



# Statement of Heritage Impact

Proposed New Dwelling, Shed and Driveway:  
36 Cockatoo Ridge ABERGLASSLYN NSW  
Lot 3 DP 1124849

Eikos Environment and Heritage

ABN 1960 770 8340

5 July 2023



Photo of the existing house and shed on the property at 36 Cockatoo Ridge Aberglasslyn (to be retained)

## Production

Statement of Heritage Impact – **Final Report**

Proposed new dwelling, shed and driveway – 36 Cockatoo Ridge Aberglasslyn

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Prepared on behalf of Prudence Bowe Architect for owners Richard Beardshall and Jen Clarke

Version: **Final**

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Disclaimer: The recommendations outlined in this report have been provided in accordance with the *Maitland Local Environment Plan 2011 (LEP)* and *Development Control Plan 2011 (DCP)*. The heritage assessment has been underpinned by *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013*. Eikos Environment and Heritage has exercised all due care and diligence in the compilation of this report. Eikos Environment and Heritage takes no responsibility for any damage or loss that may be experienced from the implementation of these measures.

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## 1.0 INTRODUCTION

This Statement of Heritage Impact (SoHI) has been prepared to accompany a Development Application for construction of a new dwelling, shed and driveway at 36 Cockatoo Ridge Aberglasslyn (Fig. 1). It has been prepared on behalf of Prudence Bowe Architect for owners Richard Beardshall and Jen Clarke.

This SoHI will assess the design and siting of the proposed development in relation to nearby heritage items *Aberglasslyn House* (State Heritage Significance Item 1) and site of the former *Aberglasslyn Cottage* (Local Heritage Significance Item 2) and within the context of the *Aberglasslyn House Heritage Conservation Area* (HCA).

The report will consider any impacts of the proposed development on the heritage significance of the place in reference to heritage provisions outlined in the *Maitland LEP 2011* (LEP) and *Development Control Plan 2011* (DCP).

This SoHI is consistent with the Australia International Council on Monuments and Sites (ICOMOS) Charter for Conservation of Places of Cultural Significance (Burra Charter) and has been prepared to assist in the consideration of the proposal using methodology outlined in *Statements of Heritage Impact*, Heritage Office/ Department of Urban Affairs and Planning, 1996, and *Conservation Areas*, published by the Heritage Office and Department of Urban Affairs & Planning, 1996.

### 1.1 AUTHORSHIP

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## 2.0 DESCRIPTION OF PROPOSAL

The proposed development includes the following:

- Construction of a contemporary architecturally designed dwelling (potentially as detached dual occupancy)
- Two rooms for use as B&B
- Conversion of an existing dwelling into an ancillary art studio (or retain as dwelling)
- New farm shed
- Natural pool
- New driveway

Extracts of plans are at Appendix 1.

Figure 1 - Location of the property at 36 Cockatoo Ridge Aberglasslyn (source NSW Govt. Sixmaps)



Figure 2 - Location of the property at 36 Cockatoo Ridge (yellow hatching) within the Aberglasslyn HCA. The State Heritage Register curtilage for Aberglasslyn House (highlighted in blue) and nearby Local heritage items including the approximate site of the former Aberglasslyn Cottage (I2) – (unlikely that any visible or obvious evidence remains) and Maitland Vale (I184) (source: NSW Govt. Planning Portal)

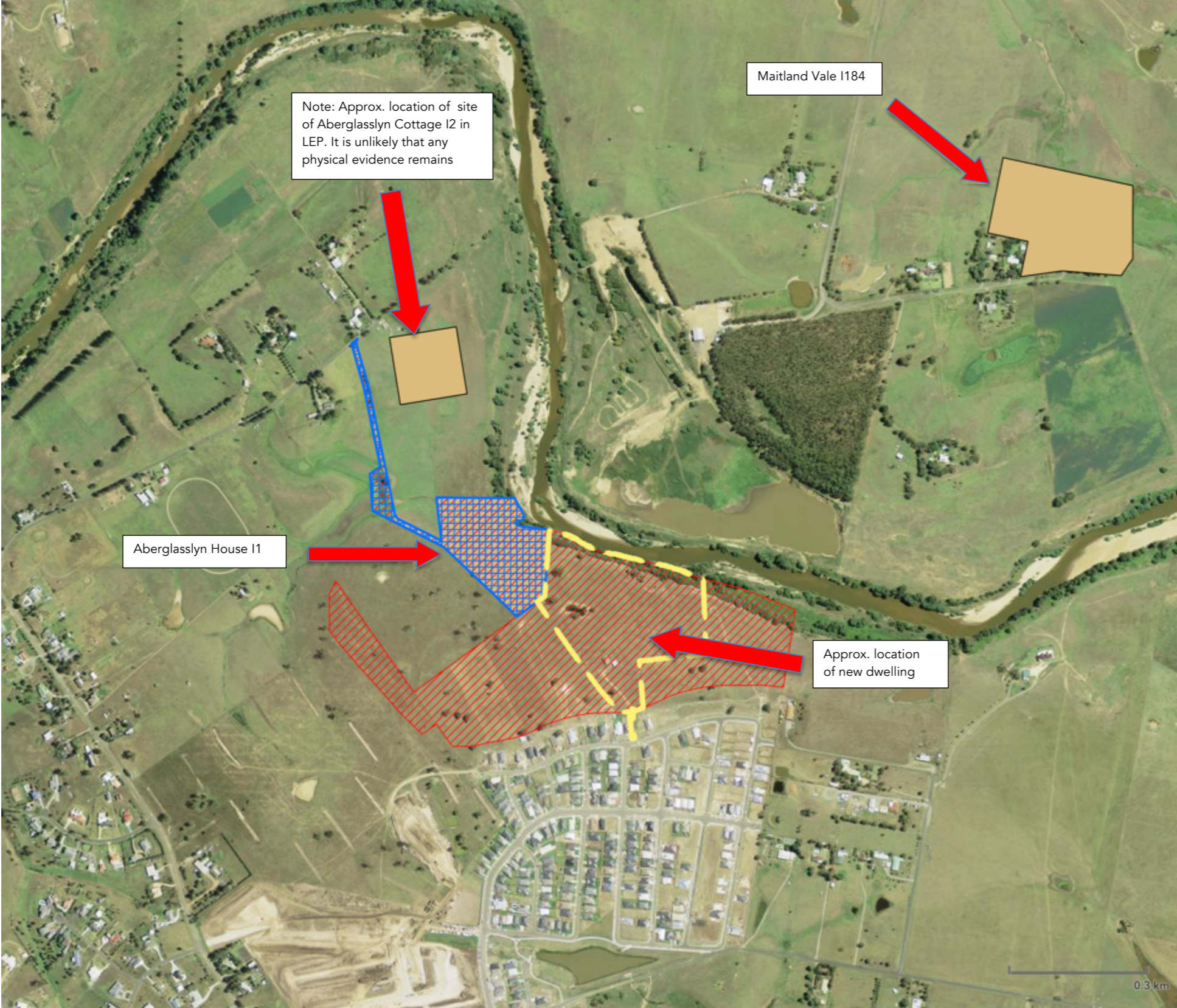


Figure 3 – Showing nearby heritage items in relation to the location of the property at 36 Cockatoo Ridge Aberglasslyn (source: Maitland LEP 2011)

