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Project no. 23-18

Revised Statement of Environmental Effects

Proposed Maintenance and Essential Repairs

at

St Peter's Anglican Church

47 William Street,

EAST MAITLAND NSW 2323

Initial SEE by Sorensen Design and Planning

Revised by carste STUDIO pty ltd

21st May 2023



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INTRODUCTION

This Revised Statement of Environmental Effects has been prepared in support of a Development Application for the proposed repair and maintenance works to St Peter's Anglican Church, East Maitland made under Part 4 of the Environmental Planning and Assessment Act 1979.

The proposed development is detailed in the application package submitted with subject Development Application as well as in later sections of this document.

The application comprises the following:

- Completed Owners Authority to Lodge form
- A digital copy of the development application package
- Payment advice for the applicable fees
- Architectural Plans – Sorensen Design & Planning
- Revised Statement of Environmental Effects – Original document by Sorensen Design & Planning, revised by carste STUDIO pty ltd.

The Statement provides an assessment of the development proposal with respect to the relevant legislative context, social, economic and environmental impacts, and potential impacts of the works on the surrounding locality as well as any measures proposed within the application to mitigate such impacts.

The Statement details the proposed development's consistency with the applicable environmental planning instruments and development control plans including:

- Environmental Planning and Assessment Act 1979
- Environmental Planning and Assessment Regulation 2000
- Maitland Local Environmental Plan 2011
- Maitland Development Control Plan 2011

In this regard, the proposed development is consistent with the aims and objectives of the relevant environmental planning instruments (EPIs) and Development Control Plan (DCP) whilst being compatible with the emerging character of the locality and minimising any potential impacts on the amenity of the adjoining properties.

Modifications to the DA documents

The revision has been made to the proposed scope of works, deleting the lightning rod proposed to the open space to the north of the car park, electing to retain the existing arrangement that has served the building well over time. Therefore there is not need for excavation nor an archaeological investigation nor assessment.

A number of minor items have been modified including the gutter profile being altered from quadrant to ogee profile in line with the most recent interventions to the stormwater system, to remove and re-fix 50 slates and re-fix 15 slipped slates. Slates to be recycled Welsh 20" x 10" and to remove PVC surround to the western door.

SITE ANALYSIS

Site	47 William Street, East Maitland 2323	Lot 7/33/DP758374
Site description	The site is approximately 6600m ² in area and rectangular in shape.	
Applicable EPI	Maitland Local Environmental Plan 2011 <ul style="list-style-type: none"> ● Land Use Table ● 5.10 Heritage Conservation ● 7.1 Acid Sulfate Soils 	
Applicable DCP	Maitland Development Control Plan 2011 <ul style="list-style-type: none"> ● C.4 – Heritage Conservation 	
Zone	R1 – General Residential	
Precinct	East Maitland Heritage Conservation Area	
Existing development	Existing church	
Constraints	East Maitland Heritage Conservation Area St Peters Anglican Church – State Heritage Register Item Number 01886 Acid Sulfate Soils - potential class 5	
Topography	The block is rectangular in shape and relatively flat, sloping down to the east from the edge of the car parking area.	
Vegetation	Existing landscaping vegetation present on the site. Future landscaping at property owners discretion – no details provided.	

