



Our Ref: ABI/CMO: 190205(3B)

4<sup>th</sup> September 2023

Adrian Quinn  
Maitland City Council  
P.O. Box 220 Maitland  
NSW 2320

Dear Adrian,

**RE: SECTION 4.55(1A) MODIFICATION APPLICATION TO DA/2016/2890  
651 RAYMOND TERRACE ROAD CHISHOLM (LOT 1 DP 1288624)  
TORRENS TITLE SUBDIVISION – 40 RESIDENTIAL LOTS, 2 RESIDUE LOTS AND ASSOCIATED  
INFRASTRUCTURE**

## **1.0 INTRODUCTION**

Please find enclosed for your consideration and determination, an application made under Section 4.55(1A) of the Environmental Planning and Assessment Act 1979 (EP&A Act), to modify a development consent DA/2016/2890 granted by Maitland City Council on 18 July 2023 for a 42 lot Torrens title subdivision at 651 Raymond Terrace Road Chisholm (Lot 1 DP 1288624) - refer approved plans and Notice of Determination at **Attachment A**.

The proposed modifications as detailed in this submission are of minimal environmental impact and will result in substantially the same development as that approved by the consent. ADW Johnson has been engaged by Allam Property Group to prepare the supporting information for the Section 4.55(1A) application.

The Section 4.55(1A) application seeks approval to amend the development description and the following conditions as set out below:

- 1 – Approved Plans and Documentation
- 2 - Contributions and Fees
- 32 – Maximum Retaining Wall height
- 42 – BEMP submission prior to SWC

### **ADW JOHNSON PTY LIMITED**

ABN 62 129 445 398

#### **Sydney**

Level 35 One International Towers  
100 Barangaroo Avenue  
Sydney NSW 2000

[sydney@adwjohnson.com.au](mailto:sydney@adwjohnson.com.au)

#### **Central Coast**

5 Pioneer Avenue, Tuggerah NSW 2259  
PO Box 3717, Tuggerah NSW 2259  
02 4305 4300  
02 8046 7411

[coast@adwjohnson.com.au](mailto:coast@adwjohnson.com.au)

#### **Hunter**

7/335 Hillsborough Road,  
Warners Bay NSW 2282  
02 4978 5100

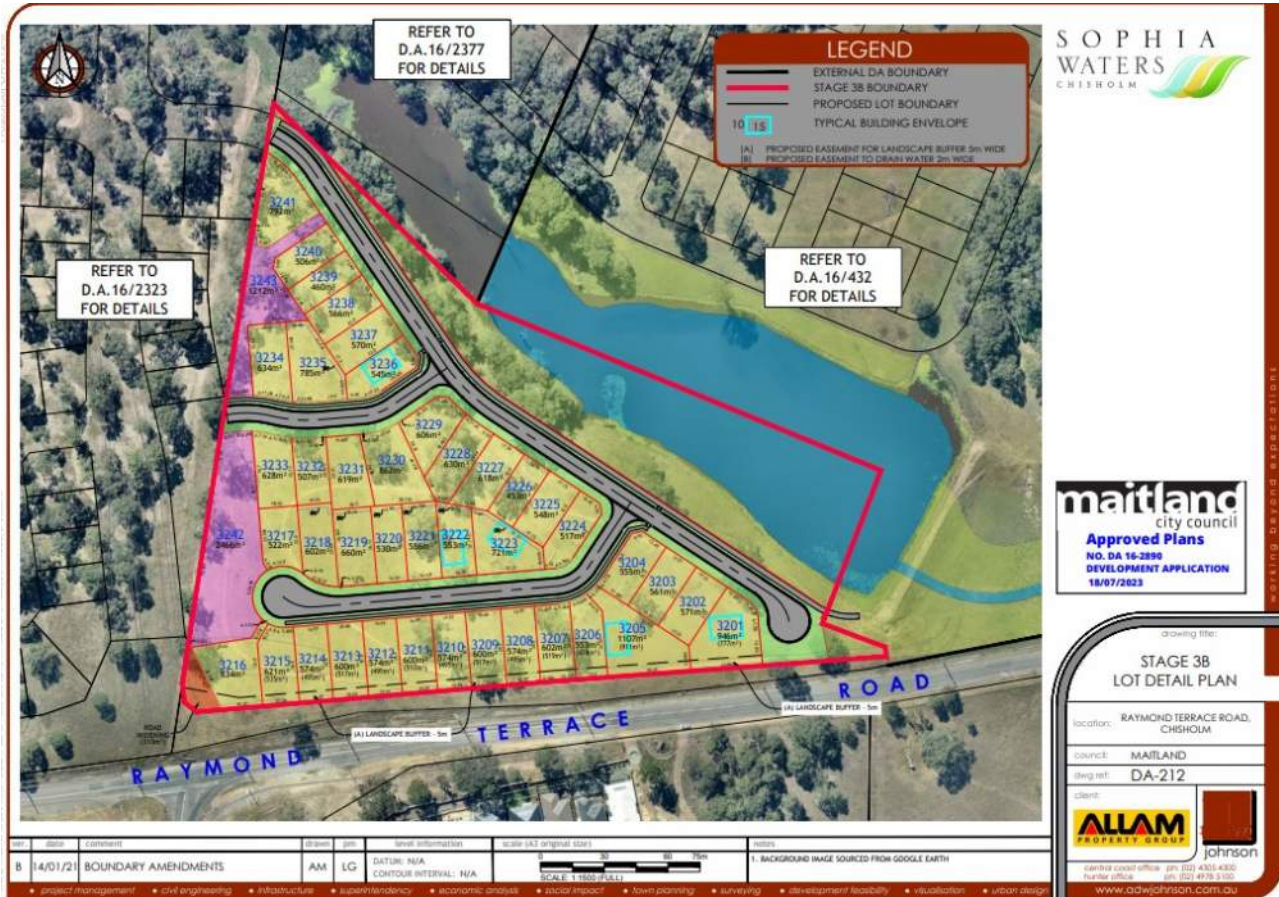
[hunter@adwjohnson.com.au](mailto:hunter@adwjohnson.com.au)

[www.adwjohnson.com.au](http://www.adwjohnson.com.au)

## 2.0 BACKGROUND

Development Consent DA/2016/2890 was granted by Maitland City Council on 18 July 2023 and provides consent for a 42 lot Torrens title subdivision, including associated vegetation clearing, earthworks and construction.

The Notice of Determination and approved plans are enclosed at **Attachment A. Figure 1** below shows the approved subdivision plan.



**Figure 1: Approved Subdivision Layout Plan**

## 3.0 PROPOSED AMENDMENTS

The proposed amendments are discussed further below:

### Development Description

The development description is currently set out as follows:

*Subdivision of 1 Lot into 42 lots, Associated Vegetation Clearing, Earthworks and Construction*

It is proposed to amend the development description to the following:

*Subdivision of 1 Lot into **48** residential lots, Associated Vegetation Clearing, Earthworks and Construction.*

## Justification

The current development description should refer to 40 residential lots (not 42) and two residue lots. As part of this modification, it is proposed to delete the two residue lots, Lot 3242 and Lot 3243 to be replaced by an additional 8 residential lots, resulting in 48 residential lots in total. Amending the development description will more accurately reflect the proposed number of residential lots and resolve the residual land between this development and the development to the west (DA/2019/652:2).

## Condition 1

Condition 1 is set out as follows:

### **APPROVED PLANS AND DOCUMENTATION**

- The development shall be carried out in accordance with the stamped approved plans and documentation as detailed in the following schedule and any amendments arising through conditions of this consent or as shown in red colour on the plans:*

<b>Plan Reference</b>	<b>Sheet No</b>	<b>Revision</b>	<b>Date</b>	<b>Prepared by: (consultant)</b>
Subdivision detail plan	210	B	14/01/2021	ADW Johnson
Subdivision services plan	211	B	14/01/2021	ADW Johnson
Lot detail plan	212	B	14/01/2021	ADW Johnson
Erosion and sediment control plan	221	B	14/01/2021	ADW Johnson
Subdivision works detail plan, 190205(3B)	101	G	28/04/2023	ADW Johnson
Earthworks levels plan, 190205(3B)	102	G	28/04/2023	ADW Johnson
Retaining wall plan, 190205(3B)	103	G	28/04/2023	ADW Johnson
Road longitudinal section MC02, 190205(3B)	201	G	28/04/2023	ADW Johnson
Road longitudinal section MC03, 190205(3B)	202	G	28/04/2023	ADW Johnson
Road longitudinal section MC11 (sheet 1), 190205(3B)	203	G	28/04/2023	ADW Johnson
Road longitudinal section MC11 (sheet 2), 190205(3B)	204	G	28/04/2023	ADW Johnson
Typical road cross sections, 190205(3B)	211	G	28/04/2023	ADW Johnson
Site regrade plan, 190205(3B)	501	G	28/04/2023	ADW Johnson
Tree removal and erosion and sediment control plan, 190205(3B)	801	G	28/04/2023	ADW Johnson
Erosion and sediment control details, 190205(3B)	802	G	28/04/2023	ADW Johnson
Landscaping plan, 11069.5	L101	B	23/12/2020	Terras Landscape

				Architecture
Road buffer planting and fencing detail, 11069.5	L701	A	23/12/2020	Terras Landscape Architecture
Planting schedule, 110969.5	L702	A	23/12/2020	Terras Landscape Architecture
Noise assessment, 151079	1-18	-	January 2021	Spectrum Acoustics
Acoustic advice (fence return north along proposed lot 3201 and road MC11)	1-2	-	09/08/2021	Spectrum Acoustics
Bushfire assessment report, 2163	-	3	25/10/2021	Bushfire Planning Australia
Bushfire Attack Level plan, 221218	-	-	18/12/2022	Bushfire Planning Australia
Preliminary contamination assessment report, CGS2721	1-16	1	19/02/2016	Cardno

It is proposed to delete condition 1 to be replaced with the following:

- The development shall be carried out in accordance with the stamped approved plans and documentation as detailed in the following schedule and any amendments arising through conditions of this consent or as shown in red colour on the plans:*

<b>Plan Reference</b>	<b>Sheet No</b>	<b>Revision</b>	<b>Date</b>	<b>Prepared by: (consultant)</b>
Subdivision detail plan	210	B C	14/01/2021	ADW Johnson
Subdivision services plan	211	B C	14/01/2021	ADW Johnson
Lot detail plan	212	B C	14/01/2021	ADW Johnson
Erosion and sediment control plan	221	B C	14/01/2021	ADW Johnson
Subdivision works detail plan, 190205(3B)	101	G	28/04/2023	ADW Johnson
Earthworks levels plan, 190205(3B)	102	G	28/04/2023	ADW Johnson
Retaining wall plan, 190205(3B)	103	G H	<del>28/04/2023</del> 04/09/2023	ADW Johnson
Road longitudinal section MC02, 190205(3B)	201	G	28/04/2023	ADW Johnson
Road longitudinal section MC03, 190205(3B)	202	G	28/04/2023	ADW Johnson
Road longitudinal section MC11 (sheet 1), 190205(3B)	203	G	28/04/2023	ADW Johnson
Road longitudinal section MC11 (sheet 2), 190205(3B)	204	G	28/04/2023	ADW Johnson
Typical road cross sections, 190205(3B)	211	G	28/04/2023	ADW Johnson
Site regrade plan, 190205(3B)	501	G	28/04/2023	ADW Johnson

Tree removal and erosion and sediment control plan, 190205(3B)	801	G	28/04/2023	ADW Johnson
Erosion and sediment control details, 190205(3B)	802	G	28/04/2023	ADW Johnson
Landscaping plan, 11069.5	L101	B	23/12/2020	Terras Landscape Architecture
Road buffer planting and fencing detail, 11069.5	L701	A	23/12/2020	Terras Landscape Architecture
Planting schedule, 110969.5	L702	A	23/12/2020	Terras Landscape Architecture
Noise assessment, 151079	1-18	-	January 2021	Spectrum Acoustics
Acoustic advice (fence return north along proposed lot 3201 and road MC11)	1-2	-	09/08/2021	Spectrum Acoustics
Bushfire assessment report, 2163	-	3	25/10/2021	Bushfire Planning Australia
Bushfire Attack Level plan, 221218	-	-	18/12/2022	Bushfire Planning Australia
Preliminary contamination assessment report, CGS2721	1-16	1	19/02/2016	Cardno

## Justification

The current approval includes two residue lots, Lot 3242 (2466m<sup>2</sup>) and Lot 3243 (1212m<sup>2</sup>) which align with the residual land within the approved development to the west (DA/2019/652). The residue lots were designed to ensure that an efficient and logical lot layout could be established, subject to a agreements between the adjoining land holder and subject to future applications.

Both the subject lot - Lot 1 DP 1288624 (DA/2016/2890) and Lot 2 DP 1284512 (DA/2019/652) – adjoining to the west are owned by different entities within Allam Property Group being;

- Lot 2 DP 1284512 – Allam Land No. 4 Pty Ltd and;
- Lot 1 DP 1288624 – Thornton Waters Pty Ltd.

The proposed modification will result in the deletion of the two residue lots, Lot 3242 and Lot 3243 to be replaced by an additional 8 residential lots, resulting in 48 residential lots in total. In addition, residential Lots 3234 – 3241 have slightly been reconfigured. – refer **Figure 2** below and **Attachment B**.

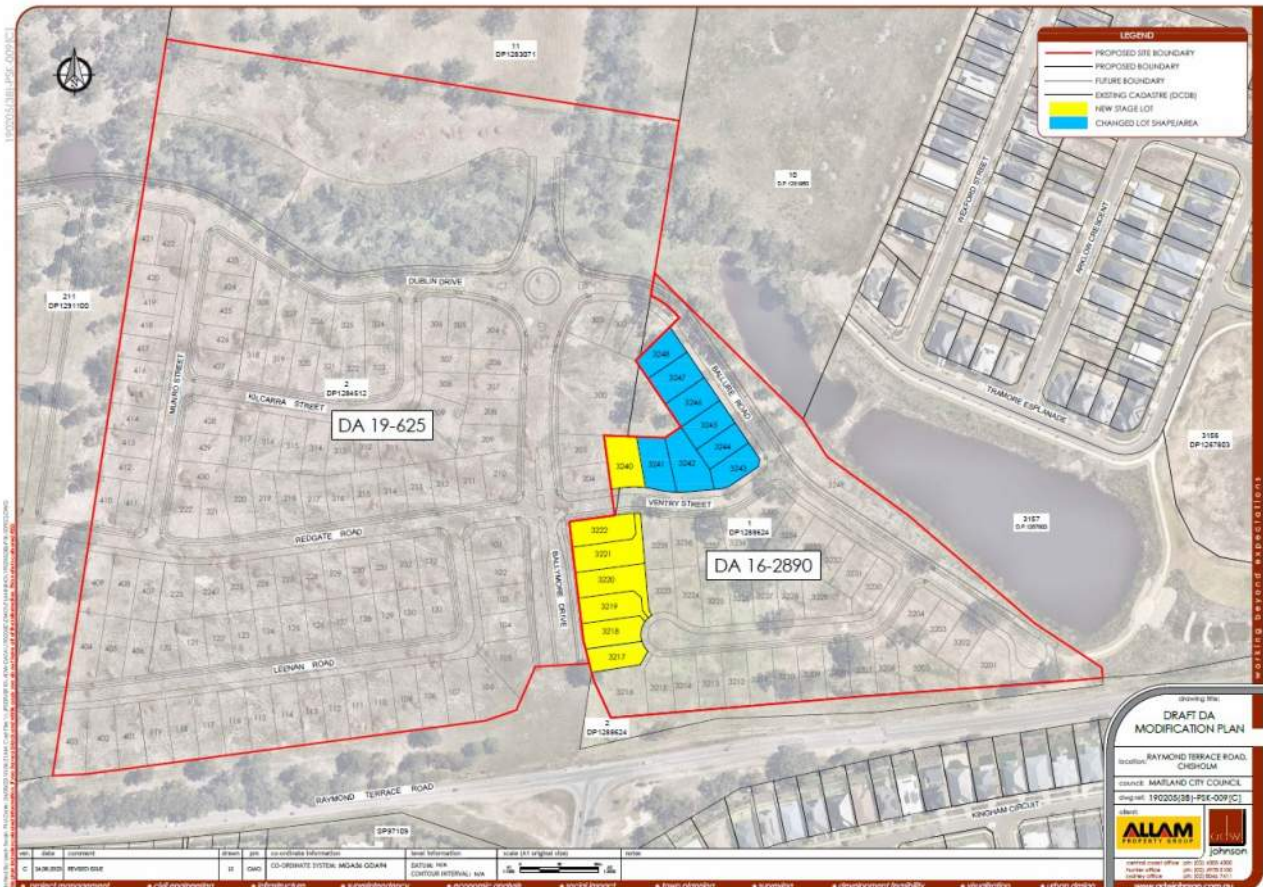
During the assessment process, ADW Johnson provided a proposed subdivision layout for the residual lands between 651 and 581 Raymond Terrace Road. The subdivision layout was agreed to prior to the consent being granted to ensure the approved layout was satisfactory to facilitate efficient use of the residual land. This agreed strategy for residue land between MC02 & MC03 is shown in **Attachment C**.