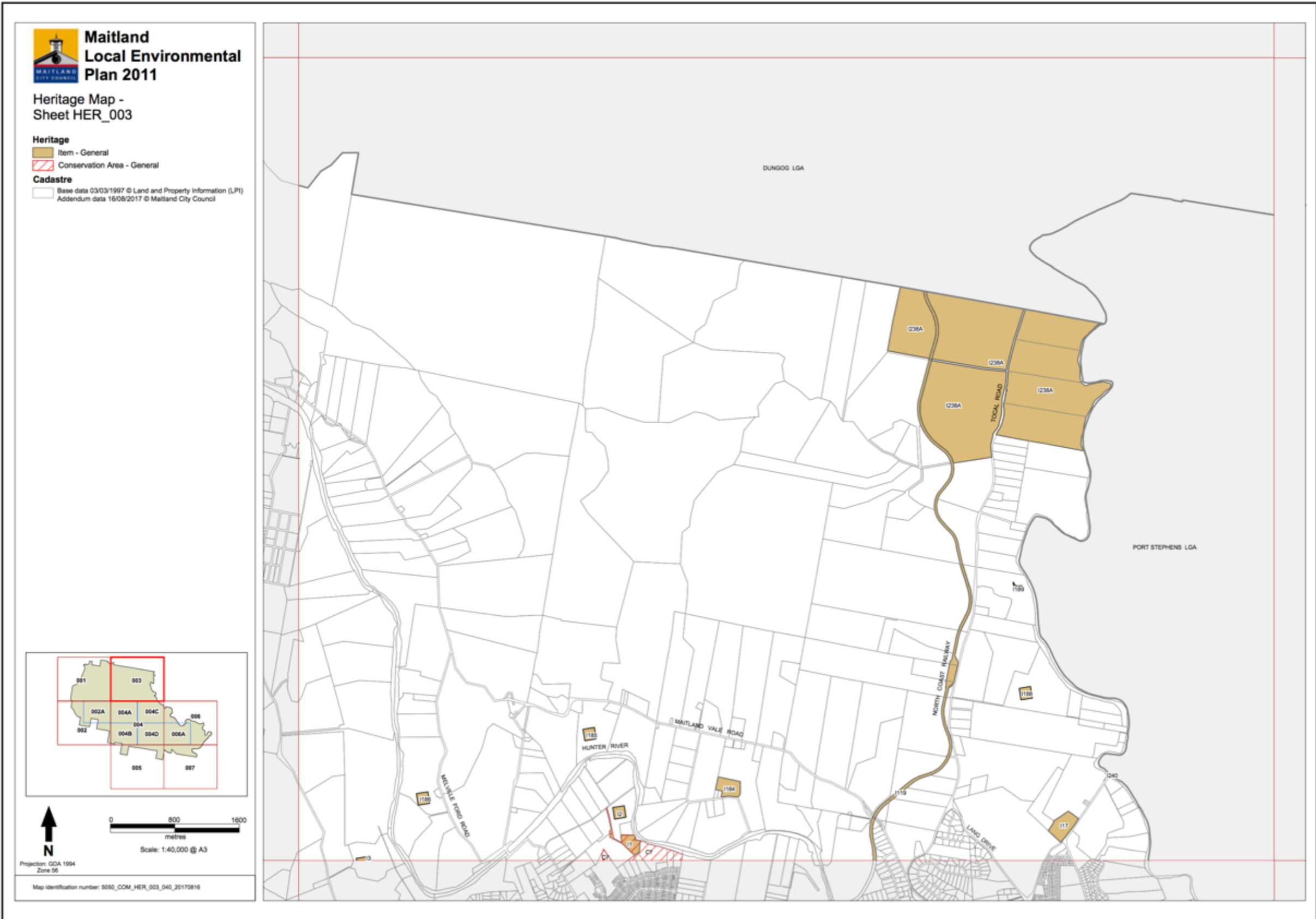


Plate 1 – Photo from the location of the proposed new dwelling looking north-west with the rear of Aberglasslyn House visible in the distance. The curtilage of the heritage item is approximately 250m downslope from the site.



Plate 2 – Photo from the location of the proposed new dwelling looking north toward the Hunter River showing rural landscape features that will be retained.





Plate 3 –Photo from the location of the proposed new dwelling looking south-west toward the existing brick and tile dwelling and shed on the property – both buildings are retained.



Plate 4 – Photo showing the view of the housing development to the south-west of the property from the existing house. The residential estate extends along the southern boundary of the property and the HCA.



Plate 5 – Photo looking north-west from the boundary fence of Aberglasslyn House showing part of the curtilage including farm sheds and landscape with formal plantings.



Plate 6 – Close up photo of Aberglasslyn House showing part of the southern and eastern façade of the heritage listed building including adapted farm shed and managed landscape with formal plantings.



Plate 7 – Photo looking south-east (upslope) from the rear boundary fence of Aberglasslyn House toward the site of the proposed new dwelling that is beyond the ridge line in the distance. It is highly unlikely that the proposed new contemporary dwelling that is located approximately 250m upslope on the neighbouring property will have any visual impact on this item.



Plate 7 – Photo looking north along the entry driveway to 36 Cockatoo Ridge showing housing that is part of the residential development along the southern boundary of the property and the HCA.



## 3.0 CULTURAL SIGNIFICANCE

Aberglasslyn House was added to the NSW State Heritage Register on 2 April 1999. It was designed by John Verge and built from 1840 to 1842. It is also known as Aberglasslyn and Aberglasslyn Homestead and has previously also been used as a boarding school.

The following information on its cultural significance was sourced from the State Heritage Inventory (SHI) database on 4 April 2023.

### 3.1 ABERGLASSLYN HOUSE

**Designer/Maker:** John Verge

**Construction Year Start and End:** 1840 - 1842

**Current Owner(s):** NSW Heritage - State Government (ownership updated 14/12/2022)

#### Physical Description

This is an incomplete two storey early Victorian house overlooking a bend in the Hunter River. It is built of finely worked Ravensfield sandstone with a slate roof. It is a large rectangular house, drawing in plan from the compact form of the late 18th and early 19th century English neo-classical villas, with well proportioned rooms arranged around a central square hall containing a geometric staircase describing a circular wall beneath a hemispherical dome. Because of the disastrous financial depression of the early 1840's the house was not finished to the original plan - planned rear single storey wings containing offices were not built and only part of the interior detailing was completed. In the late 1850s most of the unfinished detailing was made good in a simple manner with mitred, moulded architraves instead of the elaborate aedicular forms of the original work. At this time two storied verandahs of cast iron columns on sandstone plinths were built instead of the single storey colonnade originally planned, for which sandstone columns had been quarried and moulded.

The workmanship of the first build and the materials used - in particular the Ravensfield stone and the cedar - are of the highest quality. The house retains in its wallpapers and paint finished, together with its services (bells, water closet and ballroom) remarkable evidence of both building, the effect of the financial depression and the taste of its builders.

Aberglasslyn is intimately sited close to the Hunter River. It commands extensive pastoral views and is a dramatic European monument set in isolation in an Antipodean landscape.

#### Physical Condition and/or Archaeological Potential

Physical condition is good. Archaeological potential is medium.

#### History

##### Historical notes or provenance:

On 3rd July 1823 Henry D Owens received a crown grant of 1100 acres in the Parish of Gosford. In 1824 Owen built a cedar and bluegum cottage on the property. In 1828 the estate and uncompleted

house nearly 90 feet long was sold to Sir John Jameison. During the next eight years the estate was let to John Dow and during his occupation the name 'Aberglasslyn' appeared. The property is also let to George Fletcher.

In 1835 George Hobler leased Aberglasslyn for a year from Sir John Jameison with an option to purchase. In July 1836 the land was purchased by George Hobler for 5,000 pounds. The same year the architect Henry Robertson advertised for tenders for building a house on the estate. Construction did not commence until 1840 when Hobler recorded in his diary laying the foundation stone. It appears that during the delay Robertson was replaced as architect by John Verge. So closely does the house resemble Verge's work in its planning and detailing that it is accepted that it is the work of the premier architect, John Verge.

Before Hobler could finish the house, he had fallen prey, as so many of his contemporaries had, to the financial depression of the early 1840s which devastated the colony. Hobler stopped work on the house in 1842, filed his 'Insolvent Schedule' and was declared bankrupt. Hobler had completed the entrance hall, stair hall, drawing room and breakfast room. The rest of the house was left unfinished.

Hobler stayed on until 1845 although the estate was sold in 1843. In 1846 William Nicholson leased the estate and he bought it in 1853. He made the remainder of the house habitable at this time. This work appears to have been completed by 1858 when the house was leased to Walter Hall and his sisters as a boarding school. It continued in the Nicholsons family until 1910, then passed through marriage to the McKeachie family.

The term 'villa' was first used in England in the 17th century, partly from the Latin and Italian 'country house, farm', perhaps derived from the stem of vicus (village). The villa was a country mansion or residence, together with a farm, farm-buildings, or other house attached, built or occupied by a person of some position and wealth. It was taken to include a country seat or estate and later a residence in the country or in the neighbourhood of a town, usually standing in its own grounds. From this it was appropriated by the middle of the 18th century to mean a residence of a superior type, in the suburbs of a town or in a residential district, such as that occupied by a person of the middle class, and also a small, better-class dwelling house, usually detached or semi-detached. The term 'villa garden' was used in the context of Hobart and Sydney residences in the 1830s, and if near the coast or harbour, the appellation 'marine villa' was often applied. Australian origins probably date from the grant conditions applied to Sydney's Woolloomooloo Hill (1827, under Governor Darling), which obligated the construction of villas fulfilling certain conditions... 'with garden like domain, and external offices for stables and domestic economy' (John Buonarotti Papworth, 1825, quoted in James Broadbent's 1997 book, 'The Australian Colonial House'). Many gardens of 19th century villas followed Gardenesque conventions, with garden ornaments often complementing the architecture of the house. The term had acquired such widespread usage by the 1850s that when Jane Loudon issued a new edition of her husband (John Claudius Loudon)'s 'Suburban Gardener and Villa Companion' (1838) she merely entitled the revised work 'The Villa Gardener' (1850). This coincided with a growing period of suburbanisation in Australia with consequent fostering of the nursery trade. By the 1880s, descriptions of Australian villas implied sufficient room for a lawn on two or three fronts of the residence (Aitken, 2002, 619-20).