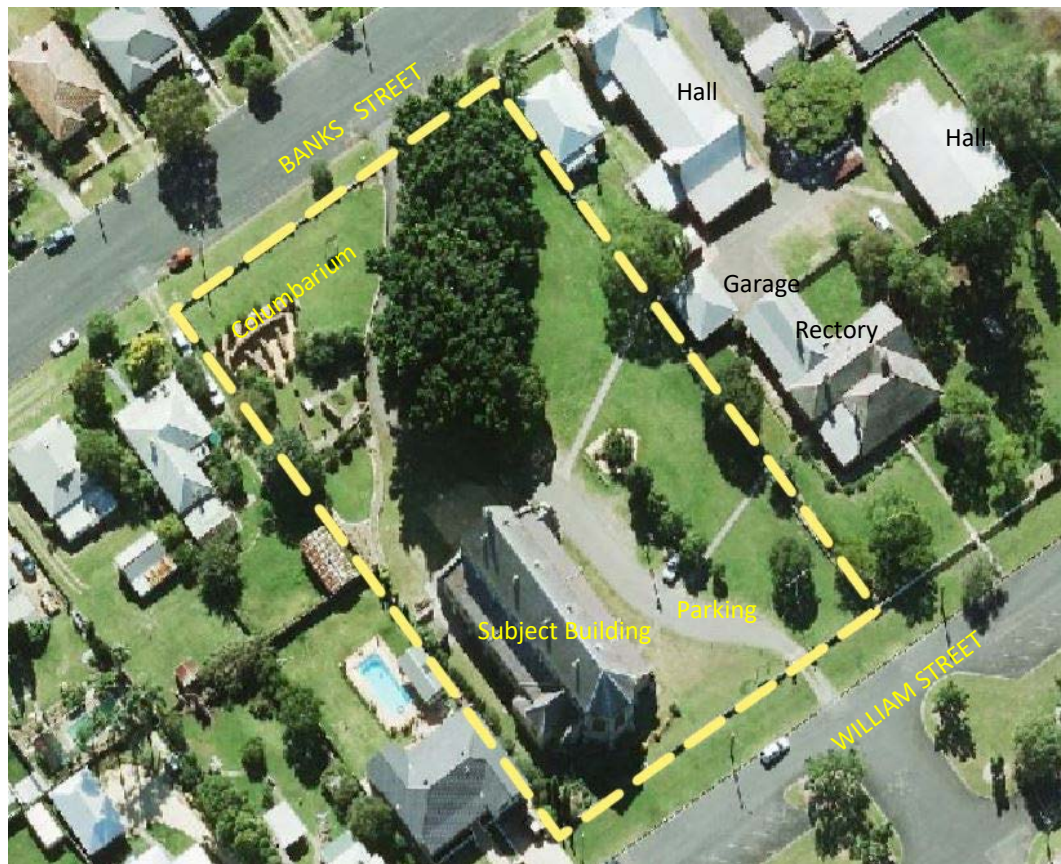


Figure 1: Subject Site. Image obtained from <https://www.planningportal.nsw.gov.au/spatialviewer/#/find-a-property/address>

DEVELOPMENT PROPOSAL

General Description

The subject Development Application is seeking consent for essential repairs and maintenance works to the existing Church. Drawings referred to in this Statement of Environmental Effects were prepared by Sorensen Design and Planning and are as follows:

Number	Title	Date/ Revision
2203243-1/9	Site Plan	17/05/2023
2203243-2/9	Roof Plan	17/05/2023
2203243-3/9	North Elevation	17/05/2023
2203243-4/9	East Elevation	17/05/2023
2203243-5/9	West Elevation	17/05/2023
2203243-6/9	South Elevation	17/05/2023
2203243-7/9	Street Elevation	17/05/2023
2203243-8/9	Details	17/05/2023
2203243-9/9	Schedule	17/05/2023

The site developments include a sandstone walled and slate roofed church, the subject building, a brick Rectory and Garage and Church Hall and timber building to the extreme east of the site.

The proposed repairs to the church consist of :

- replacing roof slates to all but the eastern Aisle roof,
- replacing damaged timber louvres and re-roof in copper, the eight (8) dormer roof ventilators,
- replace damaged guttering and down pipes, including rainwater heads where they are unsuitable for reuse,
- replace damaged copper cladding and replace damaged lead roof cappings.
- Rebuild the northern ridge mounted bell tower (to detail).

No changes are proposed to the appearance, footprint or structure beyond repairing / reconstructing damaged items.

The proposed repairs, through the submitted material, demonstrates compliance with prescribed requirements and is will not have adverse impacts to the church's presentation to the public domain.

Significant fabric, where deteriorated or damaged, is being replaced like for like in accordance with the Australia ICOMOS Burra Charter 2013.