The proposed boundary alignment north of MC02 facilitates a subdivision layout for residential lots and a proposed childcare lot (DA to be applied for under separate cover).

This layout has developed over time and was shown to MCC officers at a meeting on 29<sup>th</sup> June 2023.

The proposed boundary alignment and access arrangement includes 4 new battle-axe lots accessed from MC02 & MC03 which are consistent with the adopted residue strategy that was agreed with MCC's Planning assessor in December 2021.

Revised retaining is required to deliver the abovementioned changes to the layout. Please Refer **Attachment D** for these changes.



**Figure 2: Amended subdivision layout plan**

## Condition 2

Condition 2 is set out as follows:

### **CONTRIBUTIONS AND FEES**

2. Pursuant to Section 7.11 of the Environmental Planning and Assessment Act 1979 the Thornton North Development Contributions Plan 2008 and the Maitland City Wide Development Contributions Plan 2016, a contribution of \$1,025,171 shall be paid to the Council.

The contribution is calculated from Council's adopted Development Contributions Plans in the following manner:

Facility	Per Lot	Total
	1	42
TN Rec & Open Space	\$5,437.00	\$228,354.00
TN Road & Traffic	\$17,068.00	\$716,856.00
Offset for Land Dedication Part TN39	\$5,589.16	\$234,744.68
Revised Road & Traffic Contributions	\$11,478.84	\$482,111.32
TN Community Facilities	\$1,724.00	\$72,408.00
TN Cycleways/Shared Paths	\$188.00	\$7,896.00
TN Management/Admin	\$443.00	\$18,606.00
CW Aquatics	\$928.00	\$38,976.00
CW Library Floor Space	\$588.00	\$24,696.00
CW Road & Traffic	\$3,074.00	\$129,108.00
CW Cycleways/Shared Paths	\$548.00	\$23,016.00
<b>TOTAL Less Offset</b>	<b>\$24,408.84</b>	<b>\$1,025,171.32</b>

It is proposed to delete condition 2 to be replaced with the following:

2. Pursuant to Section 7.11 of the Environmental Planning and Assessment Act 1979 the Thornton North Development Contributions Plan 2008 and the Maitland City Wide Development Contributions Plan 2016, a contribution of \$1,025,171 shall be paid to the Council.

The contribution is calculated from Council's adopted Development Contributions Plans in the following manner:

Facility	Per Lot	Total
	1	48
TN Rec & Open Space	\$5,437.00	\$260,976.00
TN Road & Traffic	\$17,068.00	\$819,264.00
Offset for Land Dedication Part TN39	\$4,890.51	\$234,744.68
Revised Road & Traffic Contributions	\$10,043.99	\$482,111.32
TN Community Facilities	\$1,724.00	\$82,752.00
TN Cycleways/Shared Paths	\$188.00	\$9,024.00

TN Management/Admin	\$443.00	\$21,264.00
CW Aquatics	\$928.00	\$44,544.00
CW Library Floor Space	\$588.00	\$28,224.00
CW Road & Traffic	\$3,074.00	\$147,552.00
CW Cycleways/Shared Paths	\$548.00	\$26,304.00
<b>TOTAL Less Offset</b>	<b>\$22,973.99</b>	<b>\$1,102,751.32</b>

### Justification

The amendment to condition 2 reflects the increase in the number of residential lots from 40 to 48. The previous table issued with the consent incorrectly applied the contributions to the residual lots.

### Condition 32

32. Retaining walls on common boundaries shall be in accordance with the approved retaining plan. No walls shall exceed the maximum height of 1.5m.

It is proposed to delete condition 2 to be replaced with the following:

32. Retaining walls on common boundaries shall be in accordance with the approved retaining plan. No walls shall exceed the maximum effective height of 1.5m.

### Justification

Allam Property Group intend to leave wall heights several hundred millimetres above the pad level. This additional height is not acting as a retaining structure and should not be included in the measurement of maximum height. SWC plans will be submitted showing the difference between the top of wall and the "effective top of wall" to show what is acting as retaining.

### Condition 42

42. Prior to the issue of a Subdivision Works Certificate ~~for subdivision works~~ a Bulk Earthworks Management Plan (BEMP) is required to be submitted to Council for approval. The BEMP must include a report from a suitably qualified engineer that examines and determines:

It is proposed to delete condition 2 to be replaced with the following:

42. Prior to commencement of Bulk Earthworks ~~the issue of a Subdivision Works Certificate for subdivision works~~ a Bulk Earthworks Management Plan (BEMP) is required to be submitted to Council for approval. The BEMP must include a report from a suitably qualified engineer that examines and determines:

### Justification

This condition is not conducive to the desirable procurement process and requires engagement of a contractor prior to SWC. The BEMP is provided by the civil contractor. It is desirable to engage a civil contract with SWC certified plans. It is better placed as a precursor to commencement of works being granted.



## 4.0 RELEVANT PROVISIONS OF SECTION 4.55(1A)

Section 4.55 of the Environmental Planning and Assessment Act, 1979 is set out as follows:

**“(1A) Modifications involving minimal environmental impact.** A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:

- (a) it is satisfied that the proposed modification is of minimal environmental impact, and
- (b) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and
- (c) it has notified the application in accordance with:
  - (i) the regulations, if the regulations so require, or
  - (ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and
- (d) it has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.

*Subsections (1), (2) and (5) do not apply to such a modification.”*

In relation to 4.55(1A) (a) and (b), Council can be satisfied that the requested modifications will have minimal environmental impacts and that the development as proposed to be modified will still be substantially the same development as that approved under the Consent, for the following reasons:

- There will be minimal changes to the existing physical form of the development; and
- The environmental impacts resulting from the proposed modification are similar to those impacts for the already approved development.

Section 4.55(3) further states as follows:

*“In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 4.15(1) as are of relevance to the development the subject of the application.”*

### **Section 4.15(1)(a) – Statutory Planning Considerations**

Section 4.15 (1) (a) requires the consent authority to take into consideration of:

- “(a) the provisions of:
- (i) any environmental planning instrument, and
  - (ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority (unless the Director-General has notified the consent

authority that the making of the draft instrument has been deferred indefinitely or has not been approved), and

- (iii) any development control plan, and
- (iiia) any planning agreement that has been entered into under section 93F, or any draft planning agreement that a developer has offered to enter into under section 93F, and
- (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), that apply to the land to which the development application relates,"

The proposed development in its modified form will continue to be permitted in the current R1 General Residential zone as set out under Maitland Local Environmental Plan 2011.

There are no draft instruments or planning agreements which would affect the proposed modification.

#### **Section 4.15(1)(b) – Environmental, Social and Economic Impacts**

Section 4.15(1) (b) requires the consent authority to consider:

*“(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality.”*

The relevant matters are addressed above.

#### **Impacts on the Natural Environment**

There will be no additional issues relating to stormwater and flooding (including coastal hazards and sea level rise), erosion and sediment or flora and fauna from the modification.

#### **Impacts on the Built Environment**

There will be no impacts on the existing built environment as a result of the modification.

#### **Social and Economic Impacts**

There will be no additional social or economic impacts as a result of the modification.

#### **Section 4.15(1)(c) – The Suitability of the Site**

Section 4.15(1)(c) requires the consent authority to consider:

*“(c) the suitability of the site for the development.”*

The site has already been approved for development and is able to accommodate the proposed modification.

#### **Section 4.15(1)(d) – Submissions**

Section 4.15(1)(d) requires the consent authority to consider:

“(d) any submissions made in accordance with this Act or the regulations”.

Any relevant representations will need to be considered by the Minister.

### Section 4.15(1)(e) – Public Interest

Section 4.15(1)(e) requires the consent authority to consider:

“(e) the public interest”.

The public interest is best served by the orderly and economic use of land for purposes permissible under the relevant planning regime and predominantly in accordance with the prevailing planning controls. The modification as proposed will not result in any additional environmental impacts and is therefore considered to be in the public interest.

## 5.0 RELEVANT ISSUES UNDER THE EP&A REGULATION 2021

Section 100 of the *Environmental Planning and Assessment Regulation 2021* sets out additional requirements that all applications for modifications of consent under Section 4.55(1A) must comply with. The relevant requirements and how they have been complied with are set out in the following table:

**Table 1: Section 100 Requirements**

Section 100 REQUIREMENTS	COMMENT
(1) A modification application must	contain the following information—
(a) the name and address of the applicant,	Provided within this Section 4.55(1A) Report and as part of the application on the NSW Planning Portal.
(b) a description of the development that will be carried out under the development consent,	Discussed within relevant sections of this Section 4.55(1A) Report.
(c) the address and folio identifier of the land on which the development will be carried out,	Provided within this Section 4.55(1A) Report and as part of the application on the NSW Planning Portal.
(d) a description of the modification to the development consent, including the name, number and date of plans that have changed, to enable the consent authority to compare the development with the development originally approved,	Discussed within relevant sections of this Section 4.55(1A) Report.
(e) whether the modification is intended to— (i) merely correct a minor error, misdescription or miscalculation, or (ii) have another effect specified in the modification application,	Discussed within relevant sections of this Section 4.55(1A) Report.
(f) a description of the expected impacts of the modification,	Discussed within relevant sections of this Section 4.55(1A) Report.

(a) an undertaking that the modified development will remain substantially the same as the development originally approved,	Discussed within relevant sections of this Section 4.55(1A) Report.
(b) for a modification application that is accompanied by a biodiversity development assessment report—the biodiversity credits information,	N/A
(c) if the applicant is not the owner of the land—a statement that the owner consents to the making of the modification application,	Consent of the owner of the land has been provided with the online lodgement application details.
(j) whether the modification application is being made to— (i) the Court under the Act, section 4.55, or (ii) the consent authority under the Act, section 4.56.	N/A

## 6.0 REQUEST FOR CONDITION REQUIRING MODIFICATION UNDER ENVIRONMENTAL PLANNING AND ASSESMENT ACT 1979

The modifications to Development Consent DA/2016/2890 as proposed above will require the modification of approved DA2019/652 to the west to the extent that it needs to be modified to allow land to be excised from the area of land that DA 2019/652 covers.

Clause 4.17(5) of the EP&A Act relating to the imposition of conditions is relevant to the above and is set out as follows:

*“(5) **Modification or surrender of consents or existing use rights** If a consent authority imposes (as referred to in subsection (1)(b)) a condition requiring the modification or surrender of a consent granted under this Act or a right conferred by Division 4.11, the consent or right may be modified or surrendered subject to and in accordance with the regulations.”*

Clause 67(1) of the EP&A Regulation 2021 sets out the circumstances in which a development consent or existing use right may be modified or surrendered by written notice to the consent authority.

As part of this modification application (DA/2016/2890), it is requested that Council as the consent authority impose a condition requiring the modification of DA 2019/652 to the extent that it needs to be modified to allow land to be excised from the area of land that DA2019/652 covers. In accordance with Clause 67 of the EP&A Regulation, once the modification to DA/2016/2890 is approved, the applicant can then by written notice to the consent authority seek to have DA2019/652 modified. Under clause 67(3) the EP&A Regulations, the modification to DA2019/652 takes effect when the consent authority advises the applicant that they have received the notice.

## 7.0 SUPPORTING DOCUMENTATION

This correspondence forms part of the Section 4.55(1A) Application. Accompanying this correspondence are the additional supporting documents outlined below. All correspondence and supporting documentation have been attached to this letter for ease of reference and comprises the following:

- Owners' consents forms for;
  - Lot 2 DP 1284512 – Allam Land No. 4 Pty Ltd and;
  - Lot 1 DP 1288624 – Thornton Waters Pty Ltd;
- Approved plans and Notice of Determination at **Attachment A**;
- Amended subdivision layout plan at **Attachment B**.
- Agreed subdivision layout for residue lots between MC02 & MC03 at **Attachment C**.
- Amended retaining wall layout plan at **Attachment D**.

## 8.0 CONCLUSION

This Section 4.55(1A) application seeks approval to modify conditions 1, 2, 32 and 42 of development consent DA/2016/2890 granted by Maitland City Council on 18 July 2023 for a 42 lot Torrens title subdivision at 651 Raymond Terrace Road Chisholm (Lot 1 DP 1288624).

The current approval includes two residue lots, Lot 3242 (2466m<sup>2</sup>) and Lot 3243 (1212m<sup>2</sup>) which align with residual land within the approved development to the west (DA/2019/652). This amendment relates to Lot 1 DP 1288624 and Lot 2 DP 1284512 and reconfigures the residue lots to include an additional 8 residential lots (overall increase from 40 to 48 residential lots).

Minor adjustments to the wording of consent condition 32 has been requested to align with engineering practicality of the retaining wall structures.

Minor adjustments to the wording of consent condition 42 has been requested to allow for an efficient approval process without unnecessary delay.

In relation to S4.55(1A)(a), Council can be satisfied that the requested modifications will have minimal environmental impacts and that the development as proposed to be modified will still be substantially the same development as that approved under the Consent for the reasons set out in Section 4 above.

In relation to S4.55(1A)(b), the development will remain substantially the same as that previously approved, and the modifications for which consent is now sought do not alter the original findings made in relation to DA/2019/652 regarding the reasonableness and appropriateness of the proposal when considered in the light of the matters listed in Section 4.15 of the Environmental Planning and Assessment Act, 1979.

Council is therefore respectfully requested to approve the proposed modifications.

Should there be any further enquiries, please do not hesitate to contact me on 4978 5100.

Yours faithfully,

A handwritten signature in blue ink that reads 'A Biller'.