In 1966 the McKeachie family sold the house, by then deteriorated, to Mr Jackson a local plumber. In 1977 Jackson subdivided the land into four lots. The house and two of the lots were sold to Mr and Mrs Phillip Jones who undertook urgent and major conservation work. Since 1983 the property has been under various ownerships (Lucas 1985).

### **Historical significance**

*Criterion (a) An item is important in the course, or pattern, of NSW's (or the local areas') cultural or natural history.*

It is arguably the finest extant Greek Revival style villa (in the 18th century sense of the word) in Australia. The configuration of its fabric, largely in its c1860 form is patent physical evidence of the high expectations of colonial settlers of the 1830s and early 1840s and the severity of the economic crash of the 1840s. It is the earliest known surviving example in Australia of a house design generated in part by considerations of an integrated sanitary plumbing system. The building is one of a group of surviving pre-1850 in the vicinity of Maitland. The house and setting is physical evidence of the pattern of land settlement and leasehold farming in the Maitland area. (Clive Lucas & Partners 1985:32)

### **Aesthetic significance**

*Criterion (c) An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area).*

It contains elements of high individual and often unique quality, including a domed stairwell and geometric stair of unique quality and design in Australia. It is one of a handful of pre 1850s villas in Australia designed integrally with a terrace wall, designed for a single-storey colonnade and to be planned around a central staircase in the Palladian manner of Taylor and Soane. The surrounding landscape is the setting for a building of great cultural significance. (Clive Lucas & Partners 1985:32-33)

### **Social significance**

*Criterion (d) An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons.*

The place is perceived by many knowledgeable people to be one of the major sites of cultural significance in Australia. On a regional basis the building is an historic landmark (monument). The place has provided and has potential to continue to provide an educational function. (Clive Lucas & Partners 1985:33)

### **Research/Technical significance**

*Criterion (e) An item has the potential to yield information that will contribute to the understanding of NSW's (or the local areas) cultural or natural history.*

It is an exemplary example of the 19th century builder's art embodied in the quality of the stonework, brickwork, timber selection, carpentry and joinery, plasterwork, hardware etc. The construction of the stone geometric staircase is unique in Australia. The design and construction of the surviving section of the sanitary plumbing system is unique in Australia. The building is one of the best examples of the use of Ravensfield stone. The present incomplete state of the building provides a rare opportunity for the study of superior quality 19th century building techniques. (Clive Lucas & Partners 1985:33)

## Rarity

*Criterion (f) An item possesses uncommon, rare or endangered aspects of NSW's (or the local area's) cultural or natural history.*

It is the earliest known surviving example in Australia of a house design generated in part by considerations of an integrated sanitary plumbing system

## Statement of Significance

It is arguably the finest extant Greek Revival style villa (in the 18th century sense of the word) in Australia. The configuration of its fabric, largely in its c1860 form, is patent physical evidence of the high expectations of colonial settlers of the 1830s and early 1840s and the severity of the economic crash of the 1840s. It is the earliest known surviving example in Australia of a house design generated in part by considerations of an integrated sanitary plumbing system. The building is one of a group of surviving pre-1850 in the vicinity of Maitland. The house and setting is physical evidence of the pattern of land settlement and leasehold farming in the Maitland area. It contains elements of high individual and often unique quality, including a domed stairwell and geometric stair of unique quality and design in Australia. The place is perceived by many knowledgeable people to be one of the major sites of cultural significance in Australia. On a regional basis the building is an historic landmark (monument). It is an exemplary example of the 19th century builder's art embodied in the quality of the stonework, brickwork, timber selection, carpentry and joinery, plasterwork, hardware etc. (Clive Lucas & Partners 1985:32-33).

## 3.2 ABERGLASSLYN COTTAGE

There is limited information on Aberglasslyn Cottage currently in the SHI database. Current information includes the address, 94 Aberglasslyn Lane Aberglasslyn NSW; Heritage Item ID 20003434; the Maitland LEP listing - Item No. 12 and the Gazettal date of 16/12/2011.

The following information, also outlined above in Section 3.1 *Aberglasslyn House Historical notes or provenance*, indicates that an earlier cedar and bluegum cottage was built near the site of Aberglasslyn House in 1823 by Henry D Owens.

*On 3rd July 1823 Henry D Owens received a crown grant of 1100 acres in the Parish of Gosford. In 1824 Owen built a cedar and bluegum cottage on the property. In 1828 the estate and uncompleted house nearly 90 feet long was sold to Sir John Jameison. During the next eight years the estate was let to John Dow and during his occupation the name 'Aberglasslyn' appeared. The property is also let to George Fletcher.*

*In 1835 George Hobler leased Aberglasslyn for a year from Sir John Jameison with an option to purchase. In July 1836 the land was purchased by George Hobler for 5,000 pounds. The same year the architect Henry Robertson advertised for tenders for building a house on the estate. Construction did not commence until 1840 when Hobler recorded in his diary laying the foundation stone. It appears that during the delay Robertson was replaced as architect by John Verge. So closely does the house resemble Verge's work in its planning and detailing that it is accepted that it is the work of the premier architect, John Verge.*

*Before Hobler could finish the house, he had fallen prey, as so many of his contemporaries had, to the financial depression of the early 1840s which devastated the colony. Hobler stopped work on the house in 1842, filed his 'Insolvent Schedule' and was declared bankrupt. Hobler had completed the entrance hall, stair hall, drawing room and breakfast room. The rest of the house was left unfinished (SHI database accessed 4 April 2023).*

The above information has been incorporated into a *Draft Heritage Data Form for Aberglasslyn Cottage* as part of the *Maitland Aboriginal and Rural Heritage Study* although to date, it has not been adopted or formally published by Heritage NSW.

The *Draft Heritage Data Form* also states that *'there are no visible or obvious signs of Aberglasslyn Cottage or its exact location to be found today'*.

Given that the item is likely an archaeological site with no remaining evidence of the original cottage it is highly unlikely to have any influence on the proposed development located over 600m uphill at 36 Cockatoo Ridge Aberglasslyn.

## 4.0 ASSESSMENT OF HERITAGE IMPACT

### 4.1 CONSERVATION PRINCIPLES

Maitland Council has adopted a set of principles for managing changes to heritage items. These principles apply to all items, including heritage conservation areas, to which clause 5.10 in the *Maitland LEP 2011* apply.

These principles are derived from the Heritage Council Criteria and the Burra Charter, and include the following:

- Change should be based on an **understanding** of heritage significance
- Change should **respect** the heritage significance of the item, site, streetscape and/or area
- Change should be **managed** in accordance with an appropriate conservation policy.

The following is an extract from C.4 Heritage Conservation from the *Maitland DCP 2011*:

*Maitland's environment has value to us all as links to the past. Heritage items, Conservation Areas, archaeological sites and historic artefacts individually and collectively have profound importance. They provide a source of community identity, evidence of the evolution of society's values, the impetus and inspiration for new ideas or the revival of the old. They also provide a wonderful source of aesthetic satisfaction and are an increasingly important economic resource.*

*An understanding of Maitland's historic environment provides important background information to anyone considering development that may impact on a heritage item or a heritage conservation area. This information is attached as an Appendix (Maitland DCP 2011).*



The key aims of the Maitland DCP for new buildings in historic areas are summarised below:

- new buildings are to be designed and located in harmony with existing development in historic areas;
- It aims to encourage an appreciation of the special character, features and setting of an area, then to reflect this understanding in the design of the new building;
- It is essential that the scale and siting of new development does not detract from the scale, form, unity, and character of the surrounding area;
- New development should therefore respect the character of its surrounds. However, respect does not mean copying. While architectural replicas may appear visually compatible with their surroundings, they can confuse the original buildings in the area and give a false impression of historical development; and
- New development can be contemporary in design when it is well integrated with and related harmoniously to its older neighbours

The proposed works are assessed against the relevant planning controls of the DCP in the following section.

## 4.2 ASSESSMENT OF PROPOSAL AGAINST COUNCIL PLANNING CONTROLS

The following Table outlines an assessment of the proposed development against the objectives and requirements in *Part C Design Guidelines – Heritage Conservation* in the Maitland DCP 2011 (as updated 17 October 2022).