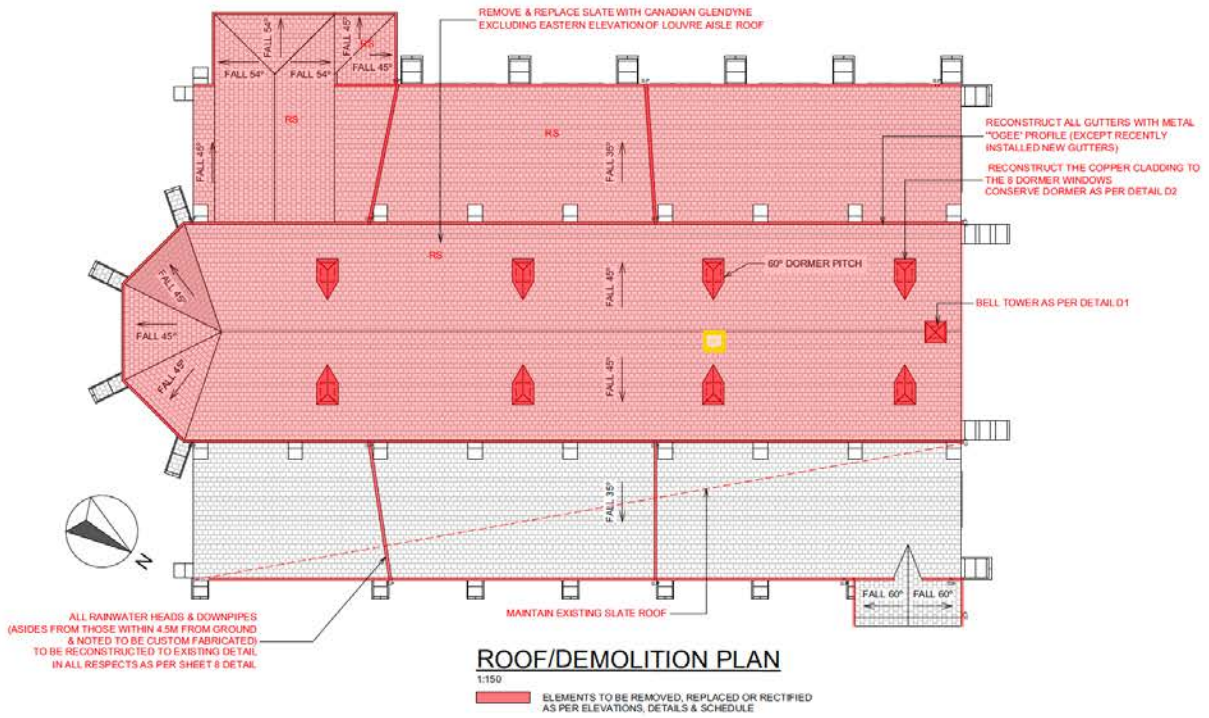


Figure 2: Roof Plan showing the scope of works

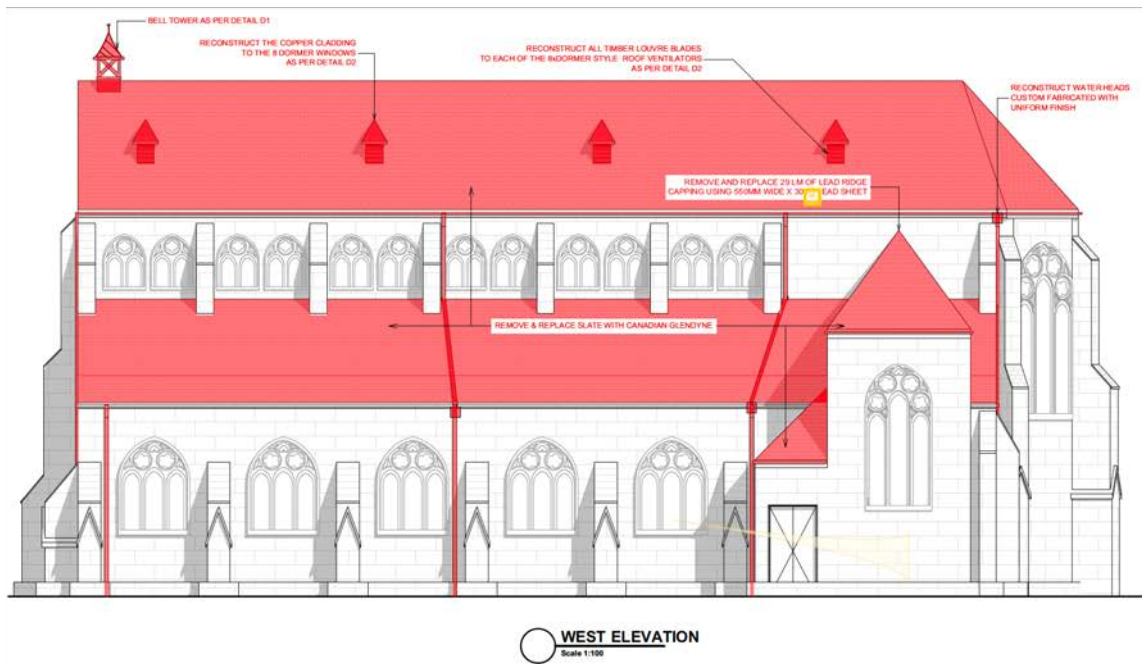


Figure 3: West Elevation

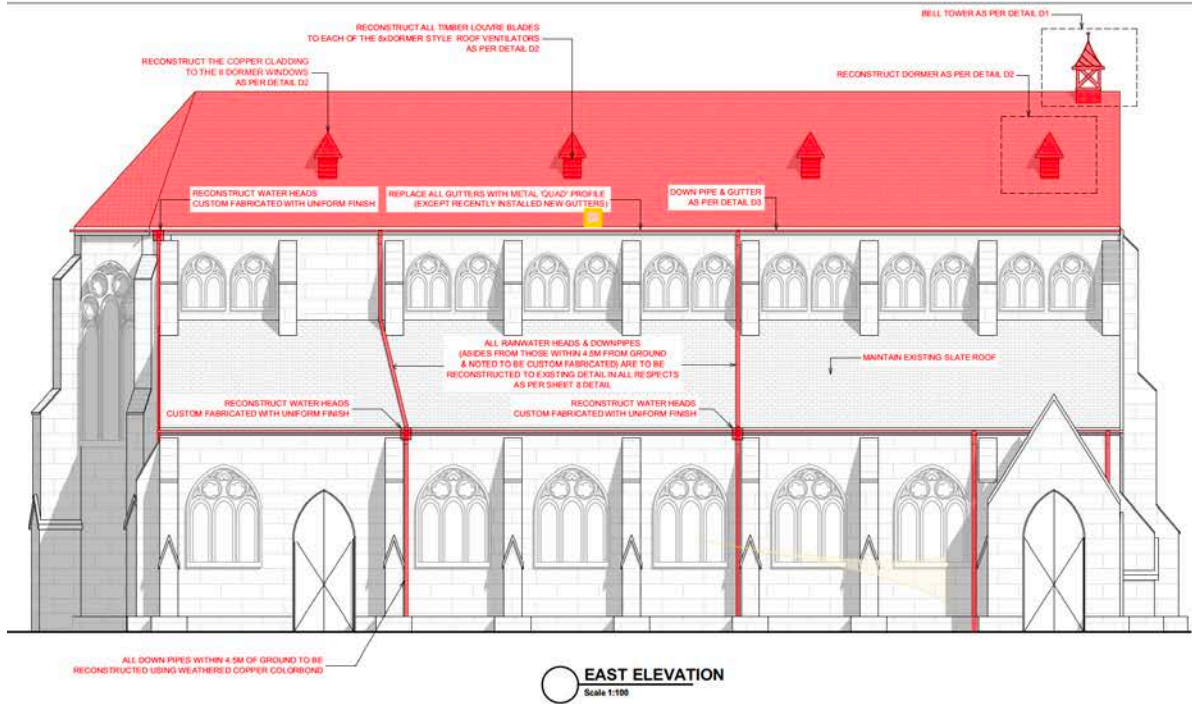


Figure 6: East Elevation

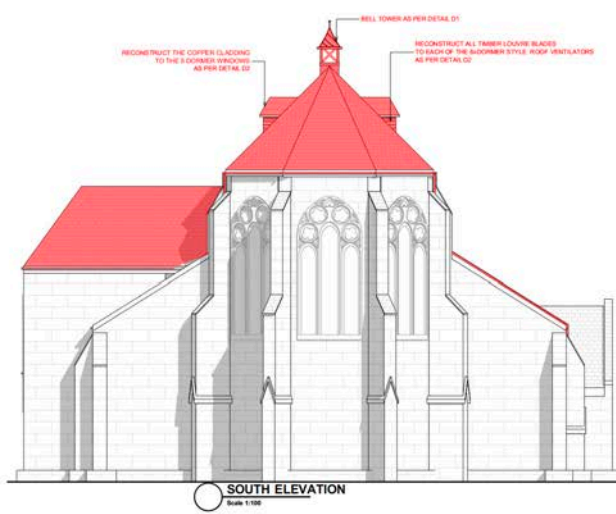


Figure 4: South Elevation



Figure 5: North Elevation

ASSESSMENT AGAINST THE LEP and DCP

MAITLAND LOCAL ENVIRONMENTAL PLAN 2011

MAITLAND LOCAL ENVIRONMENTAL PLAN 2011		
Permissibility	Applicable zone: R1 – General Residential	The proposed land use has been reviewed against the permissibility provisions of the R1 General Residential Zone within the Maitland Local Environmental Plan 2011. In this regard, the proposed is definable as alterations and additions to the existing approved land use for a dwelling house.
4.3 Height of buildings	Not applicable	
4.4 Floor space ratio	Not applicable	
5.10 Heritage Conservation	<ul style="list-style-type: none"> ● St Peter's Church Group Significance: Local ● East Maitland Heritage Conservation Area Significance: Local 	<p>All repairs to the existing church will match the existing structure and materials with no significant changes proposed.</p> <p>The proposed works represent a positive outcome for the Heritage Conservation Area, maintaining the landmark building in good repair and physical presentation.</p>