**ANDREW BILLER**  
**SENIOR TOWN PLANNER**  
ADW JOHNSON PTY LTD  
HUNTER OFFICE

*N:\190205E\190205(3B)\Planning\DA Prep\S4.55 Modification\S4.55 (1A) Report 651 Raymond Terrace Road Chisholm.doc*



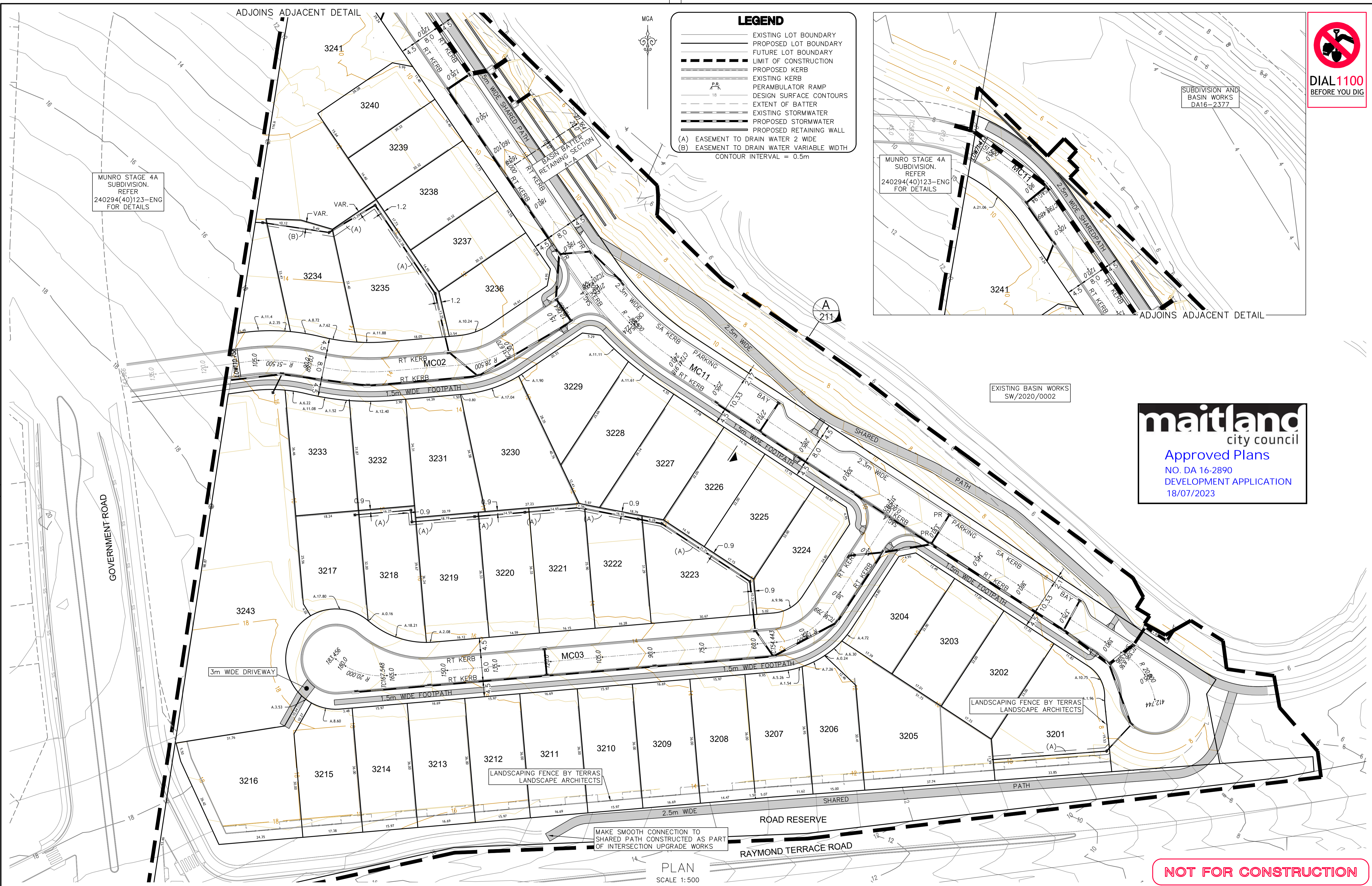
## Attachment A

---

### NOTICE OF DETERMINATION AND APPROVED DEVELOPMENT PLANS

190205(3B)-CENG-101(G)

This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured red.



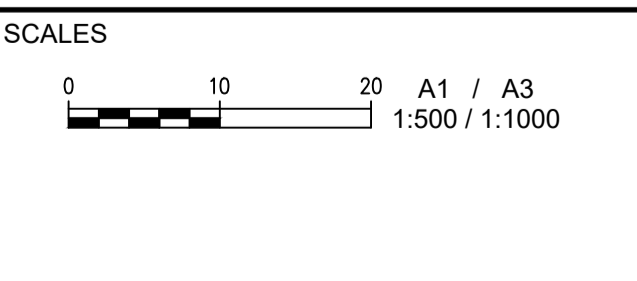
**maitland**  
city council

Approved Plans  
NO. DA 16-2890  
DEVELOPMENT APPLICATION  
18/07/2023

**NOT FOR CONSTRUCTION**

REV.	DATE	AMENDMENT
A	13.12.2016	INITIAL ISSUE
B	14.01.2021	COUNCIL COMMENTS
C	17.08.2021	COUNCIL COMMENTS
D	30.09.2021	COUNCIL COMMENTS
E	12.10.2021	HOUSING UPDATE
F	17.02.2023	REVISED ISSUE
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216

DRAWN	CHECK	DESIGN	VERIFY
Z.J.	M.A.	M.A.	L.C.
T.S.	A.L.	A.L.	L.C.
A.M.	A.L.	A.L.	L.C.
A.M.	A.L.	A.L.	L.C.
A.M.	A.L.	A.L.	L.C.
G.S.	A.L.	A.L.	L.C.
J.C.	A.L.	A.L.	L.C.



**adw Johnson**

Hunter Office  
Unit 7/335 Hillsborough Rd  
Warners Bay N.S.W. 2282  
Phone: (02) 4978 5100  
Fax: (02) 4978 5199  
email: hunter@adwjohnson.com.au  
www.adwjohnson.com.au  
ABN 62 129 445 398

CLIENT

**ALLAM**  
PROPERTY GROUP

PROPERTY DESCRIPTION

SOPHIA WATERS  
STAGE 3B SUBDIVISION  
LOT 2135 DP1256564  
RAYMOND TERRACE ROAD, CHISHOLM

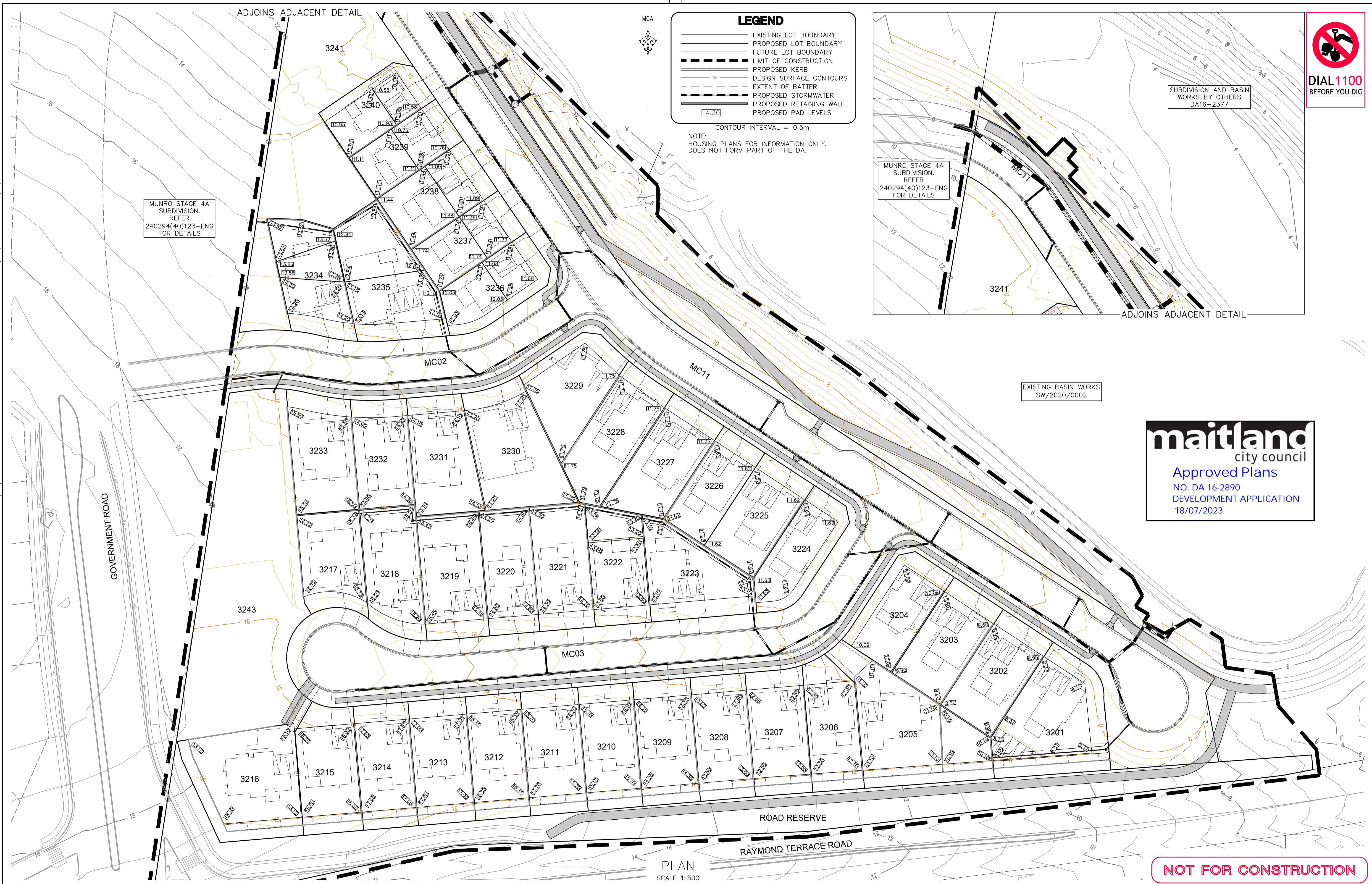
PROJECT	PLAN TITLE
SOPHIA WATERS - STAGE 3B	CONCEPT DETAIL PLAN

PROJECT No.	DISCIPLINE	NUMBER	REV.
190205(3B)	CENG	101	G



190205(3B)-CENG-102(G)

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured red.



**maitland**  
city council

Approved Plans  
NO. DA 16-2890  
DEVELOPMENT APPLICATION  
18/07/2023

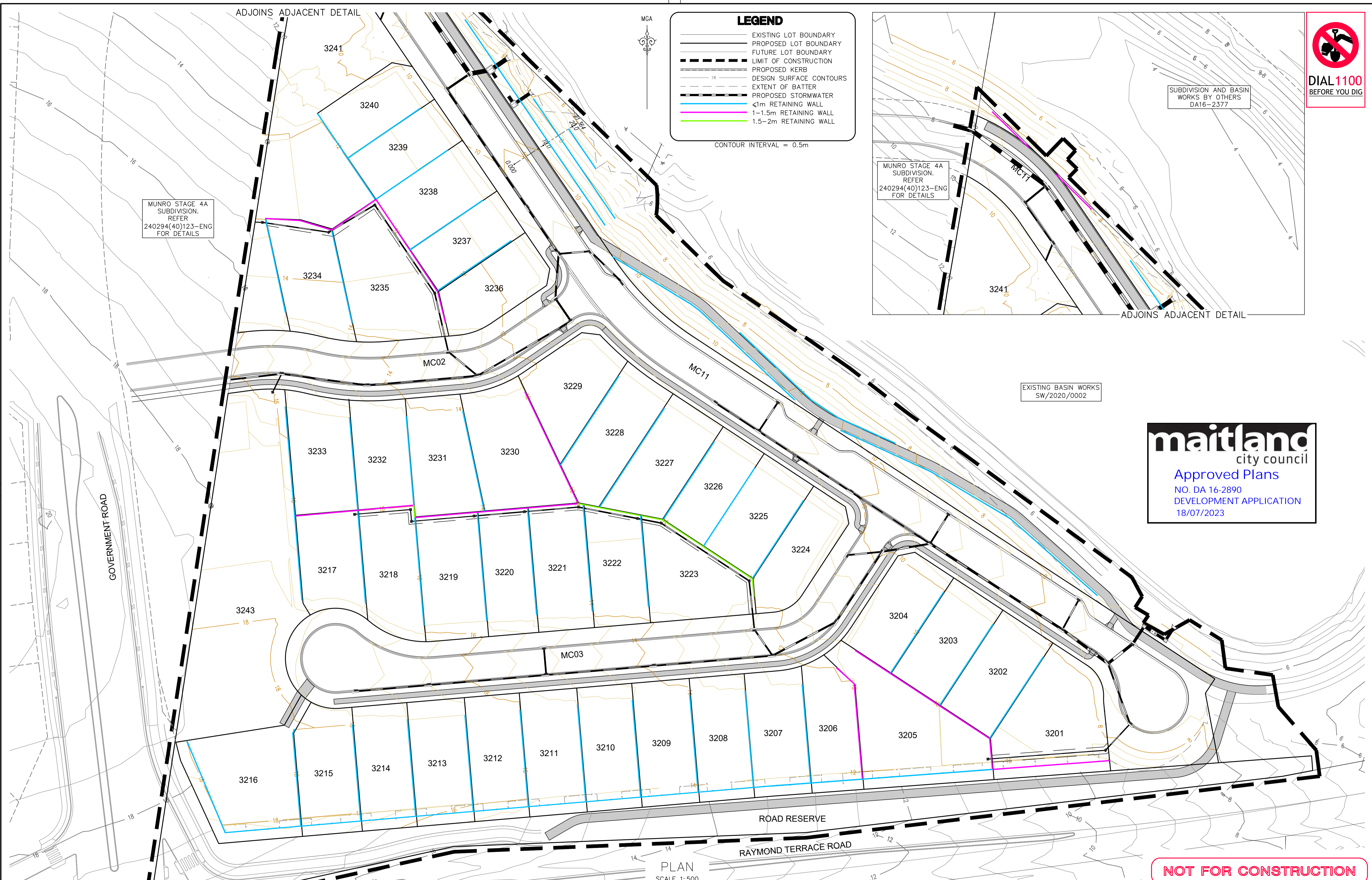
**NOT FOR CONSTRUCTION**

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT	PLAN TITLE	SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.
A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.		<b>Hunter Office</b> Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	SOPHIA WATERS STAGE 3B SUBDIVISION LOT 2135 DP1256564 RAYMOND TERRACE ROAD, CHISHOLM	SOPHIA WATERS - STAGE 3B	PAD LEVEL PLAN	ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	190205(3B)	CENG	102	G
B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.											
C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.											
D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.											
E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.											
F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.G.											
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.											
DESIGN FILE N:\JOBNUMBER\Design\120\								ALL DIMENSIONS ARE IN METRES U.N.O. DO NOT SCALE									
Plotted By: jersonf Plot Date: 28/04/23 - 09:17 Cad File: \\jserver10\adw-data\190205E\DWG\ENG\STAGE 3B CONCEPT\190205(3B)-CENG-102(G).dwg																	



190205(3B)-CENG-103(G)

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured red.