**Table 1: Analysis of the proposal against the relevant objectives and requirements - Section C.4 Heritage Conservation including S. 4. of the DCP - General Requirements for New Buildings in Historic Areas and S. 6 – New Development in the Vicinity of Heritage Items (only the relevant aims and requirements are listed for assessment)**

Objectives	Requirements	Comment
<b>S. 4.1 Siting: to ensure that siting of new buildings respect the significance and character of the surrounding area.</b>	New development should have regard to the established patterns of the locality with regard to the typical location and orientation of buildings on an allotment.	The siting of the proposed new dwelling is located on a grassy slope within the Aberglasslyn House Heritage Conservation Area (HCA). It has regard to the established patterns of the locality in that it is a single low scale development within a rural setting. The north-west orientation is similar to that of Aberglasslyn House and designed to take in the view of the Hunter River and floodplain.
<b>S. 4.2 Scale: to ensure the scale of the new building respects the significance and character of the surrounding area and does not detrimentally impact upon an established pattern of development in the vicinity</b>	To ascertain the appropriate scale of new buildings, the following design aspects are of particular importance; <ul style="list-style-type: none"> <li>• Reference to the main ridge line heights of original surrounding buildings;</li> <li>• Natural ground or street levels;</li> <li>• Ensuring different parts of the</li> </ul>	The scale of the new dwelling has been designed to respect the significance and character of the

<p><b>S. 4.4 Setbacks: To ensure the setback of the new building respects the significance and character of the surrounding area</b></p>	<p>building are in scale with the whole;  <ul style="list-style-type: none"> <li>• Ensuring the scale of verandahs relate to the scale of those in adjacent buildings.</li> </ul> </p>	<p>surrounding area. It is a low scale, contemporary building.</p>
<p><b>S. 4.5 Form and Massing: to ensure that the form and massing of new buildings respect the significance and character of the surrounding area</b></p>	<p>Landmark buildings in Conservation Areas which may be heritage items, mansions or public buildings will generally be surrounded by single story buildings, or those of a lesser scale. These landmark buildings should not be used as a precedent for increasing the scale of new buildings. New buildings should relate to the scale of existing development around the landmark and respect its prominence. Where there is a uniform historically based setback, it is generally advisable to maintain this setback in a new building. Where the new building will be obtrusive it should be set well back and heavily screened.</p>	<p>The low scale of the new dwelling respects the prominence of Aberglasslyn House, the HCA and other nearby heritage items.</p> <p>The site of the new dwelling is 'setback' approximately 250m upslope of the rear curtilage of Aberglasslyn House. The low scale design of the contemporary building ensures that it is not an obtrusive element in the landscape.</p>
<p><b>S. 4.6 Landscaping: To ensure new landscaping respects the significant characteristics and elements of the surrounding area.</b></p>	<p>New buildings should be designed in sympathy with the predominant form and massing characteristics of the area</p> <p>Houses generally had ridges of the same height. It is therefore important in new buildings to ensure that the width of wings can maintain a consistent ridge and roof height</p> <p>Generous green landscaped areas should be provided in the front of new residential buildings wherever possible. This will almost always assist in maintaining the character of the streets and Conservation Areas.</p>	<p>The proposed development meets this criterion.</p> <p>The form and massing respect the significance and character of the surrounding area. The different parts of the building including the verandahs are in scale with the whole.</p> <p>The site of the new dwelling is in a rural landscape rather than a residential setting. It is within the Aberglasslyn House HCA. Open grassy paddocks with scattered plantings will be retained and supplemented where appropriate.</p>

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New landscaping should not interfere with the appreciation of significant building aspects such as shopfronts or contributory building facades.

Important contributory landscape characteristics such as canopy cover or boundary plantings should be retained in new development.

Tree plantings are proposed in strategic locations to further obscure the view from Aberglasslyn House. Eikos recommends that the landscape plan include locally sourced eucalypts based on species endemic to the site. Other plantings such as Bunya Pine and Silky Oak may also be appropriate.

Ken Taylor's 1995 report titled '*Aberglasslyn House: Heritage Landscape and Visual Catchment Conservation Study*' provides the following description of the site that may be useful in guiding any additional plantings: 'The Hills are dotted with groups and stands of eucalypts forming a distinctive pattern with the open grassy paddocks. These tree patterns reinforce the historic sense of place and continuity'.

**S. 4.7 Detailing: to ensure that detailing on new buildings respects but does not imitate original detailing on older surrounding buildings.**

Avoid fake or synthetic materials and detailing. These tend to give an impression of superficial historic detail.

Avoid slavishly following past styles in new development. Simple, sympathetic but contemporary detailing is more appropriate. Original materials and details on older buildings need not be copied, but can be used as a reference point

The new dwelling is a contemporary design using high quality materials. It does not in any way attempt to copy or imitate original detailing of nearby heritage items.

The proposal meets this criterion.

**S. 4.8 Building elements and materials: to ensure that the use of materials and colours of the new building respect the significance and character of the surrounding area**

**4.8.1. Doors and windows**

- a. New doors and windows should proportionally relate to typical openings in the locality.
- b. Simply detailed four panel doors or those with recessed panels are generally appropriate.

The design meets these criteria in the use of sympathetic and contemporary building elements, materials and colours (see extracts of plans at Appendix 1).

N/A

c. Mock panelling, applied mouldings and bright varnished finishes should be avoided.	N/A
d. Older houses have windows which are of vertical orientation and this approach should be used in new buildings.	N/A
e. Standard windows often come in modules of 900mm wide. Their use should be limited to single or double format only. The most suitable windows are generally double hung, casement, awning or fixed type.	N/A
f. If a large area of glass is required, vertical mullions should be used to suggest vertical orientation. A large window could also be set out from the wall to form a simple square bay window making it a contributory design element rather than a void.	N/A
g. Coloured glazing, imitation glazing bars and arched tops are not encouraged.	N/A
<b>4.8.2 Roofs</b>	
a. Corrugated galvanized iron (or zincalume finish) is the most appropriate roofing material for new buildings in historic areas. It is also economical and durable. Pre finished iron in grey or other shades in some circumstances may also be suitable.	The proposal meets this criterion.
c. Other materials to avoid include modern profile steel deck.	N/A
d. Ogee profile guttering is preferable to modern quad profile. Plastic downpipes should be avoided in prominent	N/A

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positions

#### 4.8.3 Paving

a. Preferred materials for driveways include wheel strips and gravel. N/A

b. It is important that the amount of hard driveway material does not dominate the front garden area. N/A

#### 4.8.4 Walls

a. Imitation Cladding  
Cladding materials which set out to imitate materials such as brick, stone, and weatherboard should be avoided as they tend to detract from the authentic character of the surrounding original buildings. The external wall cladding is Hemp Masonry It is a contemporary material and not designed to imitate brick, stone or weatherboard.

b. Weatherboard  
150mm weatherboards are generally appropriate for historic areas. They should be square edged profile unless the surrounding buildings are post 1920's. As above.

c. Brick  
Plain, non-mottled bricks are preferable with naturally coloured mortar struck flush with the brickwork, not deeply raked. N/A – no bricks are proposed in the design.

Bricks of mixed colours (mottled) should be avoided, as should textured 'sandstock' bricks. N/A

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### *Section 6 'New development in the vicinity of heritage items'*

Aim	Requirements	Comment
To ensure that new buildings provide a setting for the adjoining heritage item so that	Development in the vicinity of listed heritage items should respect and complement the	As previously outlined, the site of the new dwelling is approximately 250m upslope of the rear curtilage of

its historical context and heritage significance are maintained	built form character of those items in terms of scale, setback, siting, external materials, finishes and colour.	Aberglasslyn House.
	New development should have regard to the established siting patterns of the locality.	The orientation and distance of Aberglasslyn House downslope from the site of the new dwelling precludes any significant impact (visual or otherwise) on its historic context or heritage significance. Note the Visual Catchment Map for Aberglasslyn House taken from Ken Taylors 1995 <i>Heritage Landscape and Visual Catchment Conservation Study</i> does not include the area proposed for the new dwelling (Appendix 2).
	New development should generally be set back from the building line of the adjoining or adjacent heritage item.	
	The sensitive selection of materials, colours and finishes is important in terms of achieving compatibility with the heritage items.	From the early planning stage of the development, the design has considered the state heritage significance of the item and the location within the HCA and responded with an appropriate suite of design decisions including scale, setback, siting, external materials, finishes and colour.
	Height and scale of new buildings should not obscure or dominate an adjoining or adjacent heritage item	The proposed development meets this criterion.
Development in the vicinity of a heritage item may be contemporary in design.	The proposed development meets this criterion.	

### 4.3 SUMMARY OF HERITAGE IMPACT ASSESSMENT

#### ***To what extent does the proposal impact adjacent heritage items?***

The proposed new dwelling and shed are located approximately 250m upslope of the closest heritage item, Aberglasslyn House. This distance and the low scale contemporary design ensures that it is highly unlikely to have any adverse impact on the heritage significance of Aberglasslyn House and its curtilage.

#### ***To what extent does the proposal impact the heritage conservation area?***

The low scale contemporary design ensures that it is not an obtrusive element in the rural landscape or the HCA.

***To what extent does the proposal impact any significant fabric or heritage values of the subject site?***

The proposal does not impact any significant fabric or heritage values of the subject site. The state and local heritage significance of Aberglasslyn House and the HCA is retained.

## 5.0 CONCLUSION AND RECOMMENDATIONS

The proposal has been considered against the Heritage Council criteria and the articles outlined in the Burra Charter. It has been assessed against the relevant aims and requirements of *Section C.4 Heritage Conservation* including *S. 4 of the DCP - General Requirements for New Buildings in Historic Areas* and *S. 6 – New Development in the Vicinity of Heritage Items* in the Maitland DCP by considering the impacts of the proposal on the heritage significance of Aberglasslyn House and the HCA.