7.1 Acid sulfate soils	Applicable acid sulfate soils classification: classes 5	The proposed is mapped as within a potential acid sulfate soils class 5 area. The proposed works will not necessitate soil disturbance to a depth that would warrant further consideration in this regard.

MAITLAND DEVELOPMENT CONTROL PLAN 2011

C.4 Heritage Conservation: -

2 Development application process	
2.1 General Requirements	
<p>(a) Plan details: In addition to the standard requirements for all development applications (such as the preparation of a site plan) the following additional plan details should be shown where work is proposed on a heritage item:</p> <ul style="list-style-type: none"> ● Plans, sections and elevations - drawn to scale, showing the extent of the proposed works by colouring or hatching. These drawings should show how the alterations or additions will affect existing buildings, structures and features, and must include a schedule of external finishes, materials and colours. <p>b) Fire and Building Code of Australia (BCA) upgrading:</p>	<p>Complies.</p> <p>N/A – due to the proposed being repairs to damaged materials only.</p>
2.2 Heritage Impact Statement (HIS)	
<p>Clause 5.10(5) in the Maitland LEP 2011 provides for a consent authority to request the preparation of a Heritage Impact Statement (HIS) to assist in the assessment of a development application.</p>	<p>Complies. Refer to Appendix 1. of this Statement for HIS.</p>

2.3 Heritage Conservation Management Plan (CMP)		