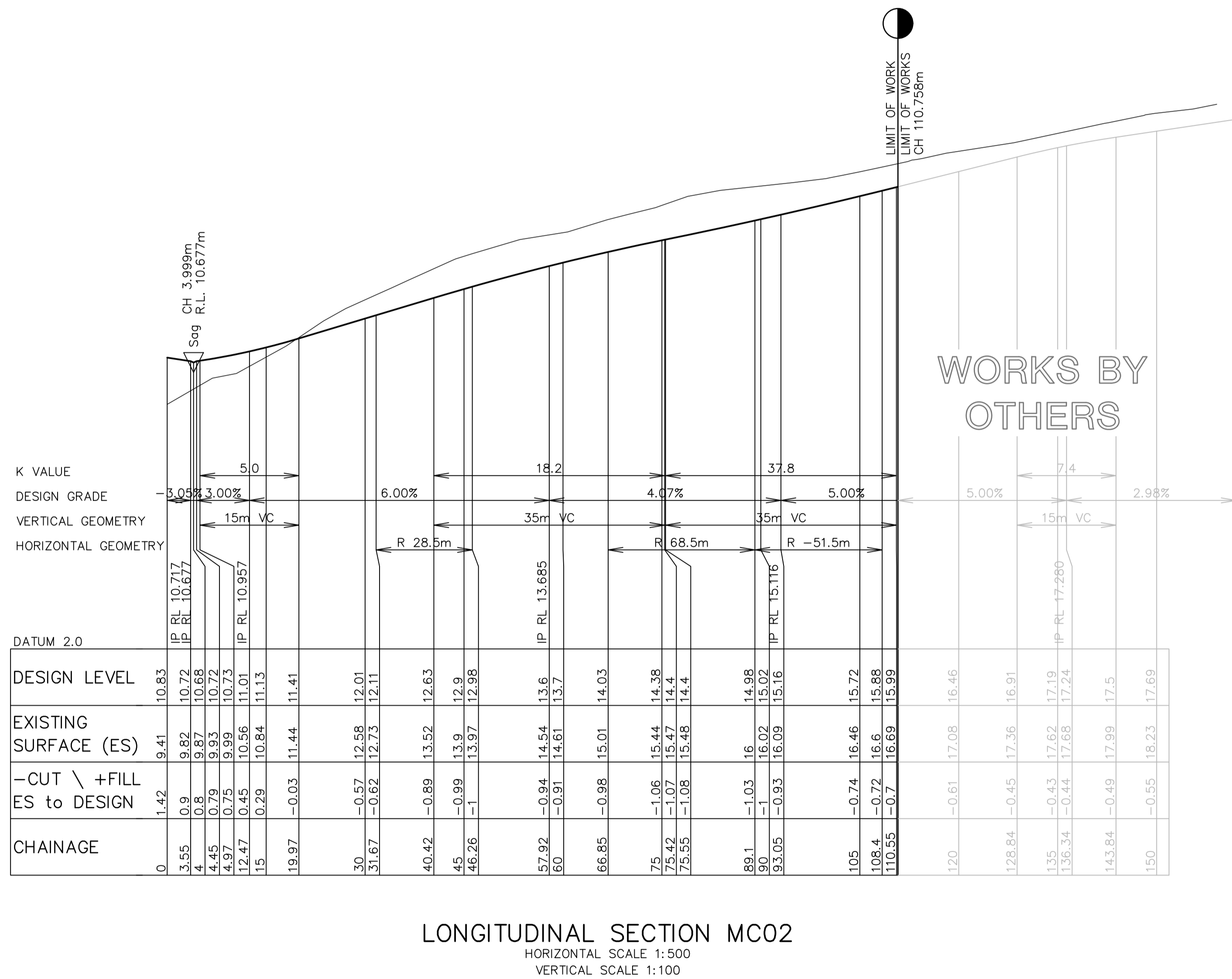


**maitland**  
city council

Approved Plans  
NO. DA 16-2890  
DEVELOPMENT APPLICATION  
18/07/2023

**NOT FOR CONSTRUCTION**

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT	PLAN TITLE	SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.
A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.	 A1 / A3 1:500 / 1:1000	<b>ALLAM</b> PROPERTY GROUP Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	SOPHIA WATERS STAGE 3B SUBDIVISION LOT 2135 DP1256564 RAYMOND TERRACE ROAD, CHISHOLM	SOPHIA WATERS - STAGE 3B	RETAINING WALL PLAN	ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	190205(3B)	CENG	103	G
B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.											
C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.											
D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.											
E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.											
F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.G.											
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.											

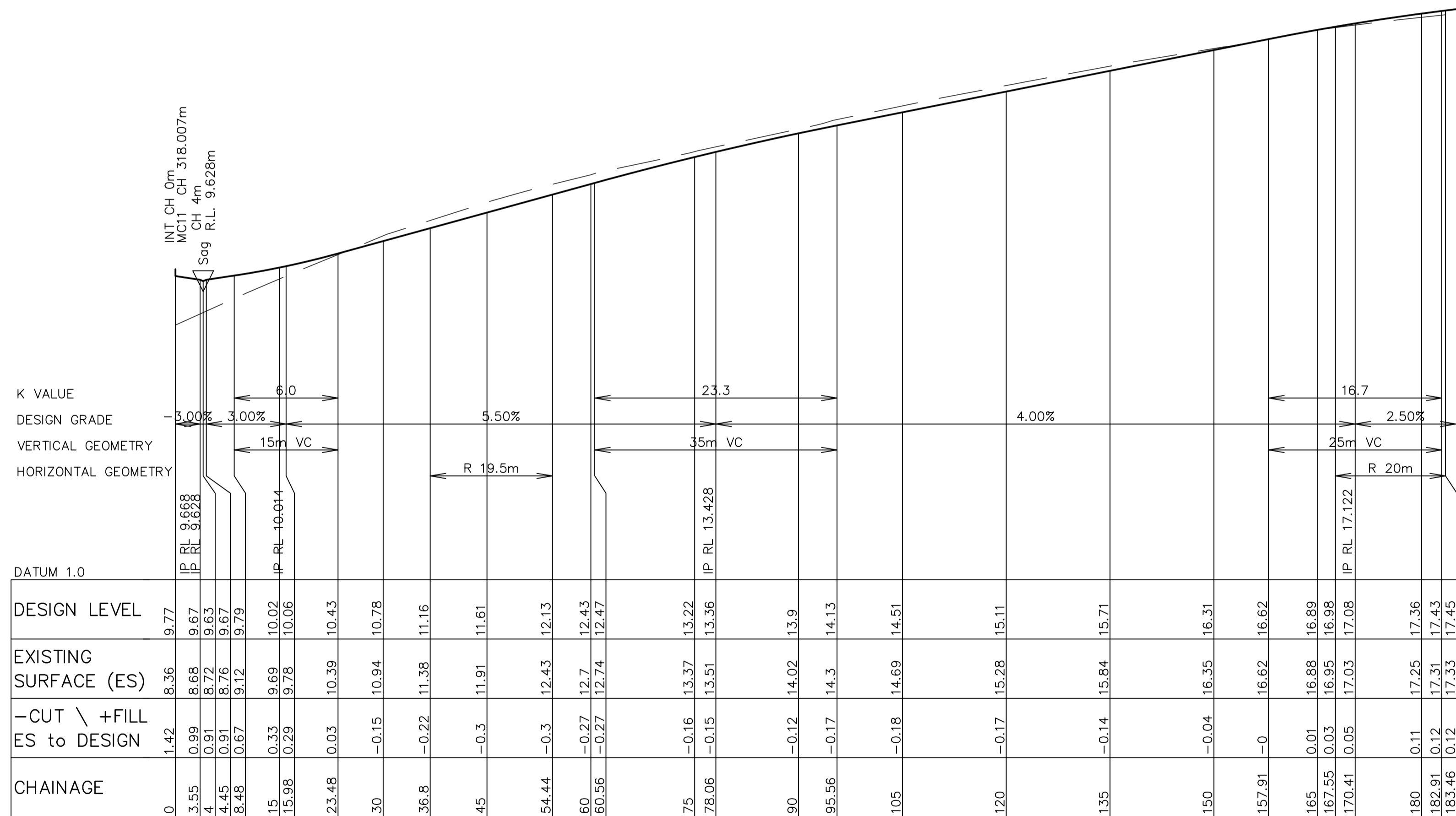


WORKS BY OTHERS

LONGITUDINAL SECTION MC02  
HORIZONTAL SCALE 1:500  
VERTICAL SCALE 1:100

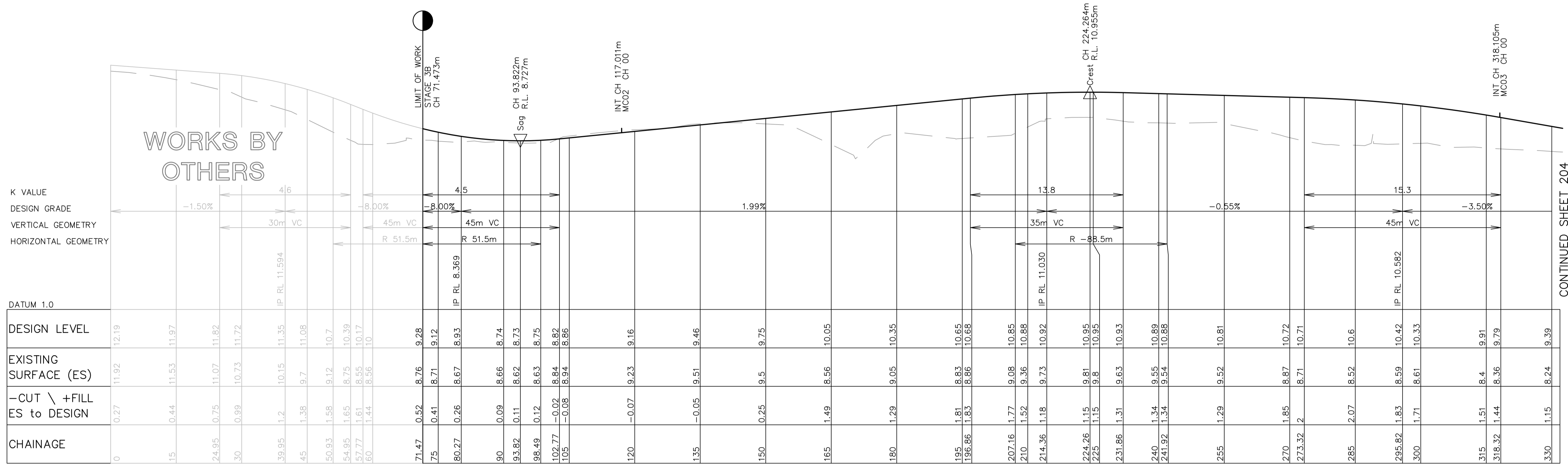
NOT FOR CONSTRUCTION

<table border="1"> <tr><th>REV.</th><th>DATE</th><th>AMENDMENT</th><th>DRAWN</th><th>CHECK</th><th>DESIGN</th><th>VERIFY</th></tr> <tr><td>A</td><td>13.12.2016</td><td>INITIAL ISSUE</td><td>Z.J.</td><td>M.A.</td><td>M.A.</td><td>L.G.</td></tr> <tr><td>B</td><td>14.01.2021</td><td>COUNCIL COMMENTS</td><td>T.S.</td><td>A.L.</td><td>A.L.</td><td>L.G.</td></tr> <tr><td>C</td><td>17.08.2021</td><td>COUNCIL COMMENTS</td><td>A.M.</td><td>A.L.</td><td>A.L.</td><td>L.G.</td></tr> <tr><td>D</td><td>30.09.2021</td><td>COUNCIL COMMENTS</td><td>A.M.</td><td>A.L.</td><td>A.L.</td><td>L.G.</td></tr> <tr><td>E</td><td>12.10.2021</td><td>HOUSING UPDATE</td><td>A.M.</td><td>A.L.</td><td>A.L.</td><td>L.G.</td></tr> <tr><td>F</td><td>17.02.2023</td><td>REVISED ISSUE</td><td>G.S.</td><td>A.L.</td><td>A.L.</td><td>L.G.</td></tr> <tr><td>G</td><td>28.04.2023</td><td>RETAINING WALL LOTS 3201 TO 3216</td><td>J.C.</td><td>A.L.</td><td>A.L.</td><td>L.G.</td></tr> </table>	REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.	B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.	C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.	D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.	E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.	F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.G.	G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.	<p>DESIGN FILE N:\JOBNUMBER\Design\120\</p> <p>Plotted By: jersonf Plot Date: 28/04/23 - 09:18</p>	<p>ALL DIMENSIONS ARE IN METRES U.N.O. DO NOT SCALE</p>		<p>Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohanson.com.au www.adwjohanson.com.au ABN 62 129 445 398</p>	<p>CLIENT</p>	<p>PROPERTY DESCRIPTION</p> <p>SOPHIA WATERS STAGE 3B SUBDIVISION LOT 2135 DP1256564 RAYMOND TERRACE ROAD, CHISHOLM</p>	<p>PROJECT</p> <p>SOPHIA WATERS - STAGE 3B</p> <p>PLAN TITLE</p> <p>ROAD LONGITUDINAL SECTIONS: ROAD MC02</p>	<table border="1"> <tr> <th>SURVEYED</th> <th>DATUM</th> <th>PROJECT No.</th> <th>DISCIPLINE</th> <th>NUMBER</th> <th>REV.</th> </tr> <tr> <td>ADW Johnson</td> <td>GDA94 M.G.A. ZONE 56 A.H.D.</td> <td>190205(3B)</td> <td>CENG</td> <td>201</td> <td>G</td> </tr> </table>	SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.	ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	190205(3B)	CENG	201	G
REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY																																																																						
A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.																																																																						
B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.																																																																						
C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.																																																																						
D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.																																																																						
E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.																																																																						
F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.G.																																																																						
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.																																																																						
SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.																																																																							
ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	190205(3B)	CENG	201	G																																																																							



**NOT FOR CONSTRUCTION**

<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>AMENDMENT</th> <th>DRAWN</th> <th>CHECK</th> <th>DESIGN</th> <th>VERIFY</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>13.12.2016</td> <td>INITIAL ISSUE</td> <td>Z.J.</td> <td>M.A.</td> <td>M.A.</td> <td>L.G.</td> </tr> <tr> <td>B</td> <td>14.01.2021</td> <td>COUNCIL COMMENTS</td> <td>T.S.</td> <td>A.L.</td> <td>A.L.</td> <td>L.G.</td> </tr> <tr> <td>C</td> <td>17.08.2021</td> <td>COUNCIL COMMENTS</td> <td>A.M.</td> <td>A.L.</td> <td>A.L.</td> <td>L.G.</td> </tr> <tr> <td>D</td> <td>30.09.2021</td> <td>COUNCIL COMMENTS</td> <td>A.M.</td> <td>A.L.</td> <td>A.L.</td> <td>L.G.</td> </tr> <tr> <td>E</td> <td>12.10.2021</td> <td>HOUSING UPDATE</td> <td>A.M.</td> <td>A.L.</td> <td>A.L.</td> <td>L.G.</td> </tr> <tr> <td>F</td> <td>17.02.2023</td> <td>REVISED ISSUE</td> <td>G.S.</td> <td>A.L.</td> <td>A.L.</td> <td>L.G.</td> </tr> <tr> <td>G</td> <td>28.04.2023</td> <td>RETAINING WALL LOTS 3201 TO 3216</td> <td>J.C.</td> <td>A.L.</td> <td>A.L.</td> <td>L.G.</td> </tr> </tbody> </table>	REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.	B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.	C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.	D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.	E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.	F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.G.	G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.	<p>DESIGN FILE N:\JOBNUMBER\Design\120\</p> <p>Plotted By: jersonf Plot Date: 28/04/23 - 09:18 Cad File: \\jserver10\adw-data\190205E\DWG\ENG\STAGE 3B CONCEPT\190205(3B)-CENG-202(G).dwg</p>	<p>ALL DIMENSIONS ARE IN METRES U.N.O. DO NOT SCALE</p>	<p>Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398</p>	<p>CLIENT</p>	<p>PROPERTY DESCRIPTION</p> <p>SOPHIA WATERS STAGE 3B SUBDIVISION LOT 2135 DP1256564 RAYMOND TERRACE ROAD, CHISHOLM</p>	<p>PROJECT</p> <p>SOPHIA WATERS - STAGE 3B</p> <p>PLAN TITLE</p> <p>ROAD LONGITUDINAL SECTIONS: ROAD MC03</p>	<table border="1"> <tr> <th>SURVEYED</th> <th>DATUM</th> <th>PROJECT No.</th> <th>DISCIPLINE</th> <th>NUMBER</th> <th>REV.</th> </tr> <tr> <td>ADW Johnson</td> <td>GDA94 M.G.A. ZONE 56 A.H.D.</td> <td>190205(3B)</td> <td>CENG</td> <td>202</td> <td>G</td> </tr> </table>	SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.	ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	190205(3B)	CENG	202	G
REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY																																																																					
A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.																																																																					
B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.																																																																					
C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.																																																																					
D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.																																																																					
E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.																																																																					
F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.G.																																																																					
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.																																																																					
SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.																																																																						
ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	190205(3B)	CENG	202	G																																																																						