Eikos concludes that the proposed development is acceptable as it will not have an adverse impact on either the curtilage or vistas of Aberglasslyn House, the HCA or the broader rural landscape. The heritage significance of Aberglasslyn House, the HCA and other nearby heritage items is retained.

## 6.0 REFERENCES

Maitland City Council (2011), *Maitland Local Environment Plan*.

Maitland City Council (2011), *Development Control Plan (amended 21 July 2016)*.

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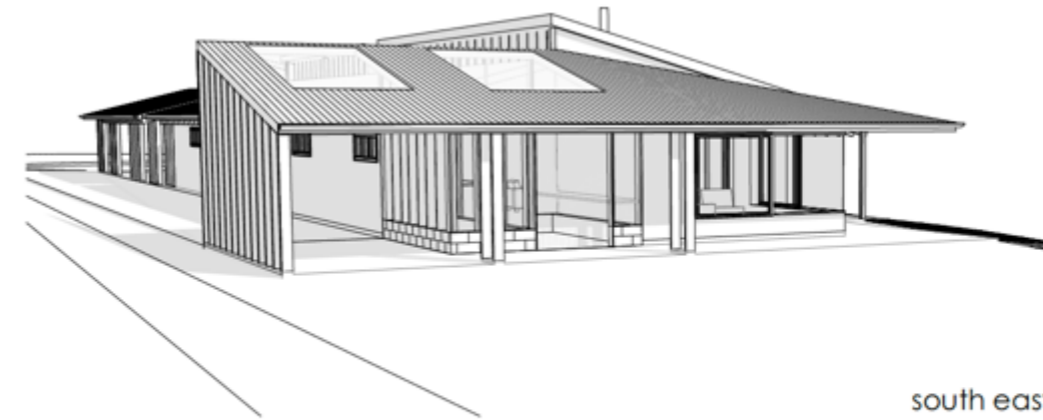
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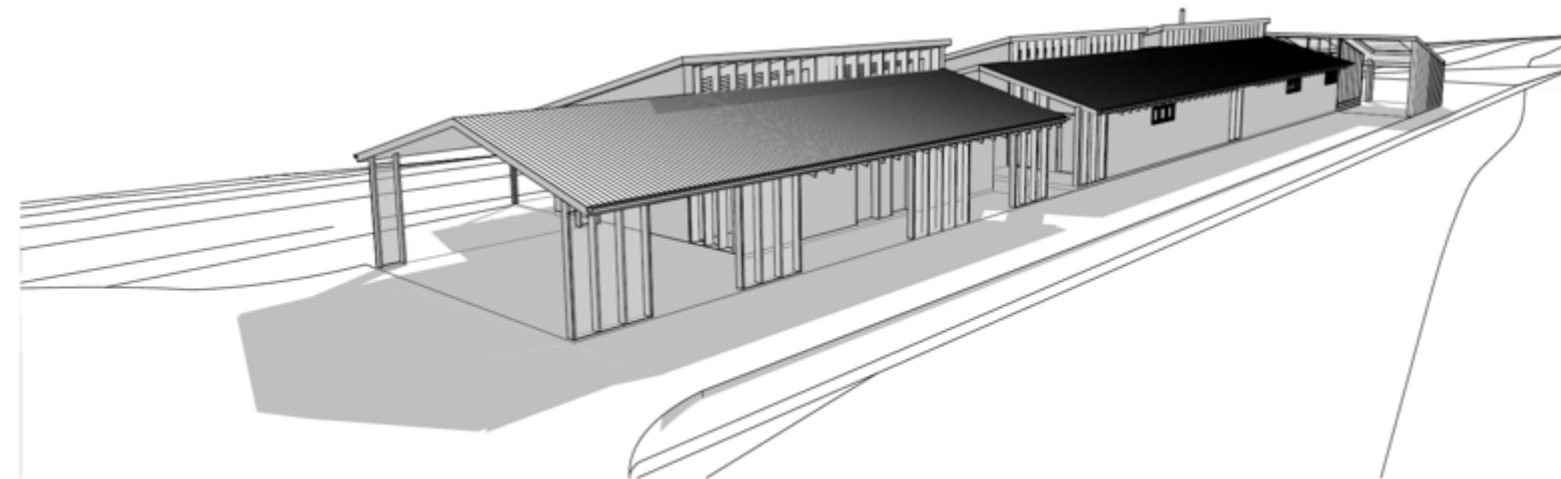


APPENDIX 1 – Extract of Plans for new dwelling and shed (Source: Prudence Bowe Architect)

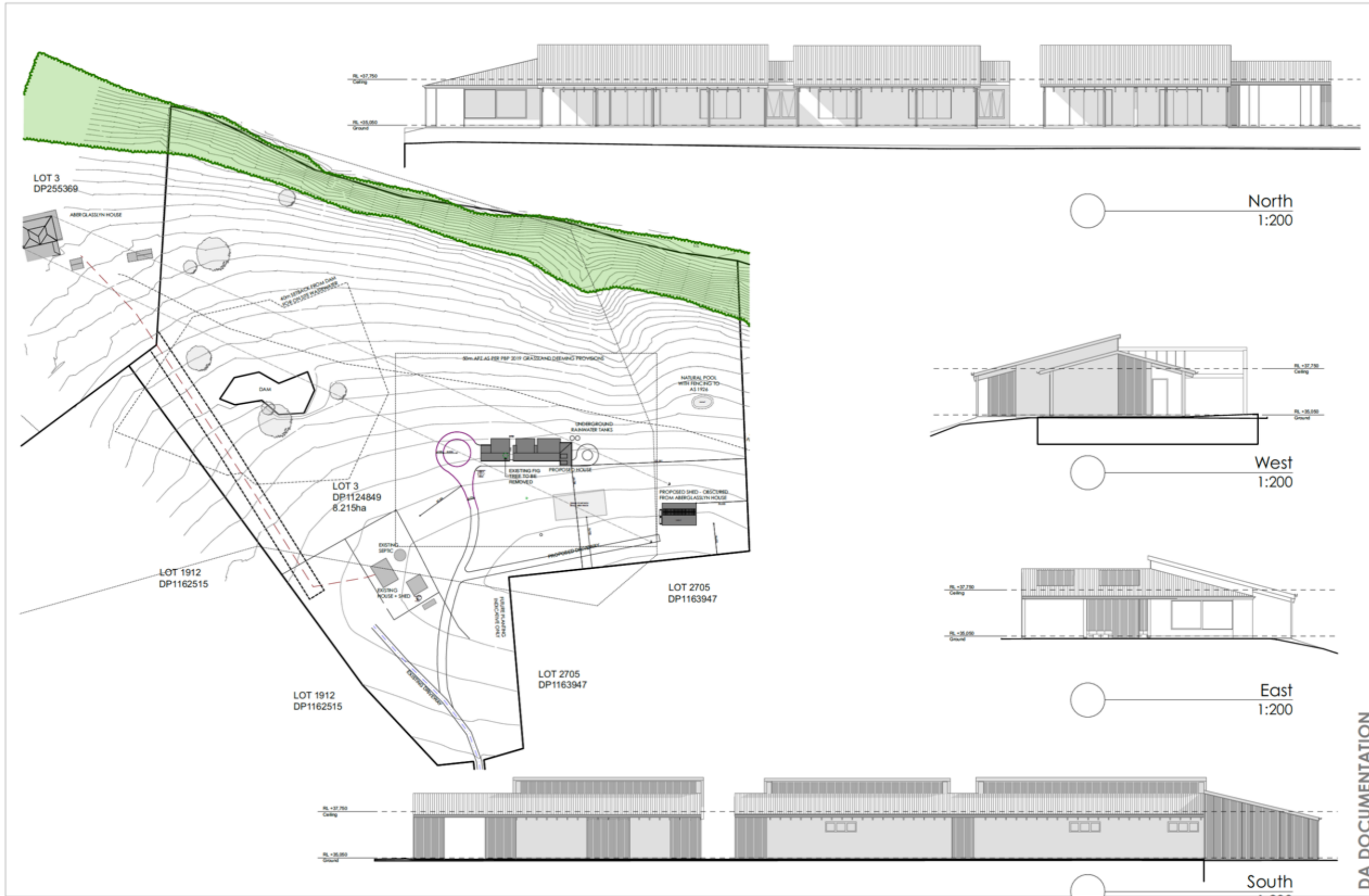
Drawing No.	Subset	Description
DA-001	DA-0 General	Cover Sheet
DA-002	DA-0 General	Notification Plans
DA-003	DA-0 General	Legend
DA-101	DA-1 Plans	Site Analysis Plan 1:2000
DA-102	DA-1 Plans	Building Site Plan 1:500
DA-103	DA-1 Plans	Roof Plan 1:200
DA-104	DA-1 Plans	Floor Plan
DA-105	DA-1 Plans	Shed Plans
DA-106	DA-1 Plans	Existing House Floor Plan
DA-107	DA-1 Plans	Landscape Plan
DA-108	DA-1 Plans	Bulk Earthworks Cut Fill Plan
DA-109	DA-1 Plans	Sediment & Erosion Control Plan
DA-110	DA-1 Plans	Concept Stormwater Plan
DA-111	DA-1 Plans	Vehicle Manoeuvring Plan
DA-201	DA-2 Sections	Sections 1 2 3 4
DA-301	DA-3 Elevations	N S E W
DA-401	DA-4 Schedules	Materials & Colours Schedule
DA-402	DA-4 Schedules	Glazing Schedule