	a Clause 5.10(6) in the Maitland LEP 2011 provides for a consent authority to further require the submission of a Heritage Conservation Management Plan before granting consent to the application, where the findings from the HIS warrant this additional conservation outcome	A CMP was prepared for this building group in 2010 by Heritas
2.4	Character Assessment	N/A
2.5	Engineering Assessment	N/A – due to scope of works
2.6	Schedule of works	Complies – refer to plans
2.7	Archaeological Assessment	N/A
2.8	Archival or Photographic Record	Complies – refer to HIS
2.9	Historic photographs or drawings	Complies – refer to HIS
2.10	Other specialist reports	N/A
3. Owners Responsibilities		
3.1	State Government Provisions	
	The NSW Heritage Act 1977 and associated Regulation requires owners of a building, work, relic or precinct that is listed on the State Heritage Register to maintain minimum standards of maintenance and repair. The provisions relate to: a) weather proofing, b) fire protection, c) security, and d) essential maintenance.	Complies.
3.2	Local Provisions	
	All components of a Heritage Conservation Area including, but not limited to, listed heritage items contribute to its character, regardless of whether they are individually significant. It is for this reason that the controls relating to demolition are quite stringent, and will be applied consistently.	The proposed works represent a positive contribution to the Heritage Conservation Area.