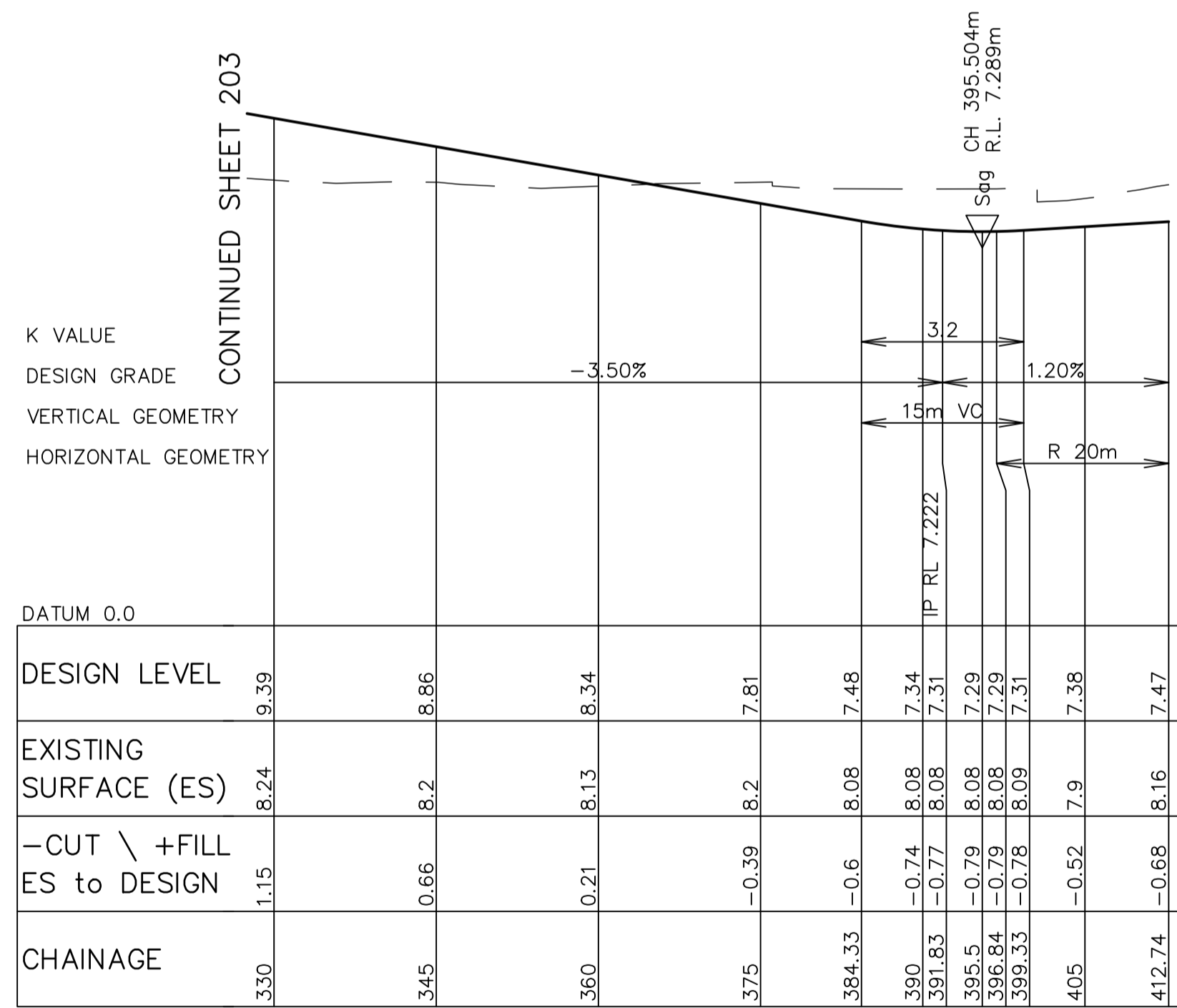


**LONGITUDINAL SECTION MC11**

HORIZONTAL SCALE 1:500  
VERTICAL SCALE 1:100

**NOT FOR CONSTRUCTION**

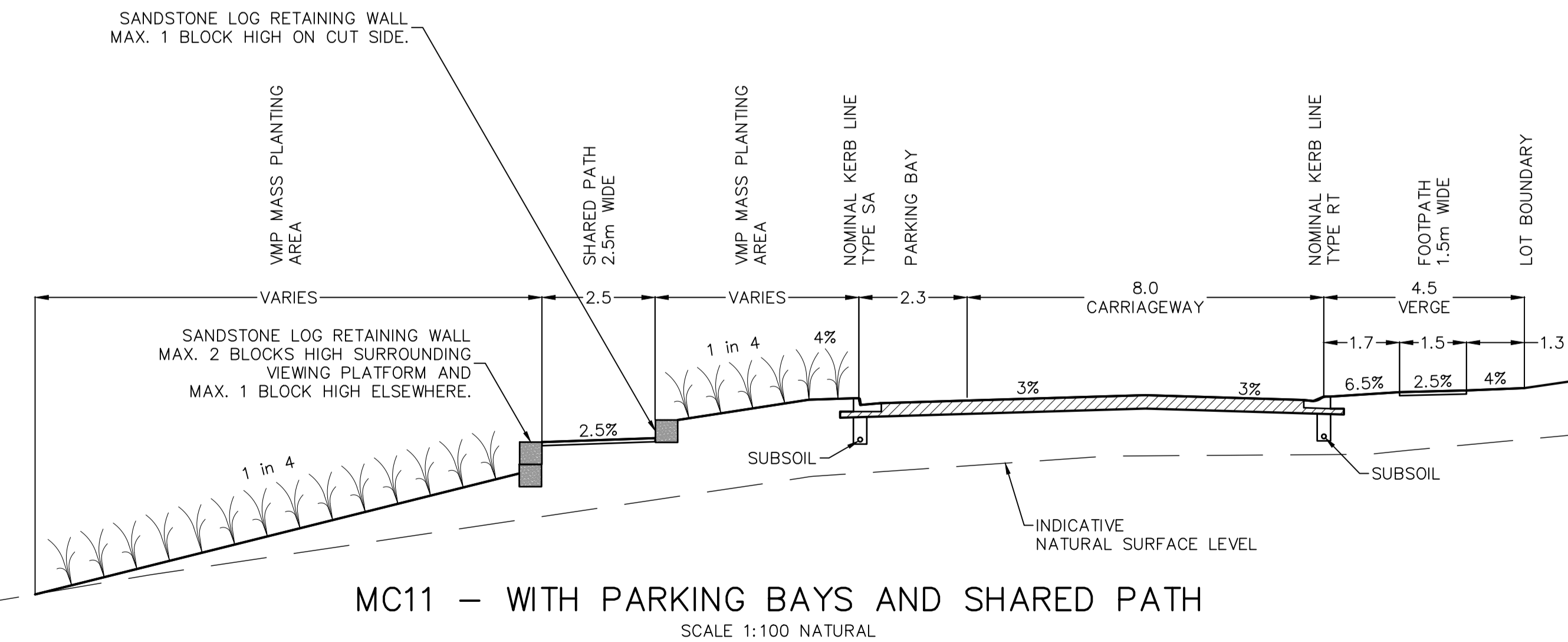
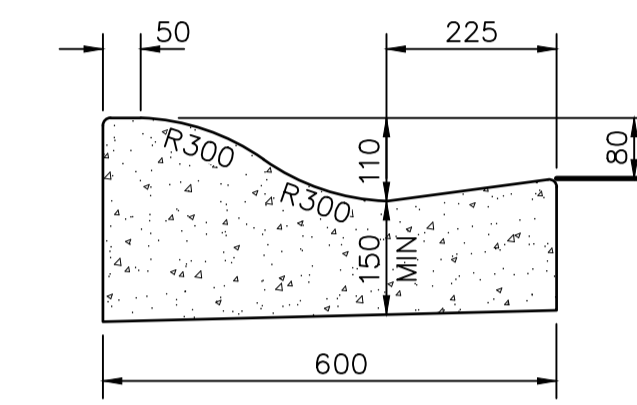
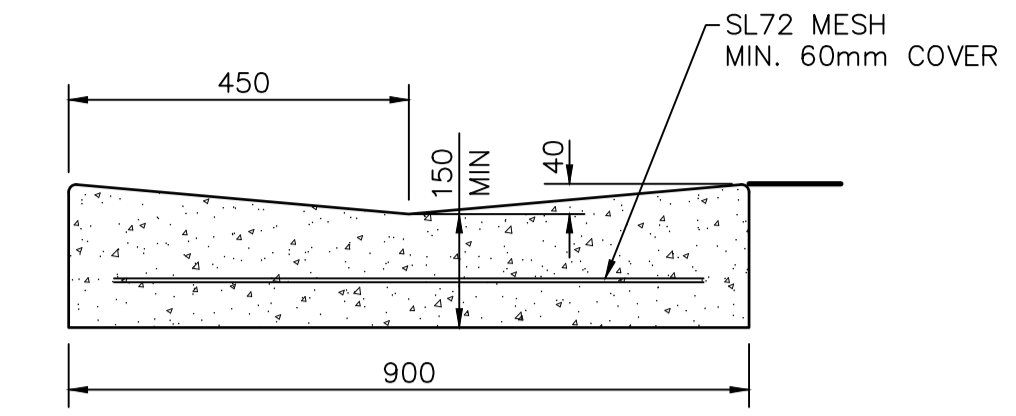
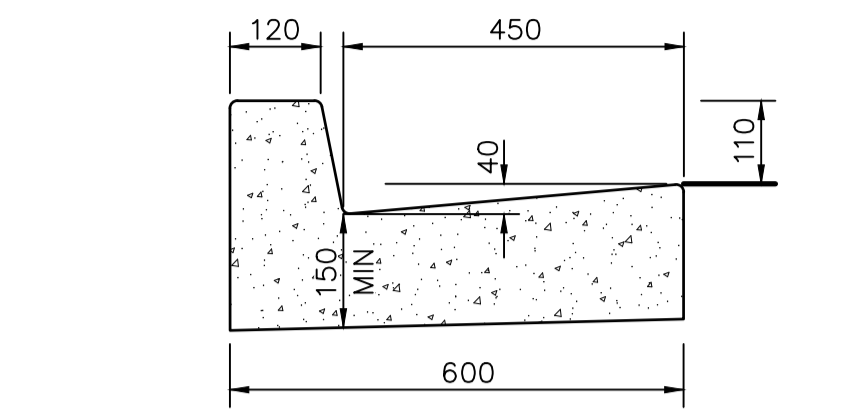
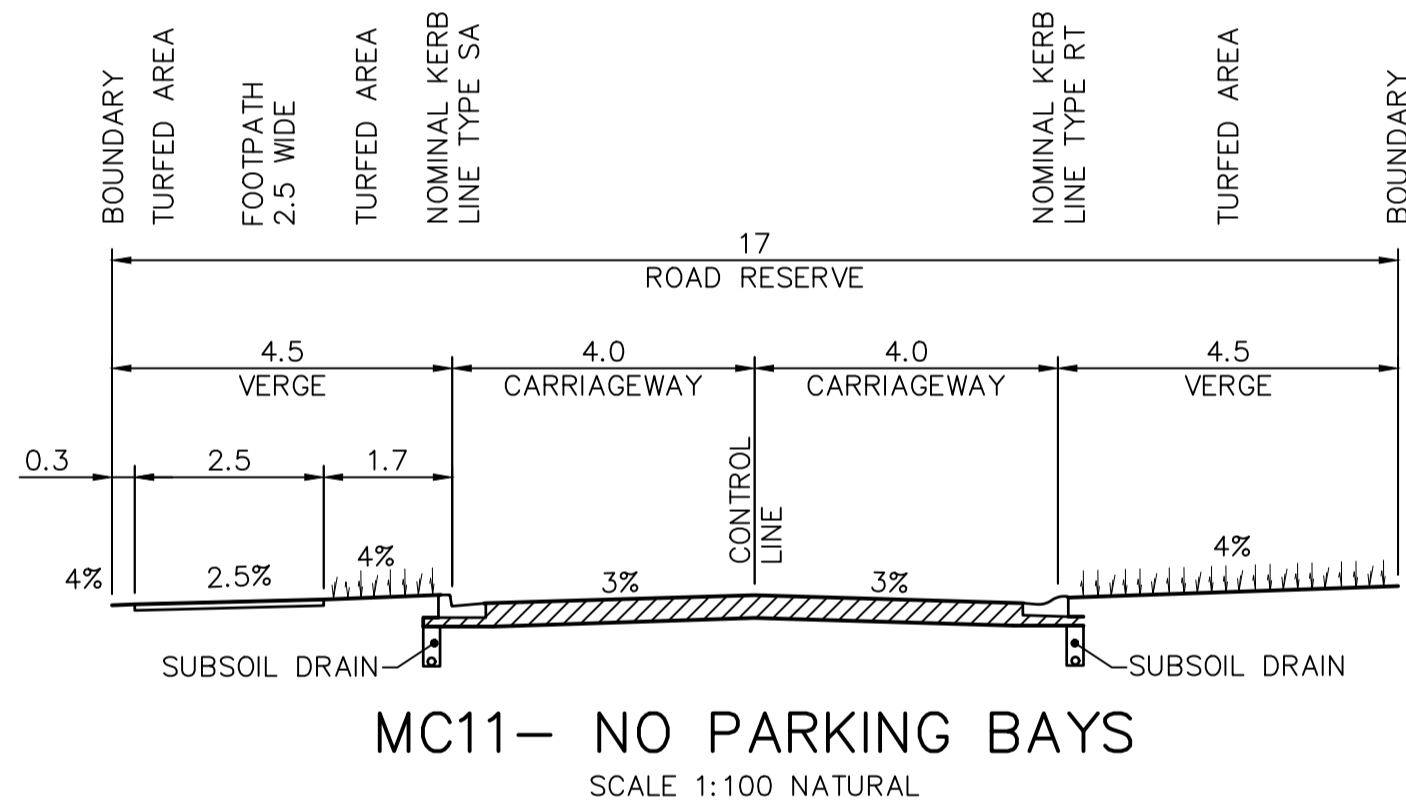
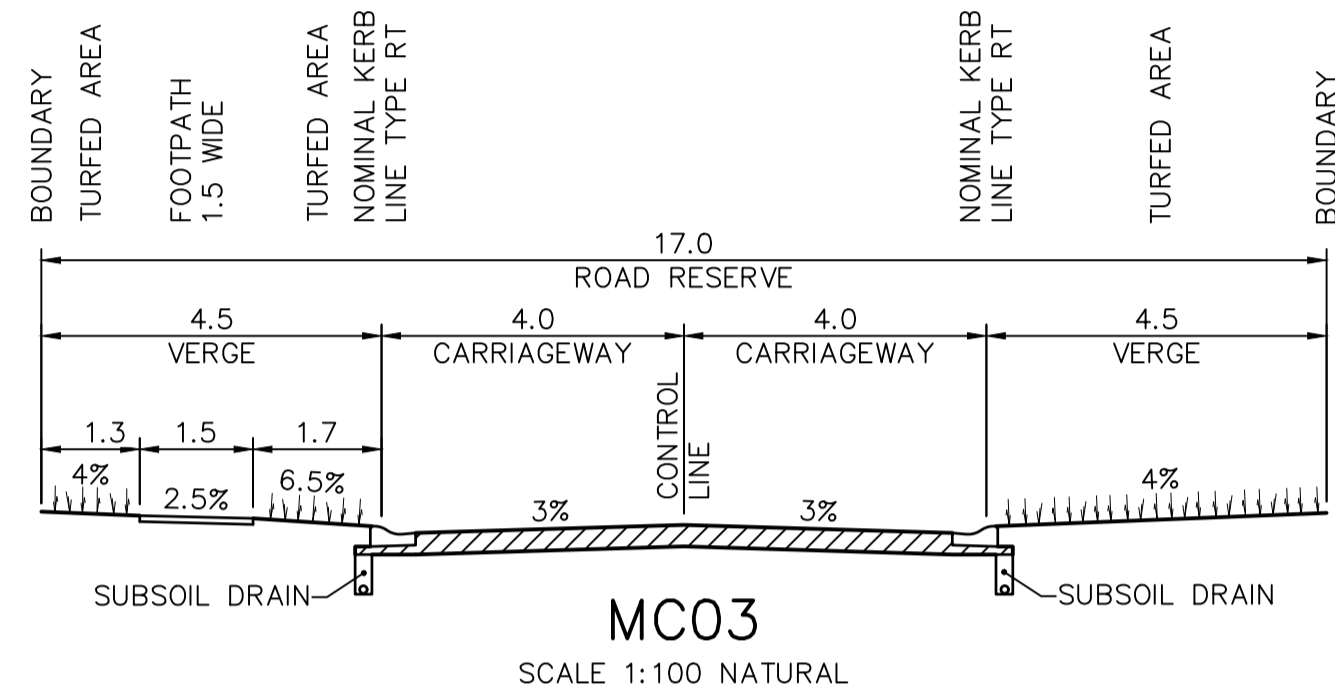
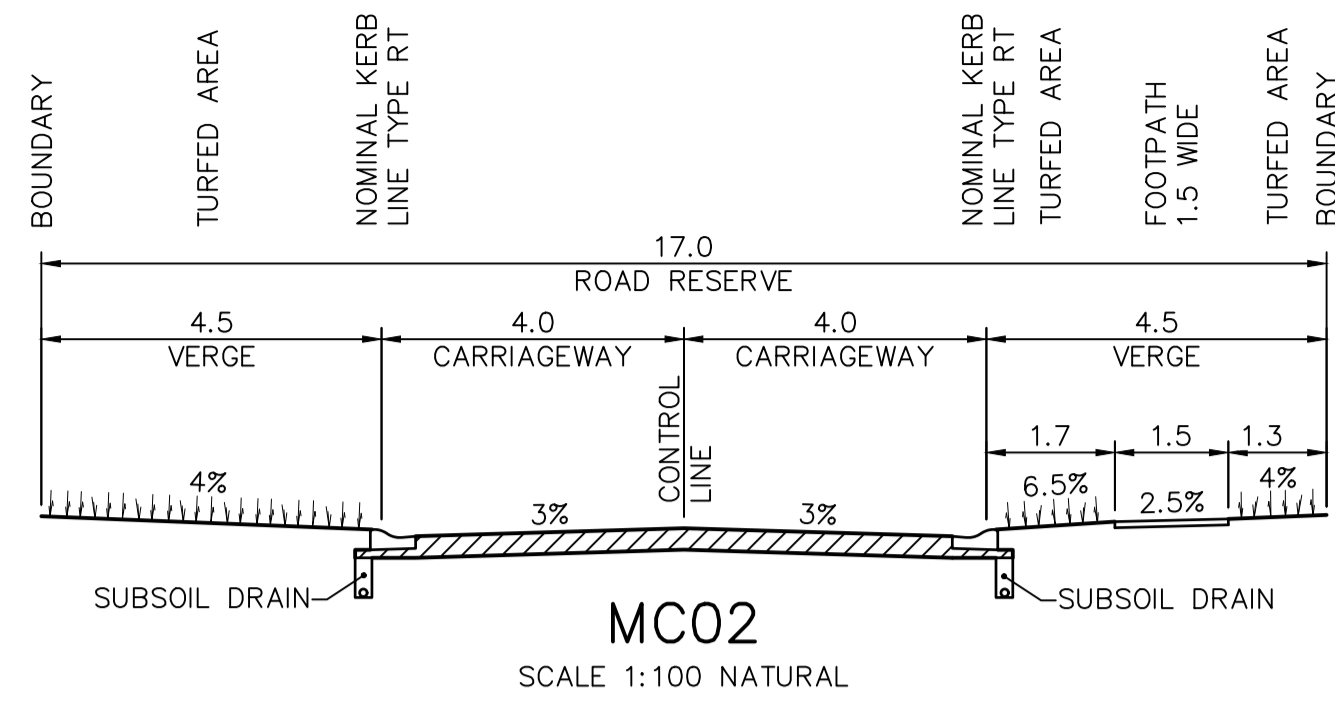
REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT	DISCIPLINE	NUMBER	REV.	
A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.		<p>Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398</p>	<p>SOPHIA WATERS STAGE 3B SUBDIVISION LOT 2135 DP1256564 RAYMOND TERRACE ROAD, CHISHOLM</p>	<p>SOPHIA WATERS - STAGE 3B</p>	<p>ROAD LONGITUDINAL SECTION: ROAD MC11 SHEET 1</p>	<p>190205(3B) - CENG - 203</p>	<p>G</p>	
B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.								
C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.								
D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.								
E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.								
F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.G.								
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.								
DESIGN FILE N:\JOBNUMBER\Design\120\							ALL DIMENSIONS ARE IN METRES U.N.O. DO NOT SCALE	SURVEYED ADW Johnson		DATUM GDA94 M.G.A. ZONE 56 A.H.D.	PROJECT No. 190205(3B)	DISCIPLINE CENG	NUMBER 203	REV. G



