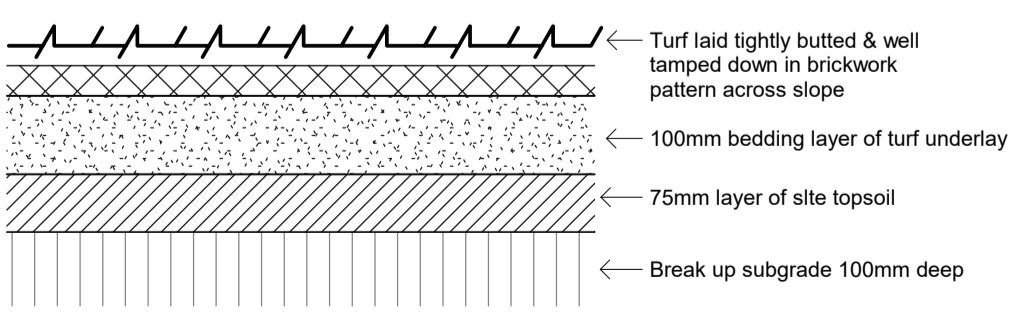
- ALL TIMBER USED IN ANY OF THE CONSTRUCTION SHOULD BE H4 TREATED PINE FOR IN GROUND USE. ALL SCREWS AND NAILS SHOULD BE GALVANIZED.