C.4 Heritage Conservation: -**3. East Maitland Heritage Conservation Area**

1.1 Character Statement - General	
<p>East Maitland is significant as a unique township because of its origins primarily as an administrative centre. Although it has experienced a degree of change to its buildings and streetscapes, there is still abundant evidence of its origins based primarily on government functions, with links to the convict period.</p> <p>The area's aesthetic significance and visual character is a direct product of the interrelationship between its unique collection of residential, commercial and government/institutional buildings, particularly dating from the mid 19th century.</p> <p>The visual character of the area is determined principally by the William Street axial linkage between the predominant hillside location of the Court House and Stockade Hill to the north and Cooks Square Heritage Park, to the south. The adjacent King and Banks Streets have almost equal historical/visual significance. King, George and High Streets tie the area now north of the railway line, with the lands around the route of the highway.</p> <p>In and around the Banks to King Street precinct, adjacent to the rail corridor, the early 19th century vintage of the town is evident, with remaining residential development being of small scale. The scale and form of buildings is similar in the western section, with more recent, as well as grander public buildings, occupying higher ground and spreading out from this area. Melbourne Street retains much of its early 19th century commercial precinct character. The visual character of East Maitland is a direct product of its collection of residential, commercial and government buildings, particularly dating from the mid 19th Century.</p>	<p>Comments:</p> <p>St Peters Anglican Church East Maitland is listed as a Heritage building and mapped as St Peter's Church Group ,Significance: Local & is also listed on the State Heritage Register as item 01886.</p> <p>East Maitland Heritage Conservation Area Significance: Locally listed.</p> <p>St Peter's is a landmark building in the HCA being a primary element of the axial William Street alignment between the Courthouse and Stockade Hill.</p> <p>The purpose of all works proposed under this application is to repair and or replace damaged items on the church. As such, the application is for enhancement works to a primary contributory item in the HCA and will be of great benefit.</p> <p>No additional building work is proposed and the historical and aesthetic significance of the structure will be maintained and aesthetically enhanced.</p>

Landscape and Streetscape.	No changes are proposed to the existing arrangement under this proposal.
Buildings	The proposal is for repairs to the existing structure. No changes are proposed to the existing arrangement under this proposal.
1.2	Statement of Significance
<p>East Maitland's historic significance is in its surviving record of the urban growth of Maitland. It is a relatively rare example of a town with origins based primarily on government functions, with links to the convict period and early immigration (Caroline Chisholm House).</p> <p>Its government functions, continued in the ongoing use of the Gaol (over almost 150 years), Courthouse and Lands Office and in the preservation of the former police buildings and Post Office, contribute to both historic and social significance.</p> <p>The Heritage Conservation Area's aesthetic significance is derived from its collection of residential, government, institutional and commercial buildings of all its periods of historic growth and their visual inter-relationship, in particular the strong axial composition based on the prominent hillside location of the Court House and Stockade Hill.</p>	The proposal is for repairs to the existing structure. No changes are proposed to the existing arrangement under this proposal.
1.3	Conservation Policies
<p>What to Keep:</p> <ul style="list-style-type: none"> ● Retain significance of the area as a relatively rare example of a town based on government/administrative functions; ● Retain formal street plantings and footpaths in and around William and Banks streets; ● Retain the landscape setting of the major administrative buildings such as the Courthouse and formal nature of original street layout; ● Retain street widths of original townships and terminations of major vistas at parks; ● Retain scale of original residential development within the limits of original township; ● Retain original subdivision pattern, lot sizes and building setbacks. ● Original layout of sandstone kerb and guttering. <p>What to Encourage:</p> <ul style="list-style-type: none"> ● Generally low density, residential development retaining existing subdivision layout; ● High quality of new and infill commercial design through better guidelines and more stringent controls. <p>What to Avoid:</p> <ul style="list-style-type: none"> ● Large scale medium density development on large lots or at the rear of existing dwellings on larger lots; ● Re-subdivision of large residential lots; ● Inadequately controlled expansion of "Support Business" and "Special Business" uses in the Heritage Conservation Area. 	<p>Complies</p> <p>Not Applicable</p> <p>Complies</p> <p>Not Applicable</p> <p>Complies</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p>

The proposal therefore satisfies the requirements of both the Maitland Local Environmental Plan 2011 clause 5.10 Heritage Conservation and Maitland Development Control Plan 2011 Clause C4 Heritage Conservation and East Maitland Heritage Conservation Area.

STATEMENT OF HERITAGE IMPACT

The statement forms part of this Statement of Environmental Effects for:

Proposed Maintenance and Essential Repairs to St. Peter's Anglican Church, EAST MAITLAND.

For the Parish of East Maitland, Diocese of Newcastle

Lot 7/33/DP758374

47 William Street, East Maitland NSW 2323

INTRODUCTION

The Statement of Heritage Impact was prepared by Heritas Heritage and Conservation (Revision C) dated 17th February, 2023 and analyses and assesses the proposal's impact or impacts on the significance of the St Peter's Anglican Church and the East Maitland Heritage Conservation Area and describes how the impacts have been mitigated.