LONGITUDINAL SECTION MC11  
HORIZONTAL SCALE 1:500  
VERTICAL SCALE 1:100

NOT FOR CONSTRUCTION

<b>REV.</b>	<b>DATE</b>	<b>AMENDMENT</b>	<b>DRAWN</b>	<b>CHECK</b>	<b>DESIGN</b>	<b>VERIFY</b>	<b>SCALES</b>	<b>CLIENT</b>	<b>PROPERTY DESCRIPTION</b>	<b>PROJECT</b>											
A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.C.	<p>VERT 0 2 4 1:100 / 1:200 HORIZ 0 10 20 1:500 / 1:1000</p>	<p>Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohanson.com.au www.adwjohanson.com.au ABN 62 129 445 398</p>	<p>SOPHIA WATERS STAGE 3B SUBDIVISION LOT 2135 DP1256564 RAYMOND TERRACE ROAD, CHISHOLM</p>	SOPHIA WATERS - STAGE 3B											
B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.C.				<p>PLAN TITLE ROAD LONGITUDINAL SECTION: ROAD MC11 SHEET 2</p>											
C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.C.															
D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.C.															
E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.C.															
F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.C.															
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.C.															
DESIGN FILE N:\JOBNUMBER\Design\120\							ALL DIMENSIONS ARE IN METRES U.N.O. DO NOT SCALE	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>SURVEYED</td> <td>DATUM</td> <td>PROJECT No.</td> <td>DISCIPLINE</td> <td>NUMBER</td> <td>REV.</td> </tr> <tr> <td>ADW Johnson</td> <td>GDA94 M.G.A. ZONE 56 A.H.D.</td> <td>190205(3B)</td> <td>CENG</td> <td>204</td> <td>G</td> </tr> </table>		SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.	ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	190205(3B)	CENG	204	G
SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.																
ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	190205(3B)	CENG	204	G																
Plotted By: jersonf Plot Date: 28/04/23 - 09:18 Cad File: \\jserver10\adw-data\190205E\DWG\ENG\STAGE 3B CONCEPT\190205(3B)-CENG-204(G).dwg																					



DATUM 0.0	EXISTING SURFACE	DESIGN SURFACE	CHAINAGE
	8.3	9.93	0
RT KERB	7.94	9.93	4.03
2.5m SHARED PATH	7.55	9.8	8.5
SITE BOUNDARY	7.2	9.05	11.5
SANDSTONE WALL 0.5m HIGH	7.16	8.65	12
SANDSTONE WALL 0.5m HIGH	6.89	7.9	15
SANDSTONE WALL 0.5m HIGH	6.84	7.51	15.5
SANDSTONE WALL 0.5m HIGH	6.21	6.75	18.5
SANDSTONE WALL 0.5m HIGH	6.1	6.36	19.01
	5.78	5.77	21.36

**BASIN BATTER RETAINING - SECTION AA**  
HORIZONTAL SCALE 1:100  
VERTICAL SCALE 1:100

**NOT FOR CONSTRUCTION**

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of this information. This note is coloured red.

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES
A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.	
B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.	
C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.	
D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.	
E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.	
F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.G.	
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.	

**adw Johnson**  
Hunter Office  
Unit 7/335 Hillsborough Rd  
Warners Bay N.S.W. 2282  
Phone: (02) 4978 5100  
Fax: (02) 4978 5199  
email: hunter@adwjohanson.com.au  
www.adwjohanson.com.au  
ABN 62 129 445 398

**ALLAM PROPERTY GROUP**

**PROPERTY DESCRIPTION**  
SOPHIA WATERS  
STAGE 3B SUBDIVISION  
LOT 2135 DP1256564  
RAYMOND TERRACE ROAD, CHISHOLM

**PROJECT**  
SOPHIA WATERS - STAGE 3B

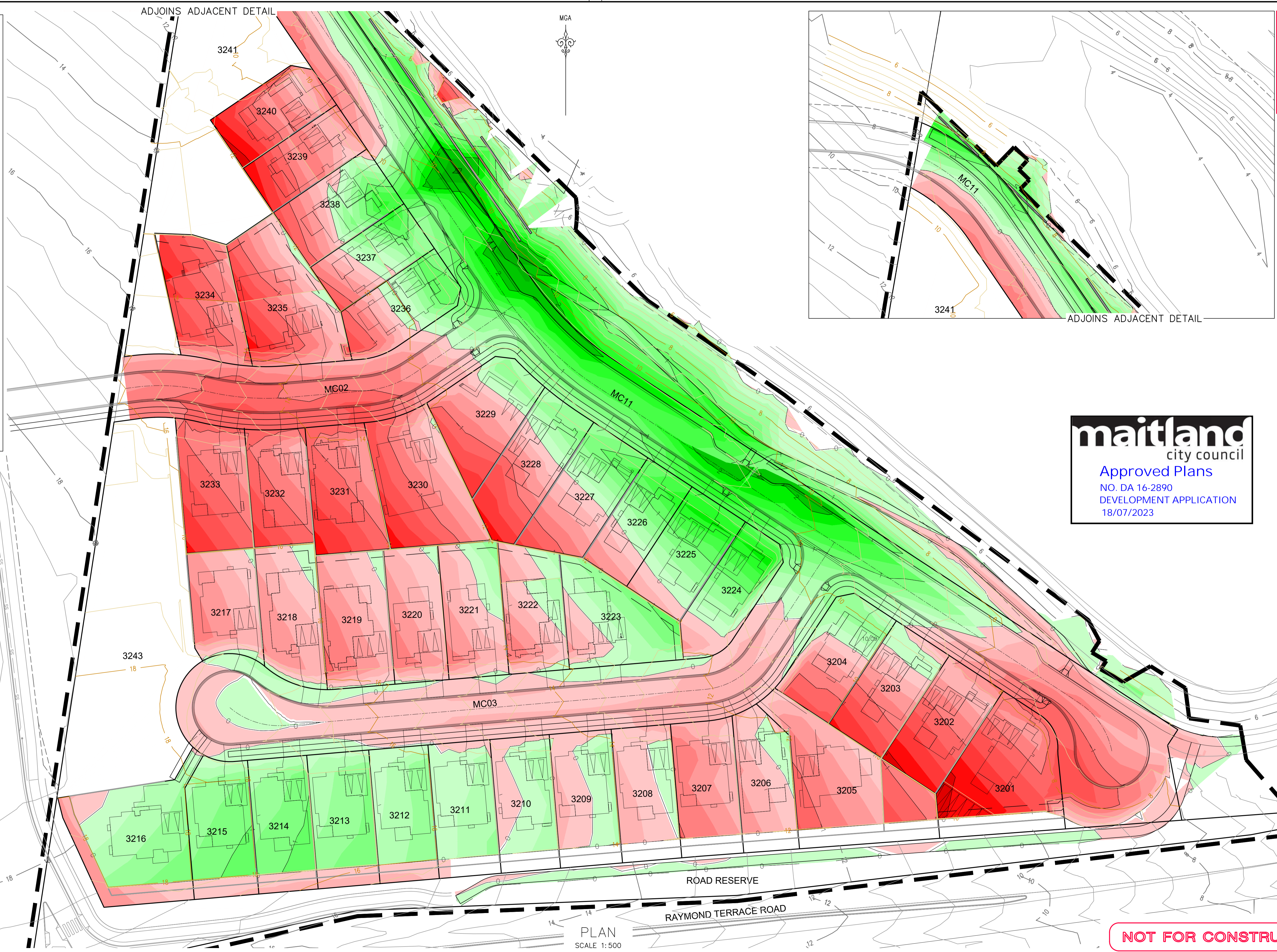
**PLAN TITLE**  
TYPICAL ROAD CROSS SECTIONS

SURVEYED ADW Johnson	DATUM GDA94 M.G.A. ZONE 56	A.H.D.	PROJECT No. 190205(3B)	DISCIPLINE CENG	NUMBER 211	REV. G
-------------------------	-------------------------------	--------	---------------------------	--------------------	---------------	-----------

190205(3B)-CENG-501(G)

LEGEND (+ FILL - CUT)

Lower_value	Upper_value	Colour
-9999	to -4	m
-4	to -3.5	m
-3.5	to -3	m
-3	to -2.5	m
-2.5	to -2	m
-2	to -1.75	m
-1.75	to -1.5	m
-1.5	to -1.25	m
-1.25	to -1	m
-1	to -0.75	m
-0.75	to -0.5	m
-0.5	to -0.25	m
-0.25	to 0	m
0	to 0.250	m
0.250	to 0.5	m
0.500	to 0.75	m
0.75	to 1	m
1	to 1.25	m
1.25	to 1.5	m
1.5	to 1.75	m
1.75	to 2	m
2	to 2.5	m
2.5	to 3	m
3	to 3.5	m
3.5	to 4	m
4	to 99999	m



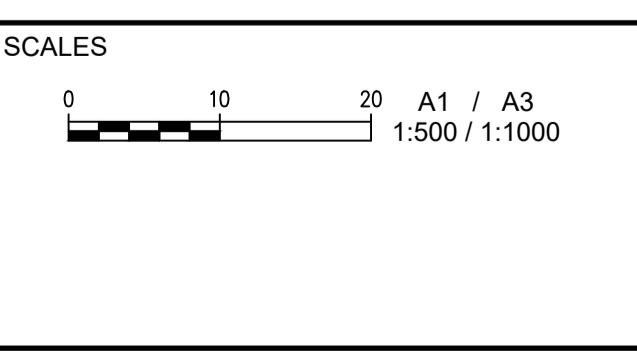
**maitland**  
city council  
Approved Plans  
NO. DA 16-2890  
DEVELOPMENT APPLICATION  
18/07/2023

**NOT FOR CONSTRUCTION**

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY
A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.
B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.
C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.
D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.
E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.
F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.G.
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.

DRAWN	CHECK	DESIGN	VERIFY
Z.J.	M.A.	M.A.	L.G.
T.S.	A.L.	A.L.	L.G.
A.M.	A.L.	A.L.	L.G.
A.M.	A.L.	A.L.	L.G.
A.M.	A.L.	A.L.	L.G.
G.S.	A.L.	A.L.	L.G.
J.C.	A.L.	A.L.	L.G.