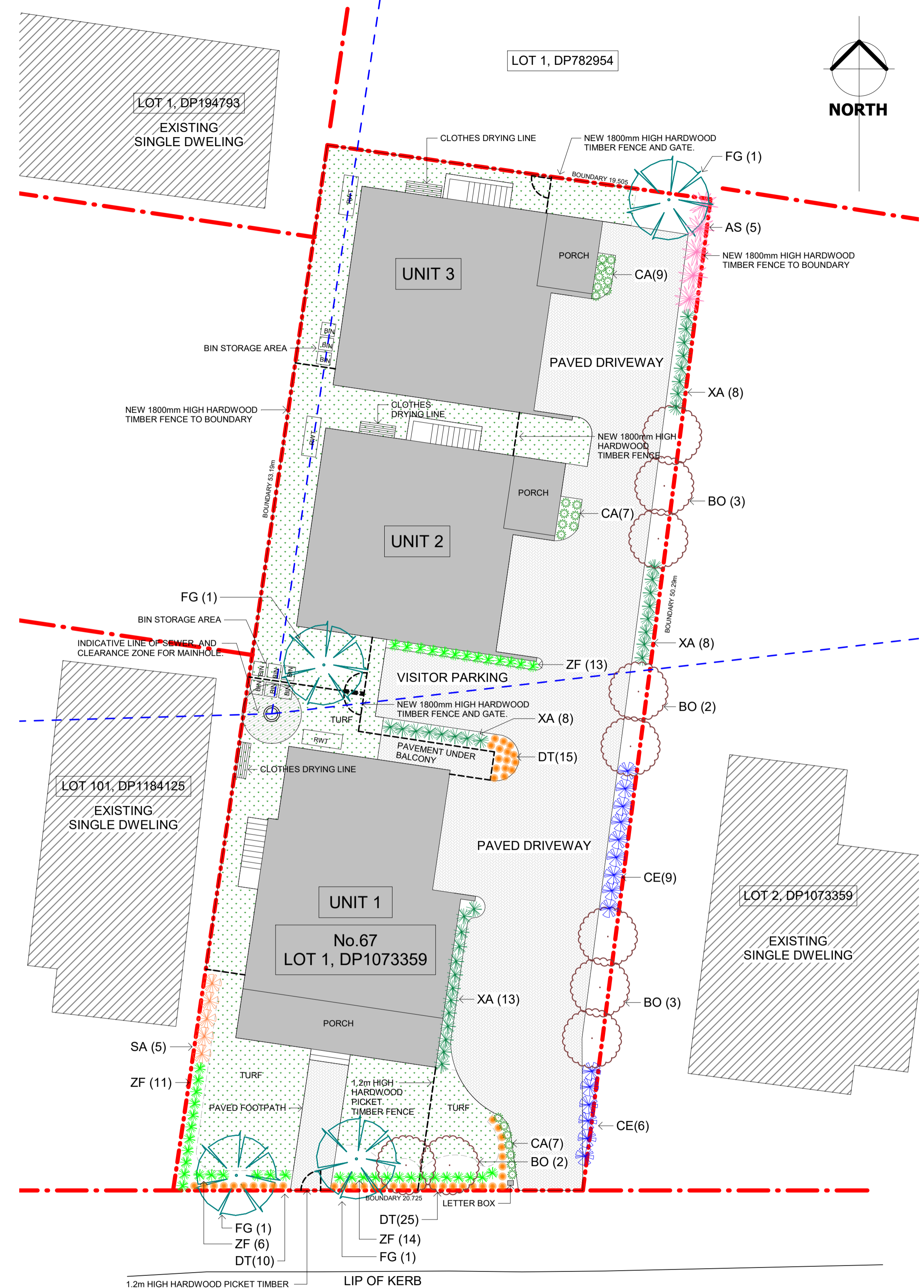
1 SHRUB PLANTING DETAIL
NTS



3 TREE PLANTING DETAIL
NTS



2 TURF DETAIL
NTS

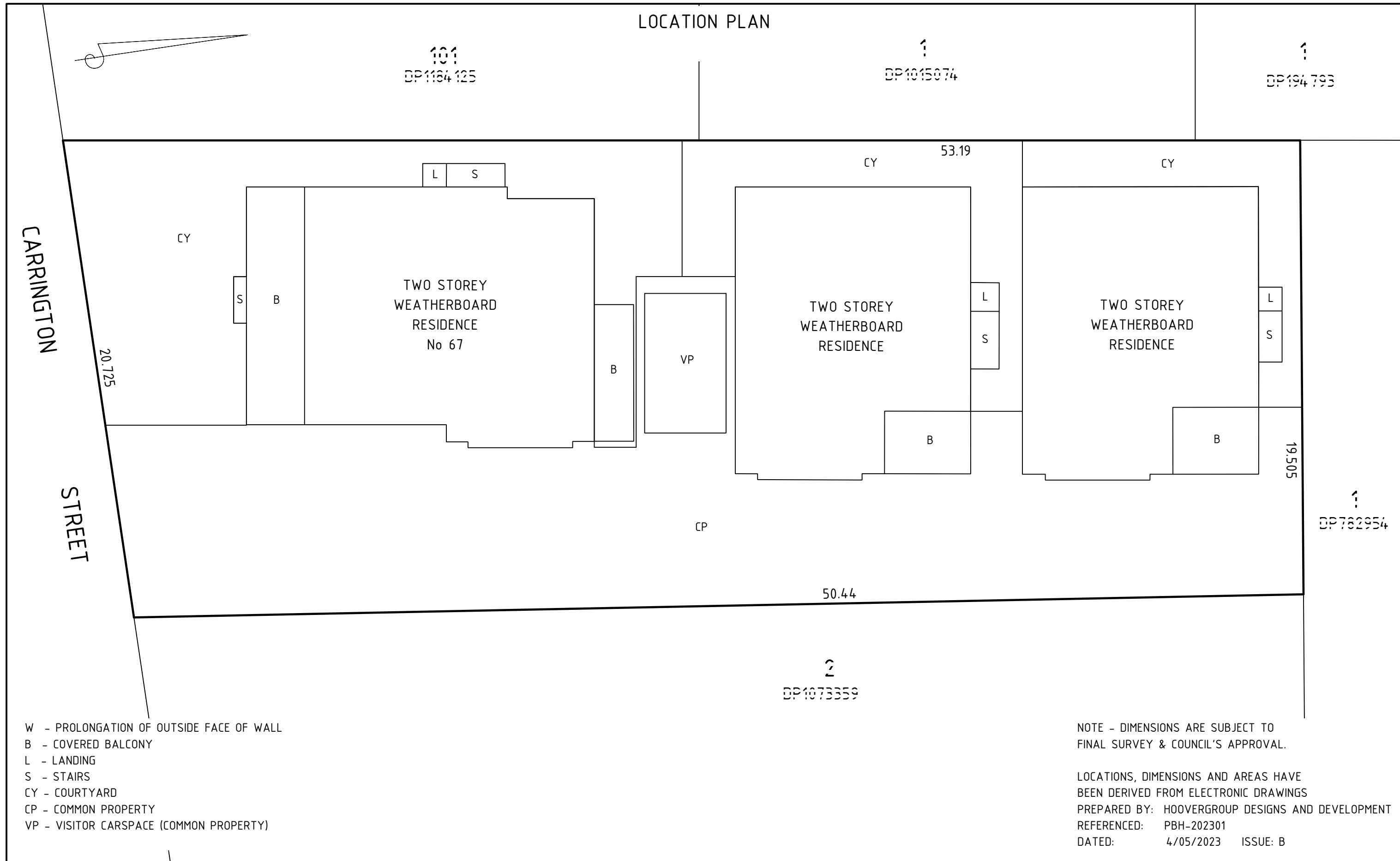


CARRINGTON STREET

1 LANDSCAPE PLAN

1 : 150

LOCATION PLAN



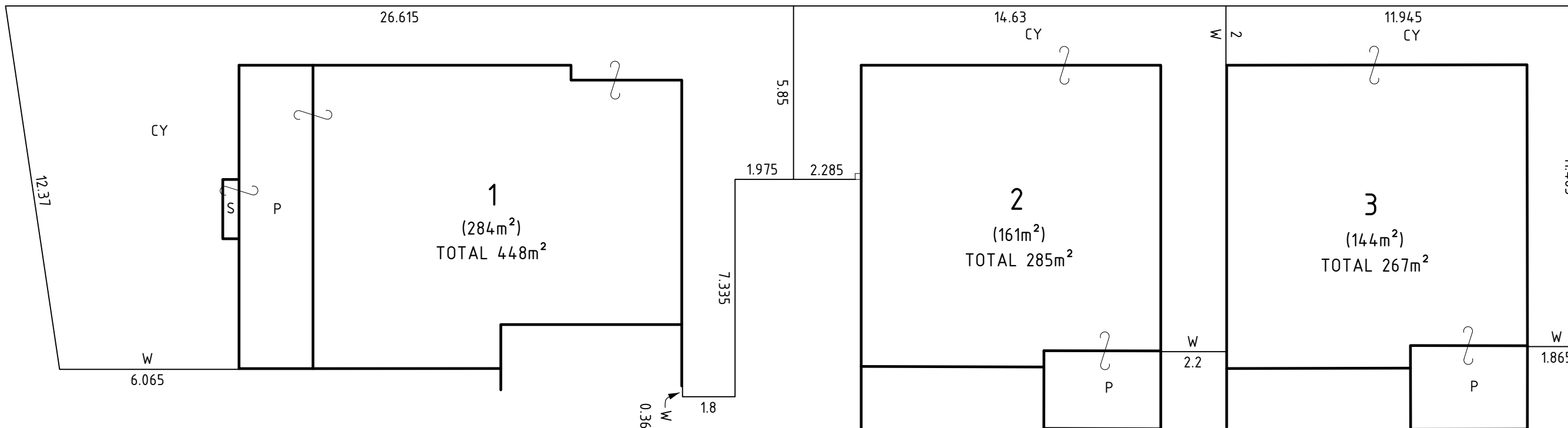
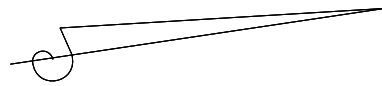
W - PROLONGATION OF OUTSIDE FACE OF WALL
 B - COVERED BALCONY
 L - LANDING
 S - STAIRS
 CY - COURTYARD
 CP - COMMON PROPERTY
 VP - VISITOR CARSPACE (COMMON PROPERTY)

NOTE - DIMENSIONS ARE SUBJECT TO FINAL SURVEY & COUNCIL'S APPROVAL.

 LOCATIONS, DIMENSIONS AND AREAS HAVE BEEN DERIVED FROM ELECTRONIC DRAWINGS
 PREPARED BY: HOOVERGROUP DESIGNS AND DEVELOPMENT
 REFERENCED: PBH-202301
 DATED: 4/05/2023 ISSUE: B

<p>Surveyor: David William Cant David Cant Surveyors PO Box 418 Maitland NSW 2320 Date: / / Reference: 23-24 Horseshoe Bend</p>	<p>PLAN OF SUBDIVISION OF LOT 1 DP1073359</p>	<p>L.G.A. MAITLAND Locality: HORSESHOE BEND Reduction Ratio 1: 150 Lengths are in metres.</p>	<p>Registered:</p>	<p>DRAFT REV 0. Date: 5/05/2023</p>
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GROUND FLOOR PLAN