The following is a precis of the appended document, with additions and revisions by Stephen Booker of carste STUDIO pty ltd.

HERITAGE SIGNIFICANCE

St Peter's Anglican Church, Rectory and Parish Hall, along with additional site structures of the Youth Centre and former Curate's Cottage, and the nearby Glebe Gully Burial Ground, form an ecclesiastical group that is significant on a local and State level. The church was designed in 1883 by Cyril Blacket, architect son of renowned ecclesiastical architect Edmund Blacket.

Located at the southern end of the East Maitland town axis laid out by Surveyor General Sir Thomas Mitchell in 1829, the church visually anchors the top of the rise that terminates in Cooks Park and Stockade Hill. Although without the planned tower and steeple, the building remains a grand edifice of locally quarried sandstone and is a landmark in the local area.

Its association with historically notable clergy and local identities, and its collection of movable heritage items, support its exceptional local historical, aesthetic, technical and social significance. The rectory was completed in 1860 to the plans of an unknown designer and builder. The now sprawling single storey brick cottage, set in large grounds, has undergone numerous additions and alterations over its lifetime yet remains as a contributory element with high interpretive value within the group. The extant fabric demonstrates the growing East Maitland Parish through many decades, and is of high local significance for its historical, aesthetic, technical and social values.

What is now used as the parish hall was originally built as the denominational school in c1842. The form and fabric of this building, although added to and somewhat internally adapted for use as a hall, is significant for its historical and aesthetic value, and for its remaining ability to demonstrate early 19th century educational structures in regional areas. The bell that is now housed within a small brick bellcote is believed to have been relocated from the earlier 1829 school, which adds to the high local significance of the place. The place retains the ability to demonstrate an early nineteenth century school house with attached living quarters for the head master.

The St Peter's group, including the old St Peter's (Glebe Gully) Burial Ground, is connected with the foundation years of one of Australia's oldest Anglican parishes, and demonstrates a continuity spanning 170 years of religious, educational, and social life within the local Anglican and wider community. Its remaining association with the Glebe Gully Burial Ground, a short distance to the south east of the study site, strengthens the significance of the group, and together provides a tangible link to the earliest settlement of Maitland. For these reasons, the group (including the Glebe Gully Burial Ground) is considered to be of significance at a State level for its historical, aesthetic and social values.).



Figure 7: Photograph of church from the Anglican Diocese of Newcastle - Churches and Rectories album - A5352b.

Erected in 1884

SCOPE OF WORK

A recent hail storm resulted in damage to the slate roof of St Peter's Church. While individual spot repair has been considered, the age of the church and its original slates prompted consideration of a more ambitious repair and reconstruction - one that would be nearing requirement in any event.

The proposal is for removal of existing slate roof, re-slating of the roof, reconstruction of the roof plumbing elements (gutters, downpipes, and rainwater heads), and reconstruction of the roof dormer vents. The slate on the north aisle was replaced in c2010 and does not require renewing. The proposal includes for the replacement of existing slates using Canadian Glendyne slate, and the replacement of gutters and downpipes using copper above 4500mm in order to prevent pilfering of the copper, something that has been experienced across the Diocese. Gutters are to be ogee in profile to match those more recently replaced on the east end. Where rainwater heads are unable to be reused, they shall be replaced to match those at the eastern end over the Sanctuary.

All timber elements within the roof dormers and bellcote are proposed to be reconstructed in western red cedar with paint finish. Reconstruction of the bellcote is proposed. Damage to the existing bellcote is documented in a 2019 report by horologist Tim Tracey (Tower Clock Services Australia).

HERITAGE IMPACTS

The following aspects of the proposal respect or enhance the heritage significance of the item and conservation area through consideration of the following:

- The proposal satisfies the objectives of the Maitland DCP 2011 Part C, Section 4 by reconstructing existing details and reproducing existing materials and colours.
- The proposal meets the objectives of the Maitland DCP 2011 Part E3, Section 3 by not removing or reducing the relevance of the town planning layout, street plantings, landscape setting, subdivision pattern or kerb and guttering.
- The replacement of the roof covering is proposed in slate. This will retain the original materiality of the church and its original character.