**adw Johnson**  
Hunter Office  
Unit 7/335 Hillsborough Rd  
Warners Bay N.S.W. 2282  
Phone: (02) 4978 5100  
Fax: (02) 4978 5199  
email: hunter@adwjohnson.com.au  
www.adwjohnson.com.au  
ABN 62 129 445 398

CLIENT

PROPERTY DESCRIPTION  
SOPHIA WATERS  
STAGE 3B SUBDIVISION  
LOT 2135 DP1256564  
RAYMOND TERRACE ROAD, CHISHOLM

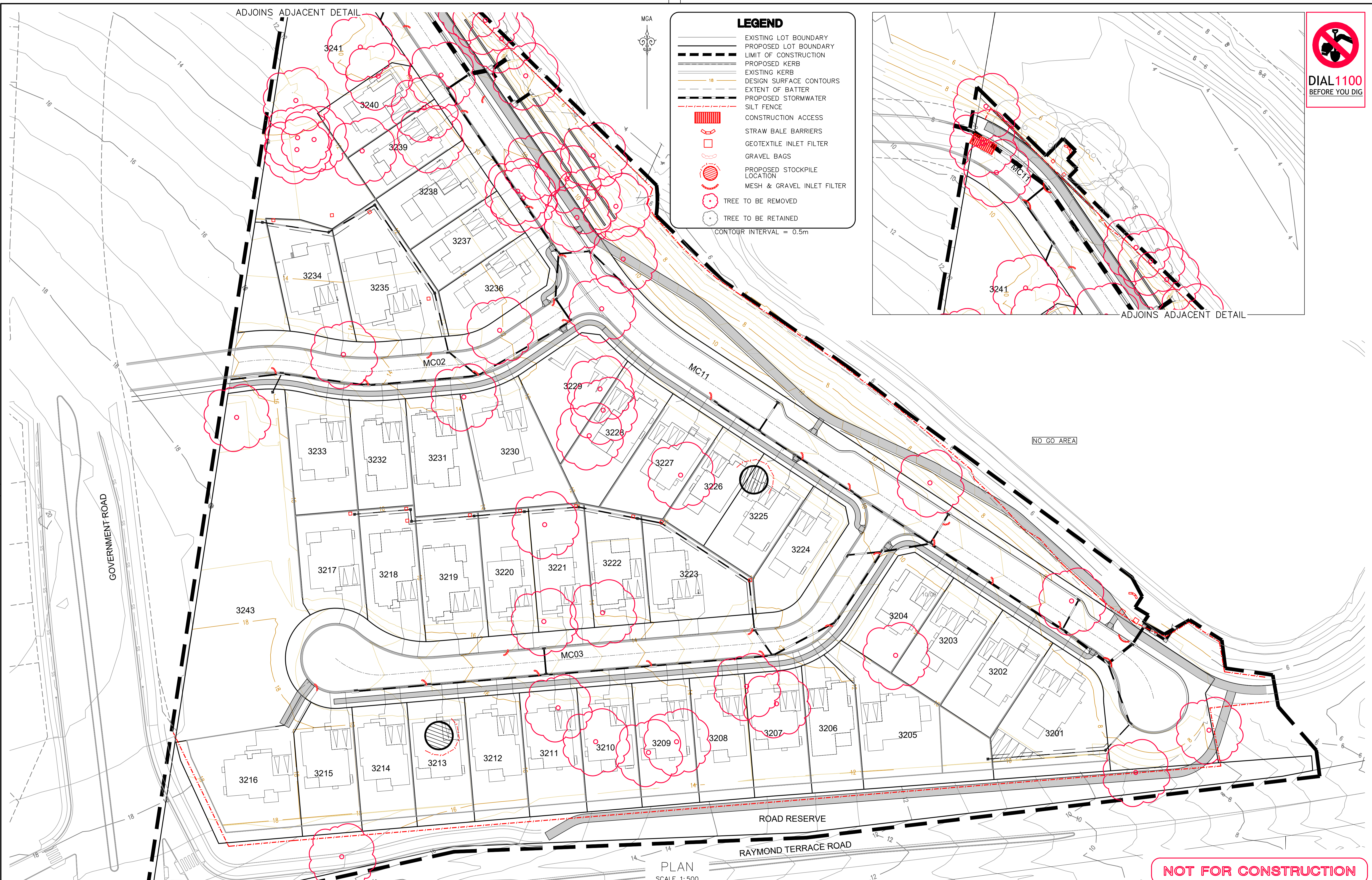
PROJECT	PLAN TITLE
SOPHIA WATERS - STAGE 3B	SITE REGRADE PLAN

SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.
ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	190205(3B)	CENG	501	G



190205(3B)-CENG-801(G)

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.



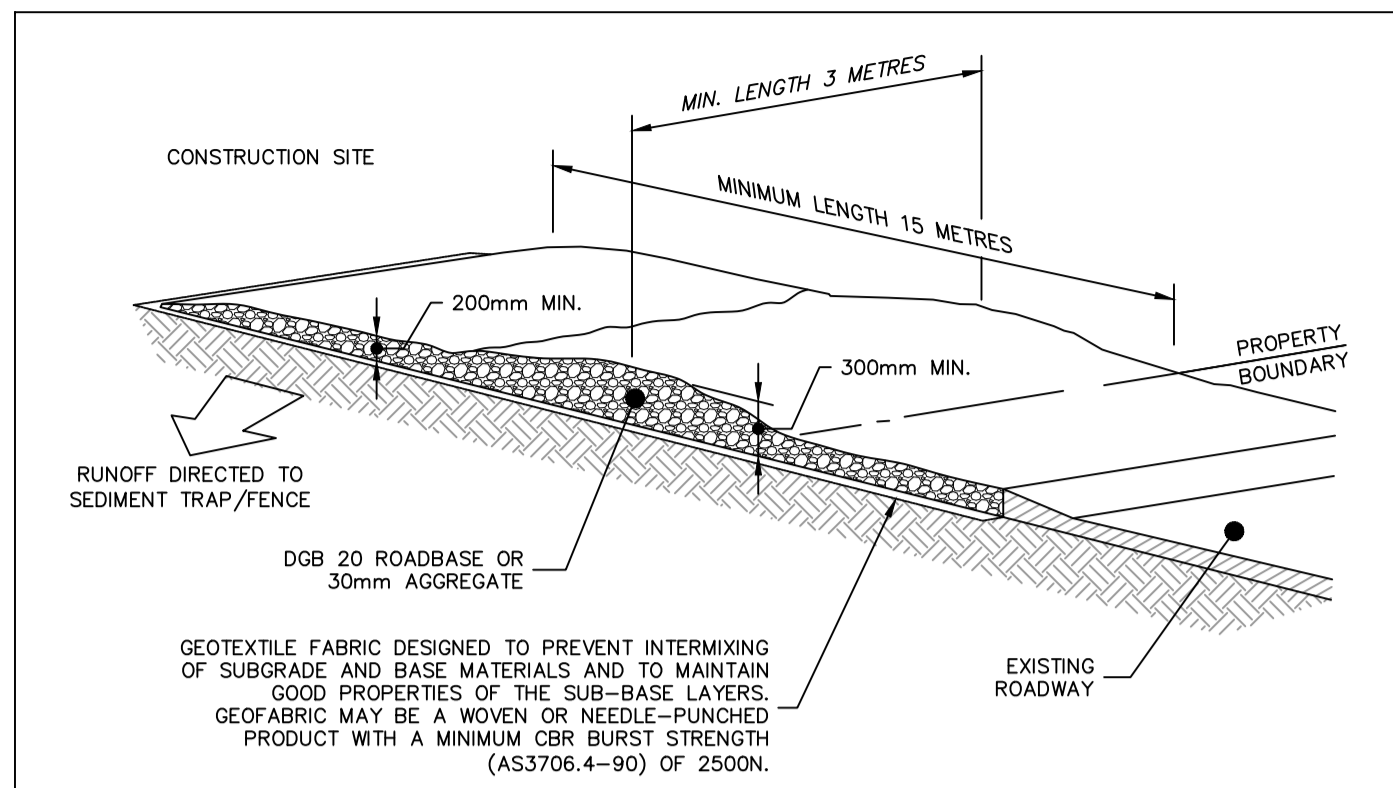
**NOT FOR CONSTRUCTION**

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES		<b>Hunter Office</b> Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	CLIENT 	PROPERTY DESCRIPTION		PROJECT				
DESIGN FILE N:\JOBNUMBER\Design\120\		ALL DIMENSIONS ARE IN METRES U.N.O. DO NOT SCALE		SOPHIA WATERS STAGE 3B SUBDIVISION LOT 2135 DP1256564 RAYMOND TERRACE ROAD, CHISHOLM		SOPHIA WATERS - STAGE 3B											
A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.	 A1 / A3 1:500 / 1:1000		CLIENT 	PROJECT SOPHIA WATERS - STAGE 3B PLAN TITLE EROSION & SEDIMENT CONTROL PLAN		SURVEYED ADW Johnson	DATUM GDA94 M.G.A. ZONE 56 A.H.D.	PROJECT No. 190205(3B) -	DISCIPLINE CENG	NUMBER 801	REV. G
B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.											
C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.											
D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.											
E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.											
F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.G.											
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.											

190205(3B)-CENG-802(G)

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured red.

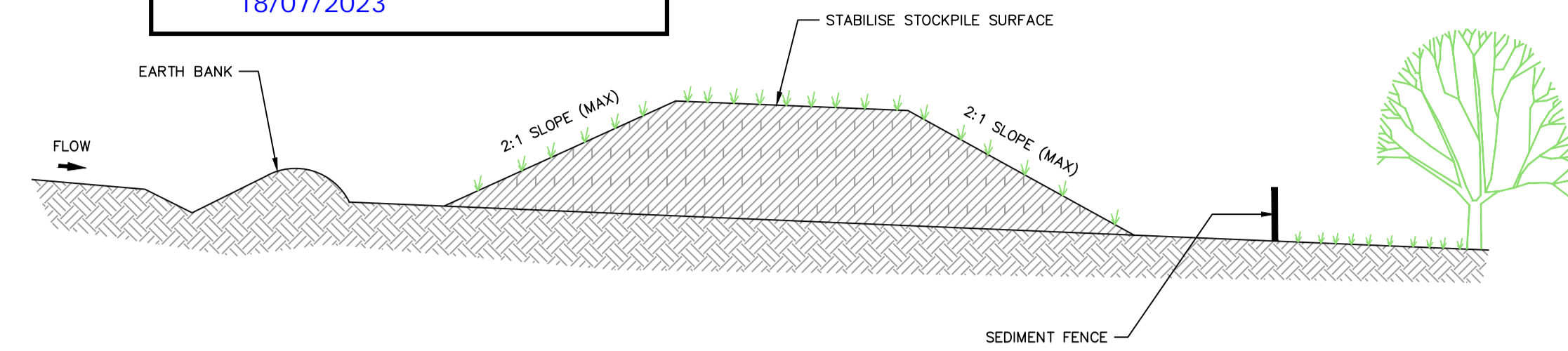
Approved Plans  
NO. DA 16-2890  
DEVELOPMENT APPLICATION  
18/07/2023



**STABILISED SITE ACCESS (SD6-14)**  
N.T.S.

**CONSTRUCTION NOTES:**

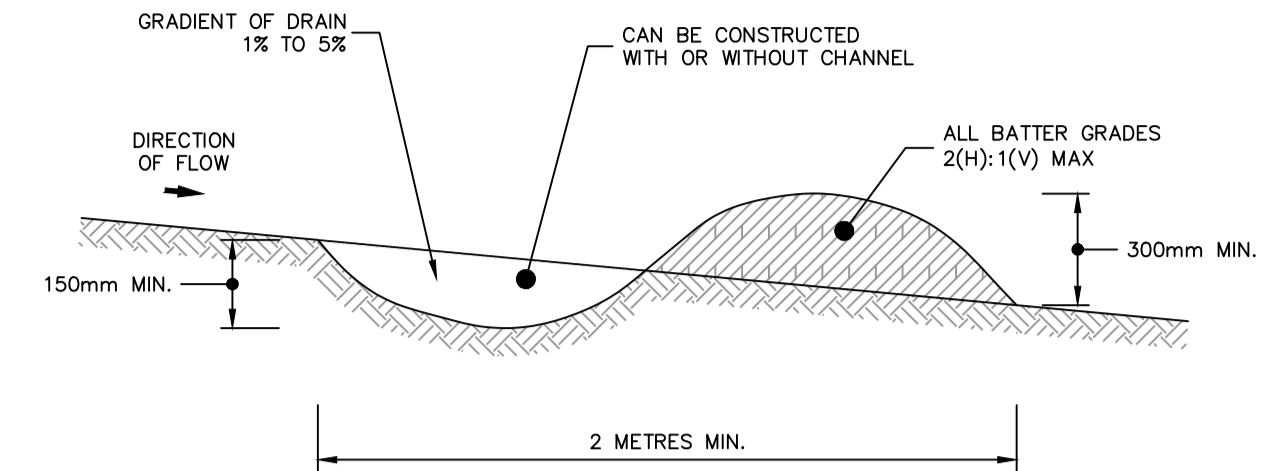
1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
4. ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.



**STOCKPILES (SD4-1)**  
N.T.S.

**CONSTRUCTION NOTES:**

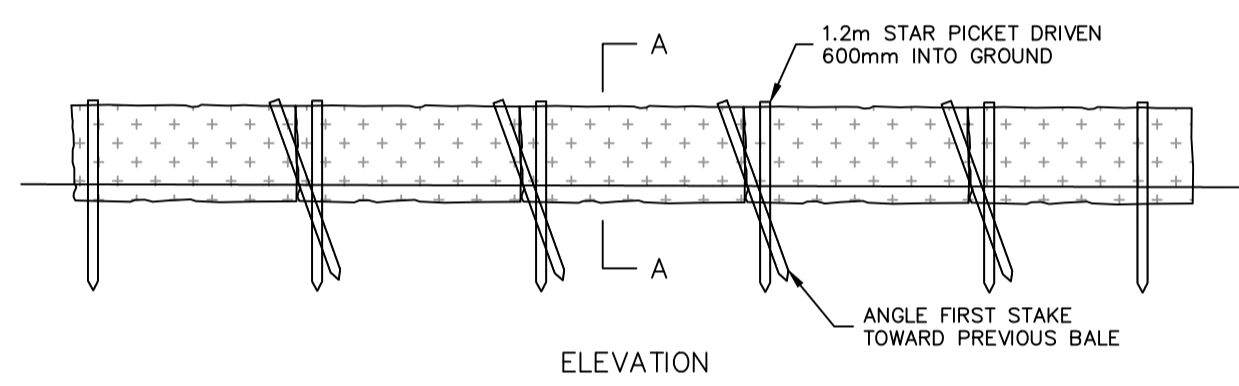
1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES (STANDARD DRAWING 6-8) 1 TO 2 METRES DOWNSLOPE.



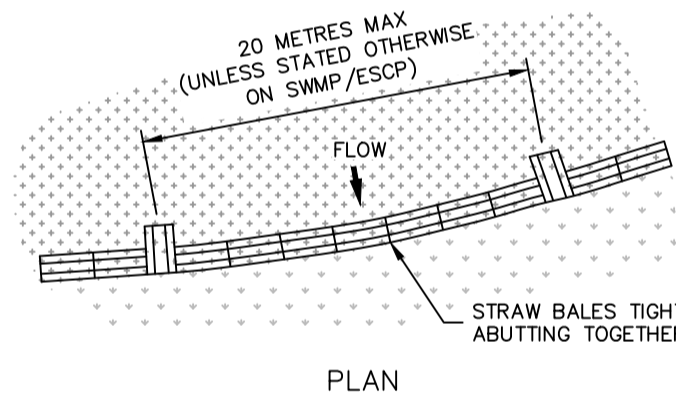
**DIVERSION DRAIN (SD5-5)**  
N.T.S.