south east



south west



Issue	Revision	Description	Date	Verified
1	B	REVISED DEVELOPMENT DESIGN	02/23	PE
1	C	REVISED DEVELOPMENT DESIGN	08/23	PE
1	D	REVISED DEVELOPMENT DESIGN	13/23	PE
1	E	REVISED DEVELOPMENT DESIGN	11/23	PE
1	F	DEVELOPMENT DOCUMENTATION	17/23	PE
1	G	DEVELOPMENT DOCUMENTATION	17/23	PE
1	H	DEVELOPMENT DOCUMENTATION	17/23	PE
1	I	DEVELOPMENT DOCUMENTATION	13/23	PE
1	J	DEVELOPMENT DOCUMENTATION	13/23	PE
1	K	STATE FOR AN APPROVAL	05/23	PE

The builder shall check and verify all dimensions and verify all errors and omissions. Drawings not to be used for construction purposes until issued.

Structural Engineer: \_\_\_\_\_  
 Surveyor: \_\_\_\_\_  
 Geotechnical Engineer: \_\_\_\_\_  
 Civil Engineer: \_\_\_\_\_

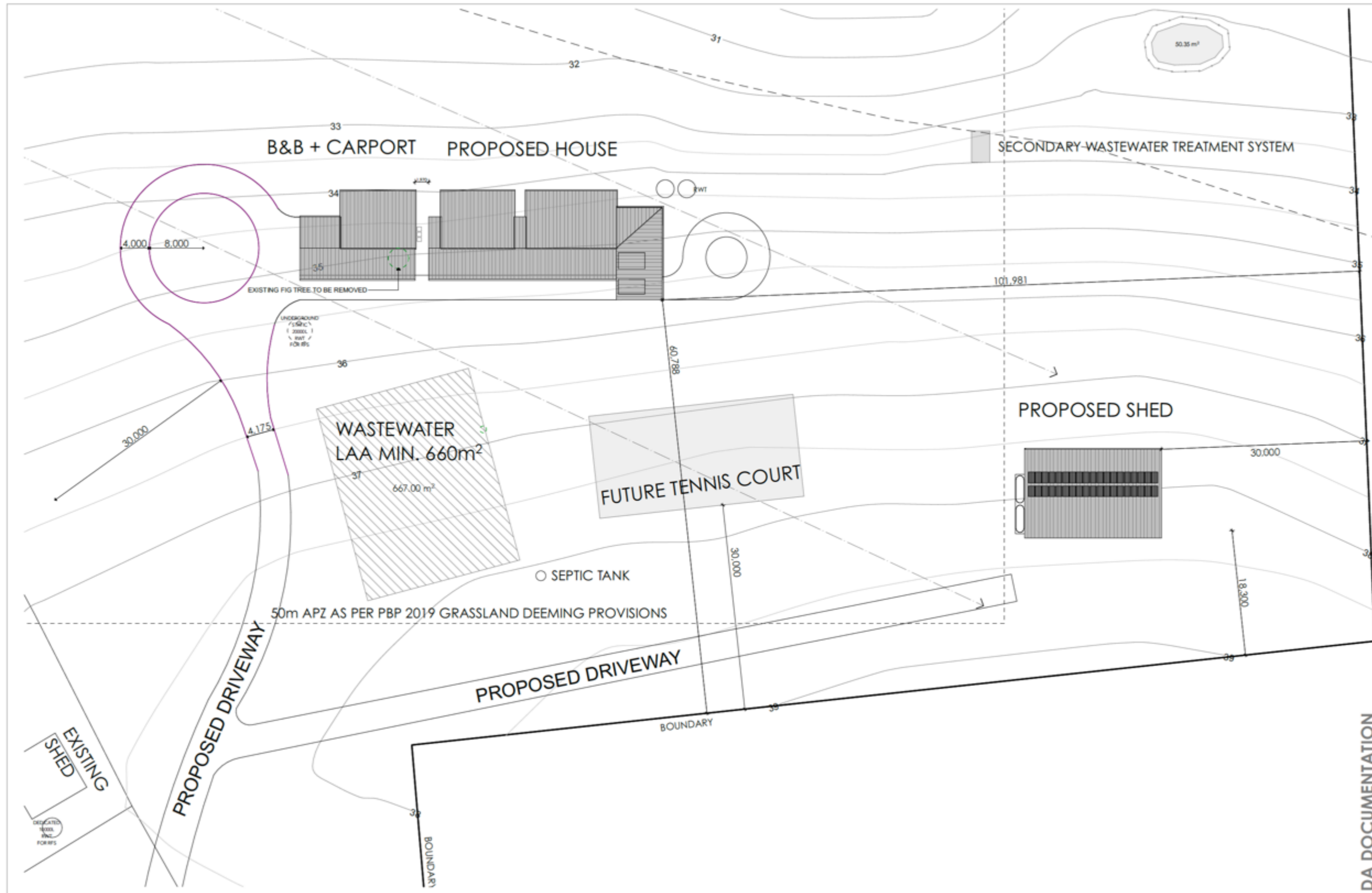
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 NSW AUSTRALIA

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**LOCATION**  
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 Aberglaslyn 2320  
 NSW Australia

<b>DRAWING TITLE</b> General - Notification Plans				
<b>SCALE</b> 1:2000, 1:200 at A3	<b>DATE</b> 5/2/23	<b>PROJECT #</b> 2201	<b>DRAWING #</b> DA-002	<b>Issue</b> K
<b>STATUS</b> Preliminary	<b>DRAWN BY</b> PEB			

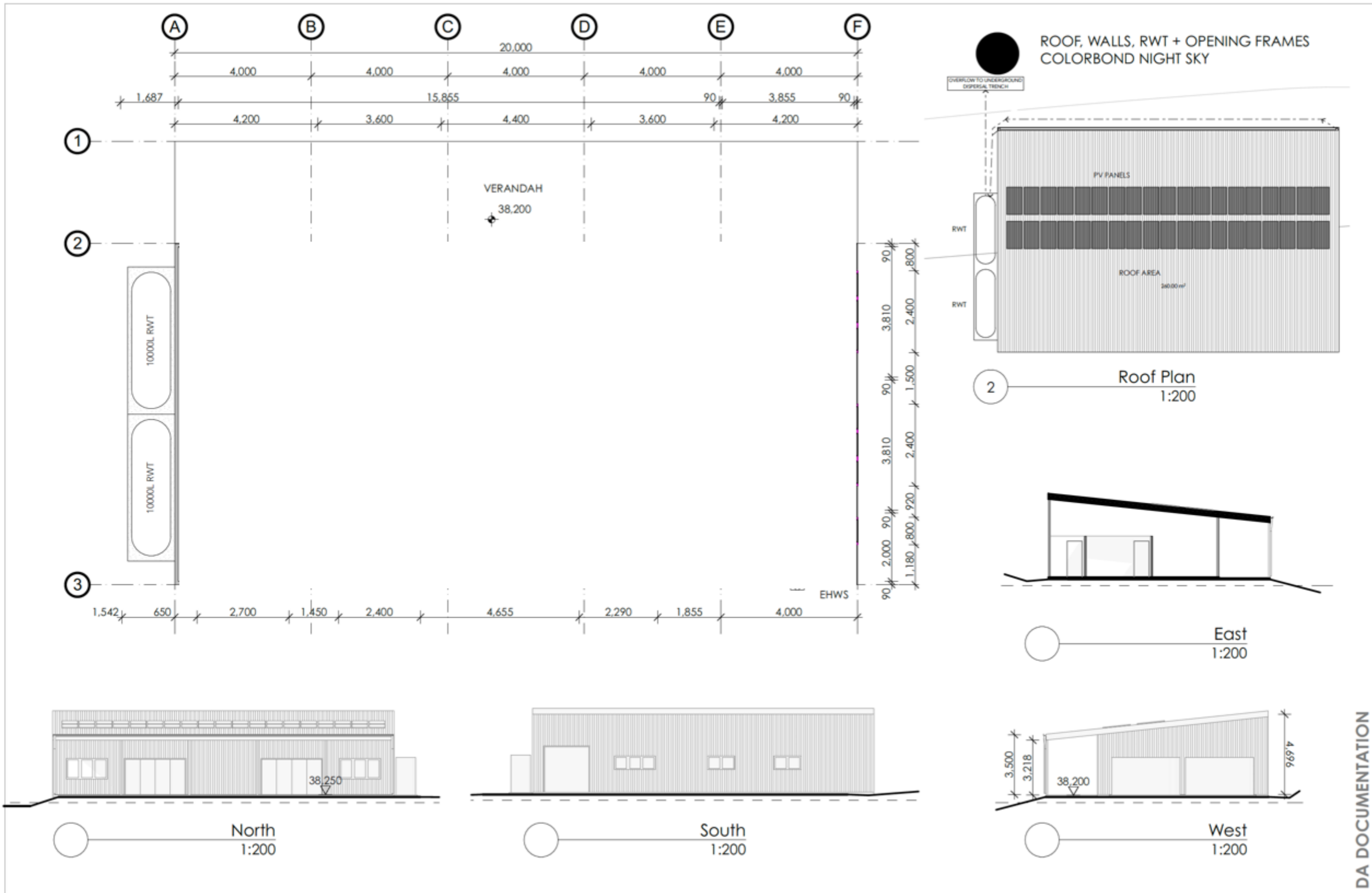
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Issue	Revision	Description	Date	Verified
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1	3	REVISED DEVELOPED DESIGN	13/02/23	PEB
1	4	REVISED DEVELOPED DESIGN	21/02/23	PEB
1	5	DRAFT DA DOCUMENTATION	26/02/23	PEB
1	6	DRAFT DA DOCUMENTATION	26/02/23	PEB
1	7	DRAFT DA DOCUMENTATION	11/03/23	PEB
1	8	DRAFT DA DOCUMENTATION	13/03/23	PEB
1	9	ISSUE FOR DA APPROVAL	09/07/23	PEB