W - PROLONGATION OF OUTSIDE FACE OF WALL
 P - COVERED PORCH
 CY - COURTYARD

THE STRATUM OF THE COURTYARDS IS LIMITED IN HEIGHT FROM 5 BELOW TO 15 METRES ABOVE THE UPPER SURFACE OF THE CONCRETE GARAGE FLOOR OF THEIR RESPECTIVE UNIT EXCEPT WHERE COVERED.

ANY SERVICE LINE WITHIN ONE LOT SERVICING ANOTHER LOT IS COMMON PROPERTY.
 ALL COMMON SERVICE LINES ARE COMMON PROPERTY

MEASUREMENTS OF FLOOR AREA SHOWN ON THE FLOOR PLAN ARE APPROXIMATE AND CALCULATED FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY. THEY MAY DIFFER FROM MEASUREMENTS OF FLOOR AREA FOR OTHER PURPOSES.

NOTE - DIMENSIONS ARE SUBJECT TO FINAL SURVEY & COUNCIL'S APPROVAL.

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 PREPARED BY: HOOVERGROUP DESIGNS AND DEVELOPMENT
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Surveyor: David William Cant
 David Cant Surveyors
 PO Box 418 Maitland NSW 2320
 Date: / /
 Reference: 23-24 Horseshoe Bend

PLAN OF SUBDIVISION OF
 LOT 1 DP1073359

L.G.A. MAITLAND
 LOCALITY: HORSESHOE BEND
 Reduction Ratio 1: 150
 Lengths are in metres.

Registered:

DRAFT
 REV 0.
 Date: 5/05/2023