- The roof slate proposed for replacement is estimated to be over 130 years old and is no longer performing effectively. The slates are at the end of their useful lifespan and have sustained storm damage, posing a threat to the significant fabric of the remainder of the building and its interiors.
- Re-roofing will allow for the protection of internal fabric.
- The proposed materials for reconstruction are based on existing details, including guttering and rainwater heads. This will ensure the character of the original church is maintained. There are two different profiles existing on the church, confirming previous works at some stage. One of these profiles is ogee. The original gutter profile is not known however, ogee, half-round and quadrant profiles were in use by the late 1800s. It is considered acceptable therefore to use an ogee profile for the replacement gutter.
- The Canadian Glendyne slate tile emulates the existing Welsh slate tile in texture, material and colour and will not have a detrimental impact on the significance of the church. The north aisle slate was replaced in c2010 using Canadian Glendyne slate therefore the current proposal will match this.



Figure 8: St Peters Anglican Church: April 2023.

The following aspects of the proposal could detrimentally impact on the heritage significance of the item and/or conservation area:

- Although the document set indicates the gutters and downpipes will be replaced with copper, the client has verbally indicated their desire to use Colorbond due to the threat of theft. The use of copper at height and Colorbond at lower levels, is discounted due to incompatibility.

While the use of copper is preferred from a historical perspective, it must be acknowledged that protecting gutters and downpipes at lower levels of the church in areas that are readily accessible by the public is significantly challenging.

As an alternative option, Colorbond roof plumbing can be considered acceptable where cross-section profiles match the original and the colour is sympathetic. It should be noted that Colorbond may be subject to accelerated corrosion due to the use of copper for slate nails and dormer cladding.

The following sympathetic solutions were considered and discounted for the following reasons:

- Use of Welsh slate tiles was considered but discounted due to lack of availability, and cost. Glendyne slate has been used extensively for heritage conservation projects across Australia, such as on State listed residence "Hermitage" (SHR 00777) located in Denistone, NSW (completed 2010). Other notable applications of Glendyne slate include State listed Station Master's Cottage (SHR 01078) in Bathurst, NSW (completed 2014), and Maitland Lodge of Unity Masonic Hall (SHR 001937) in Maitland, NSW of local heritage significance. It should be noted that Glendyne slate is also approved for use in conservation projects in Snowdonia National Park, Wales – the heart of the Welsh slate industry – and where the Slate Landscape of Northwest Wales is on the World Heritage List.

CONCLUSIONS and RECOMMENDATIONS

The proposal will enhance the amenity and ongoing durability of St Peter's Church. The proposed Glendyne slate has a dark Charcoal colour with tones of blue and will match the prevailing character of the building and the more recent 2010 rslating of the eastern side aisle.

St Peter's Anglican Church is a landmark building within the East Maitland Heritage Conservation Area, and as such the proposed reroofing and addressing the deterioration of the stormwater fittings will enhance its appearance and ensure ongoing protection of its urban qualities for which it is valued.

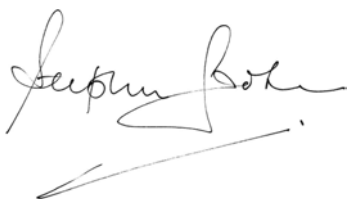
The proposed scope of works is essential maintenance and repair of the building following damage by hail and deterioration and deformation of guttering through ladders and careless treatment.

Completion of the stormwater work will provide a consistent overall detail in gutter profile, rainwater head detail and improving the capacity of the roof drainage system.

While it is understood that the replacement of copper with copper (like for like) for the rainwater goods is historically appropriate, the reality of pilfering/ theft of copper from the church building means that an alternative material for guttering, downpipes and rainwater heads should be seriously considered. The original Statement of Heritage Impact suggested Colorbond coated steel in an appropriate colour such as that suggested on the drawings, "Weathered Copper" or Ace Gutters "Brown" would be sensitive to the character of the building and overcome the theft problem. The writer concurs with this recommendation and is in support of the use of Colorbond steel rainwater goods providing the detail, profile and colour are as recommended.

The proposal to fit Colorbond to the lower 4500mm and therein above use copper is not recommended by Bluescope steel, as the copper is lower on the Galvanic scale than colorbond steel or zincalume and would lead to the accelerated corrosion of the Colorbond elements particularly where they are in contact with each other. Painting the mating surfaces may assist in delaying the corrosion.

Investigations as to the source of an appropriate Colorbond rainwater head that is of suitable detail (as opposed to that currently fitted to the west elevation) identified STRATCO as one possible supplier.



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