 north point	The builder shall check and verify all dimensions and verify all areas and contours. Drawings not to be used for construction purposes until issued.	Structural Engineer: _____ Surveyor: _____ Geotechnical Engineer: _____ Civil Engineer: _____	<b>Prudence Bowe</b> ARCHITECT + ENERGY ASSESSOR prudence@prudencebowe.com.au 949090540 1/4 Crown Street PO Box 1085 Newcastle 2300 NSW Australia	<b>CLIENT</b> Richard Beardshall & Jen Clarke <b>ADDRESS</b> 36 Cockatoo Ridge Aberglaslyn 2320 Newcastle 2300 NSW AUSTRALIA	<b>PROJECT</b> Cockatoo Ridge <b>LOCATION</b> 36 Cockatoo Ridge Aberglaslyn 2320 NSW Australia	<b>DRAWING TITLE</b> Plans - Building Site Plan 1:500 <b>SCALE</b> 1:500 at A3 <b>STATUS</b> Preliminary	<b>DATE</b> 5/7/23 <b>DRAWN BY</b> PEB	<b>PROJECT #</b> 2201	<b>DRAWING #</b> DA-102	<b>Issue</b> K
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Issue	Revision	Description	Date	Verified
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1	5	REVISED DEVELOPING DESIGN	14/03/23	PE
1	6	REVISED DEVELOPING DESIGN	14/03/23	PE
1	7	REVISED DEVELOPING DESIGN	14/03/23	PE
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1	50	REVISED DEVELOPING DESIGN	14/03/23	PE

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Structural Engineer: [Signature]  
 Substituted: [Signature]  
 Geotechnical Engineer: [Signature]  
 Certified: [Signature]

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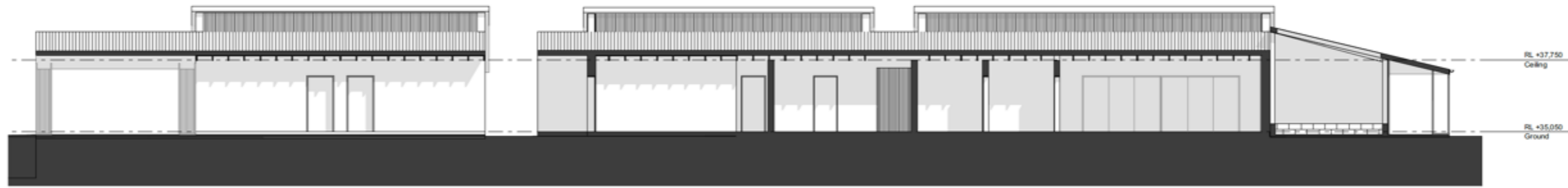
CLIENT  
 Richard Beardshall & Jen Clarke  
 ADDRESS  
 36 Cockatoo Ridge  
 Aberglaslyn 2320  
 NSW AUSTRALIA

PROJECT  
 Cockatoo Ridge  
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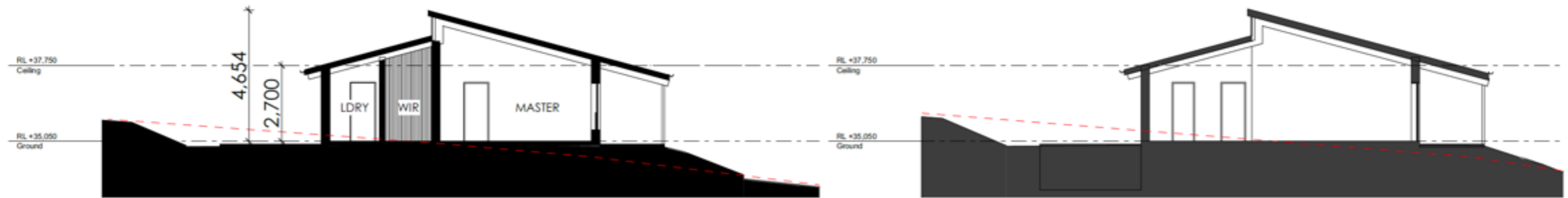
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Plans - Shed Plans		5/7/23	2201	DA-105	K
SCALE	1:100, 1:200 at A3	DRAWN BY	PEB		
STATUS	Preliminary				



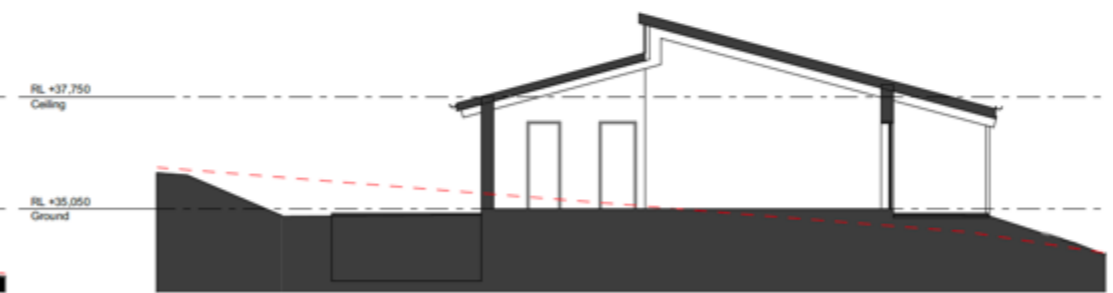
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Section 2  
1:150



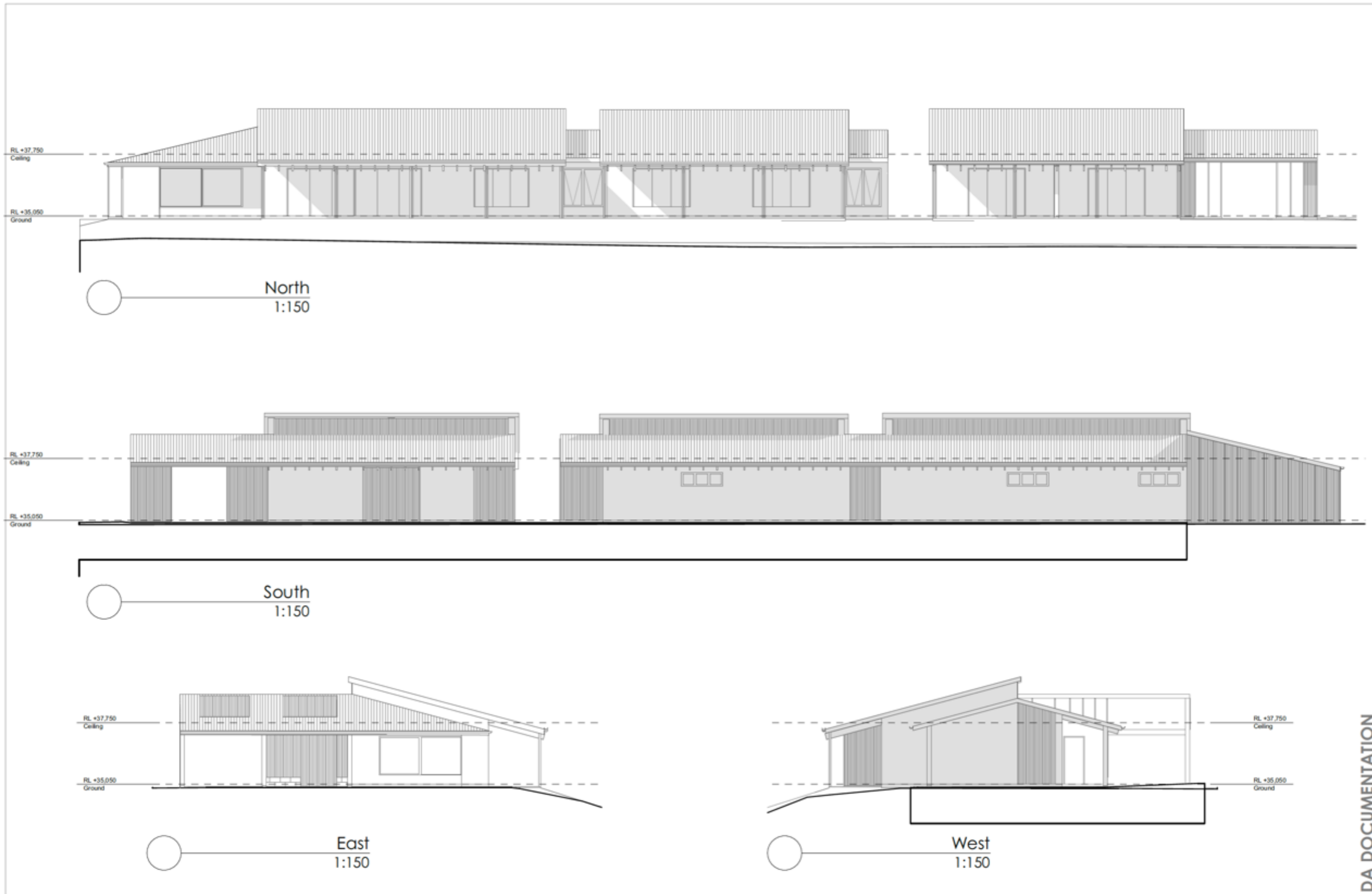
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Section 4  
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Issue	Revision	Description	Date	Verified																																																								
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Issue	Revision	Description	Date	Verified
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1	C	REVISED DEVELOPMENT DESIGN	08/03/23	PE
1	D	REVISED DEVELOPMENT DESIGN	18/03/23	PE
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1	I	DEVELOPMENT DOCUMENTATION	20/03/23	PE
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1	K	DEVELOPMENT DOCUMENTATION	20/03/23	PE

 north point	The builder shall check and verify all dimensions and verify all areas and omissions. Drawings not to be used for construction purposes until issued.
--	---

Structural Engineer	Structural
Geotechnical Engineer	Civil/Structural

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<b>DRAWING TITLE</b> Elevations - N S E W				
<b>SCALE</b> 1:150 of A3	<b>DATE</b> 5/7/23	<b>PROJECT #</b> 2201	<b>DRAWING #</b> DA-301	<b>Issue</b> K
<b>STATUS</b> Preliminary	<b>DRAWN BY</b> PEB			

**EXTERNAL COLOURS**



**ROOF SHEETING**  
CORRUGATED STEEL  
COLORBOND NIGHT SKY



**ROOF RIDGE & BARGE CAPPING**  
COLORBOND STEEL  
COLORBOND NIGHT SKY



**EXTERNAL WALLS**  
HEMP MASONRY  
NATURAL OFF-WHITE FINISH



**BARGE BOARDS**  
TIMBER PROFILES AS PER DETAILS  
CLEAR STAIN FINISH TO MATCH TIMBER DOORS & WINDOWS  
(WHERE VISIBLE)



**FASCIAS & SOFFIT**  
FIBRE CEMENT PROFILES AS PER DETAILS  
DULUX NATURAL WHITE PAINT FINISH



**WINDOWS & GLAZED DOOR TIMBER FRAMES**  
TBC E.G. WESTERN RED CEDAR  
CLEAR FINISH AS PER MANUFACTURERS RECOMMENDATIONS



**EXTERNAL TIMBER DOORS**  
HARDWOOD SOLID CORE LEAFS  
CLEAR STAIN FINISH TO MATCH GLAZED DOORS AND WINDOWS

**MULTI-WALL POLYCARBONATE CLERESTORY EXAMPLE**



**CLERESTORY & EXTERNAL CLADDING**  
MULTI-WALL POLYCARBONATE  
VARYING OPACITIES



**EXTERNAL TERRACE**  
CONCRETE SLAB  
HONED FINISH

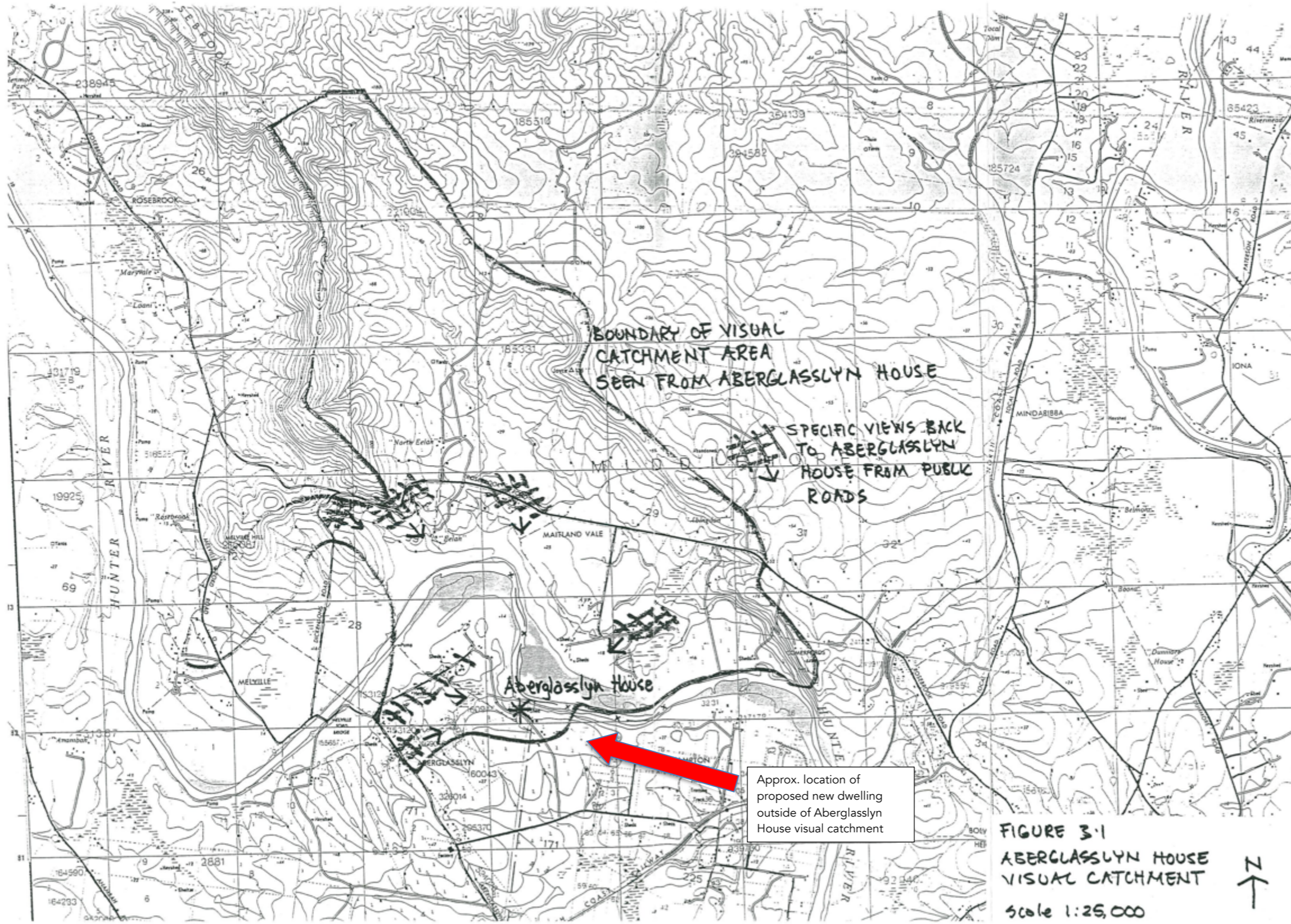


**QUAD GUTTERS & DOWNPIPES & ASSOCIATED BRACKETS & SCREW HEADS**  
COLORBOND STEEL  
COLORBOND NIGHT SKY

DA DOCUMENTATION

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APPENDIX 2 – Aberglasslyn House Visual Catchment (source: Ken Taylor 1995)



Source: Aberglasslyn House: Heritage Landscape and Visual Catchment Conservation Study (Ken Taylor 1995)