**CONSTRUCTION NOTES:**

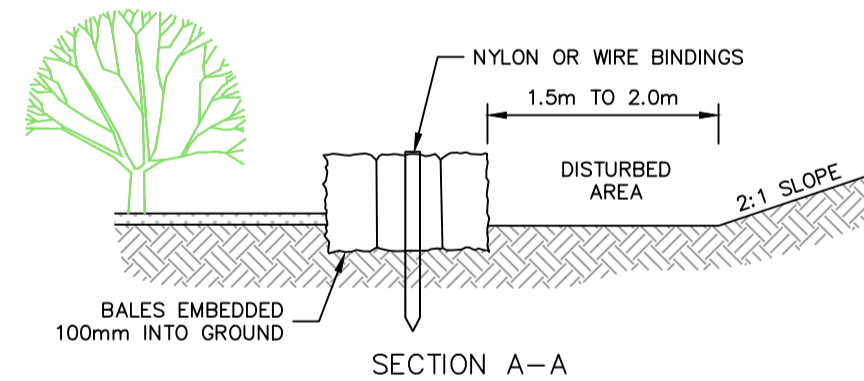
1. BUILD WITH GRADIENTS BETWEEN 1 PERCENT AND 5 PERCENT.
2. AVOID REMOVING TREES AND SHRUBS IF POSSIBLE - WORK AROUND THEM.
3. ENSURE THE STRUCTURES ARE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT COULD IMPEDE WATER FLOW.
4. BUILD THE DRAINS WITH CIRCULAR, PARABOLIC OR TRAPEZOIDAL CROSS SECTIONS, NOT V SHAPED.
5. ENSURE THE BANKS ARE PROPERLY COMPACTED TO PREVENT FAILURE.
6. COMPLETE PERMANENT OR TEMPORARY STABILISATION WITHIN 10 DAYS OF CONSTRUCTION.



ELEVATION



PLAN

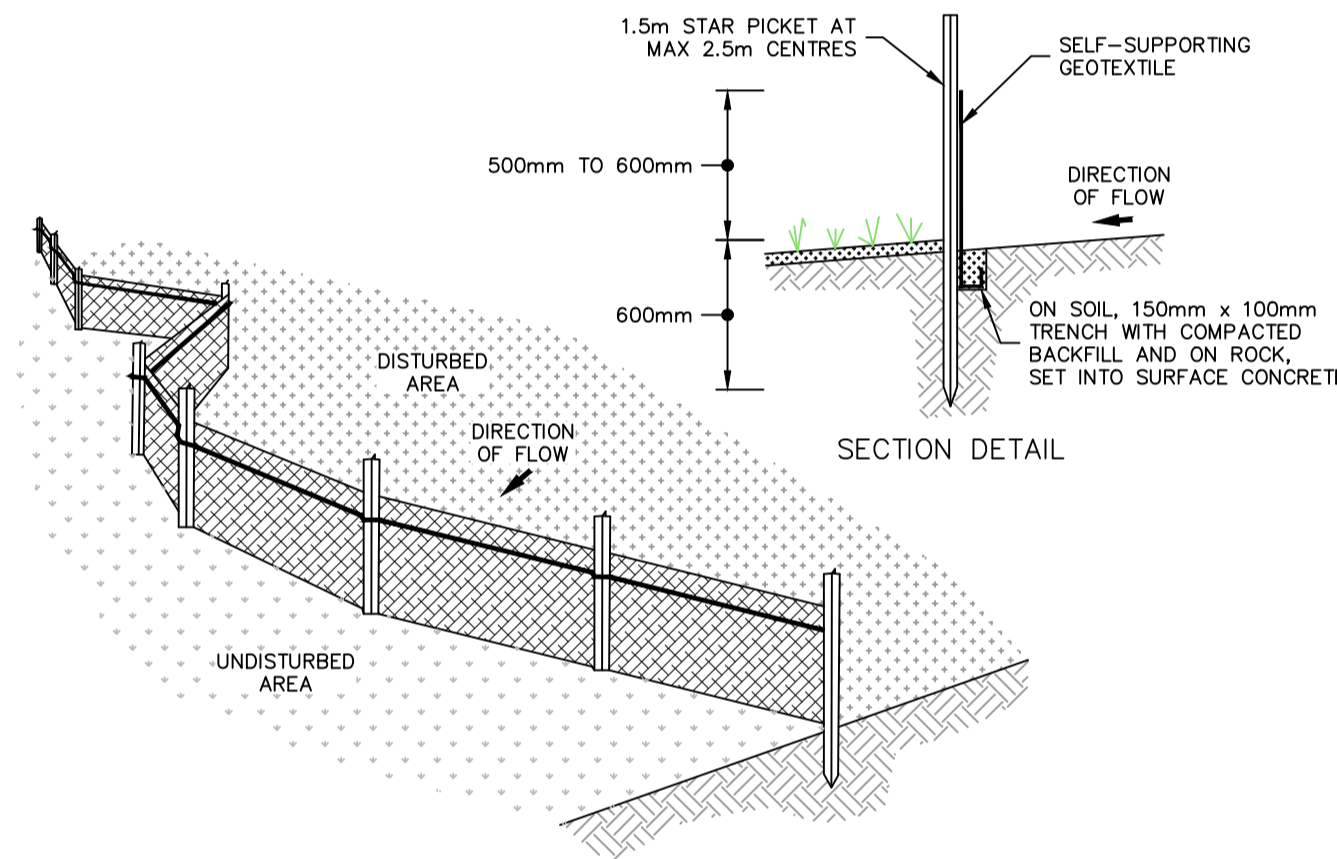


SECTION A-A

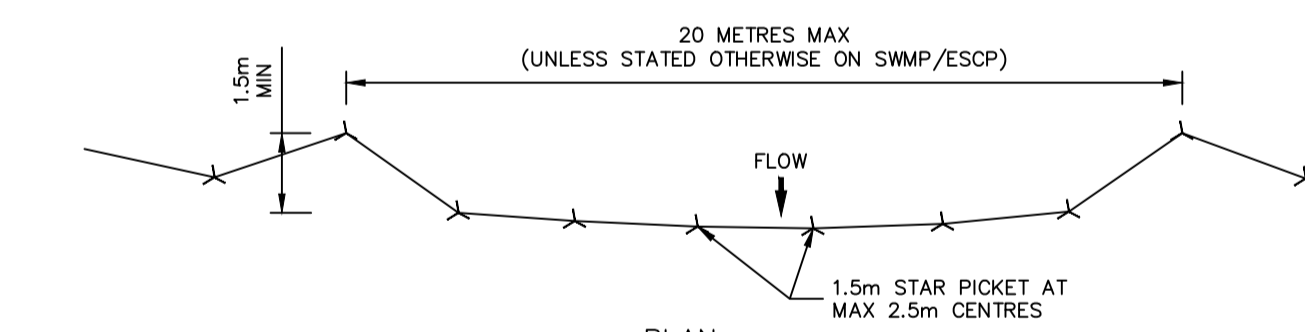
**STRAW BALE FILTER (SD6-7)**  
N.T.S.

**CONSTRUCTION NOTES:**

1. CONSTRUCT THE STRAW BALE FILTER AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE.
2. PLACE BALES LENGTHWISE IN A ROW WITH ENDS TIGHTLY ABUTTING. USE STRAW TO FILL ANY GAPS BETWEEN BALES. STRAW IS TO BE PLACED PARALLEL TO GROUND.
3. ENSURE THAT THE MAXIMUM HEIGHT OF THE FILTER IS ONE BALE.
4. EMBED EACH BALE IN THE GROUND 75mm TO 100mm AND ANCHOR WITH TWO 1.2m STAR PICKETS OR STAKES. ANGLE THE FIRST STAR PICKET OR STAKE IN EACH BALE TOWARDS THE PREVIOUSLY LAID BALE. DRIVE THEM 600mm IN THE GROUND AND, IF POSSIBLE, FLUSH WITH THE TOP OF THE BALES. WHERE STAR PICKETS ARE USED AND THEY PROTRUDE ABOVE THE BALES, ENSURE THEY ARE FITTED WITH SAFETY CAPS.
5. WHERE A STRAW BALE FILTER IS CONSTRUCTED DOWNSLOPE FROM A DISTURBED BATTER, ENSURE THE BALES ARE PLACED 1 TO 2 METRES DOWNSLOPE FROM THE TOE.
6. ESTABLISH A MAINTENANCE PROGRAM THAT ENSURES THE INTEGRITY OF THE BALES IS RETAINED - THEY COULD REQUIRE REPLACEMENT EACH TWO TO FOUR MONTHS.



SECTION DETAIL

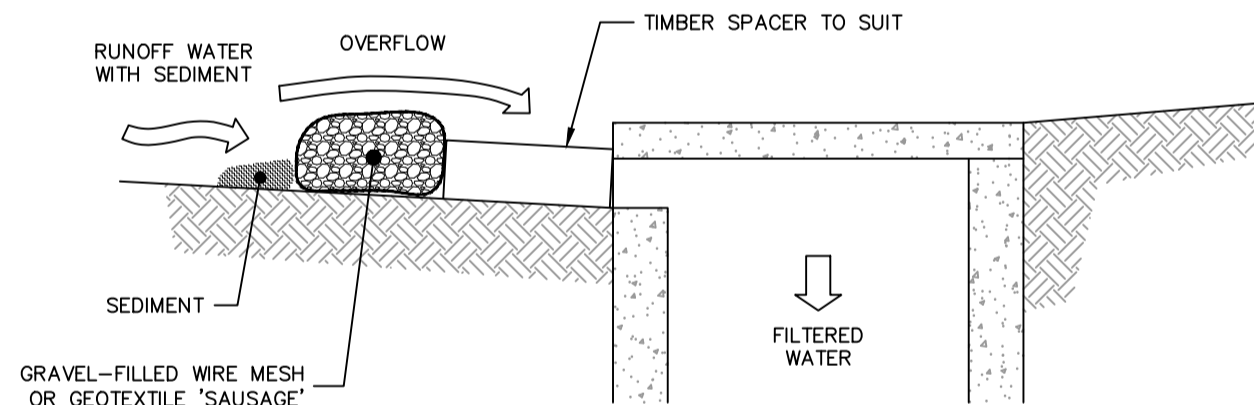
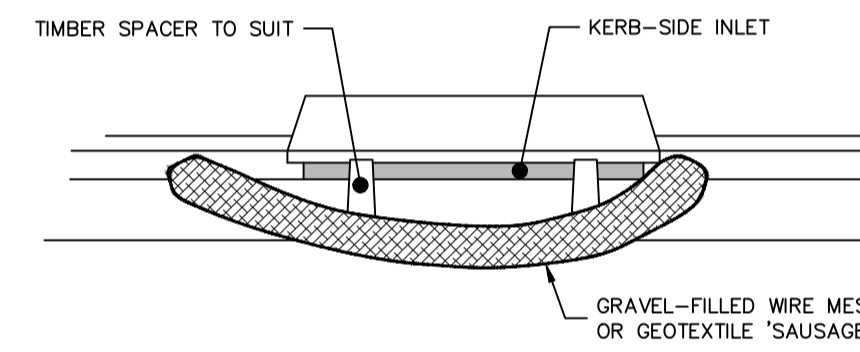


PLAN

**SEDIMENT FENCE (SD6-8)**  
N.T.S.

**CONSTRUCTION NOTES:**

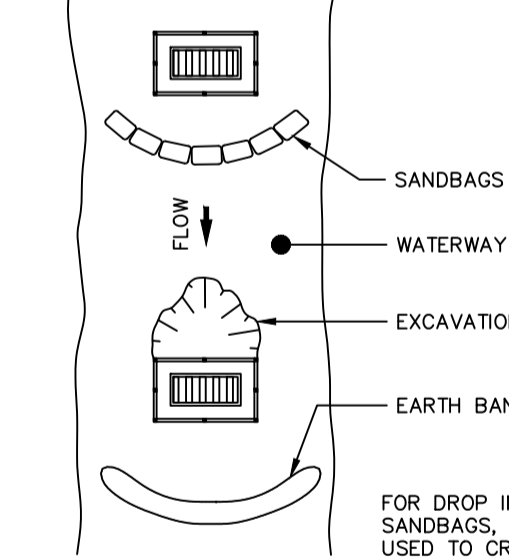
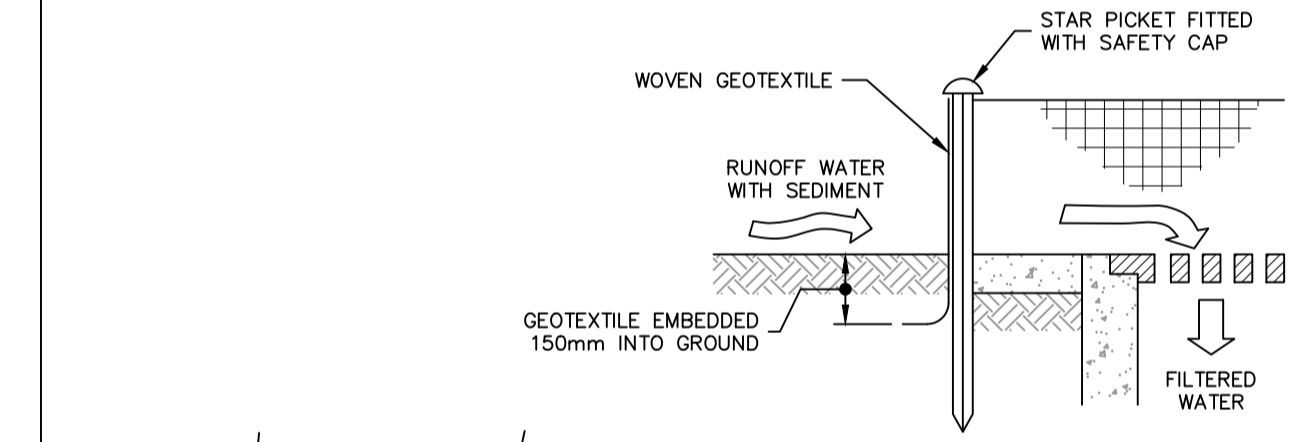
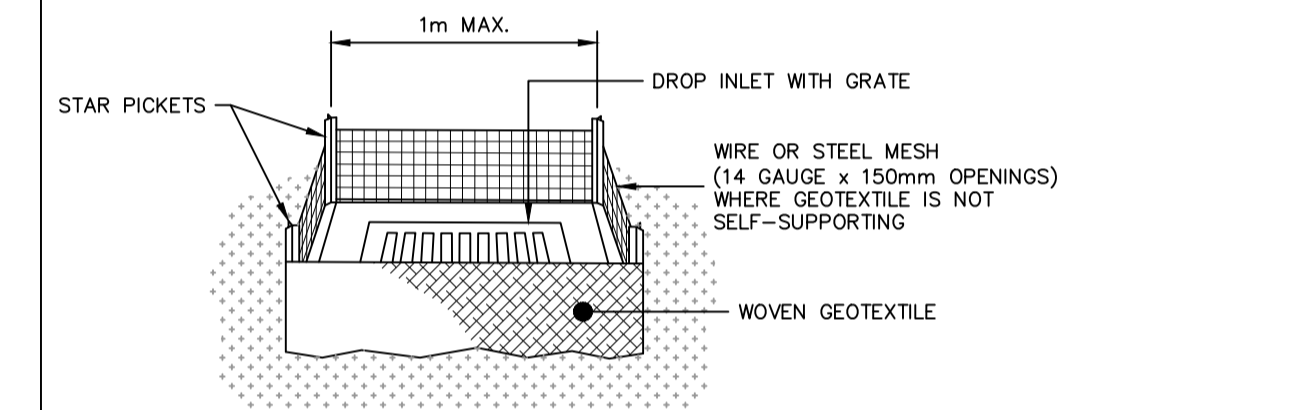
1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



**MESH AND GRAVEL INLET FILTER (SD6-11)**  
N.T.S.

**CONSTRUCTION NOTES:**

1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
3. FORM AN ELLIPTICAL CROSS SECTION ABOUT 150mm HIGH x 400mm WIDE.
4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.



**GEOTEXTILE INLET FILTER (SD6-12)**  
N.T.S.

**CONSTRUCTION NOTES:**

1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
2. REFER STANDARD DRAWINGS 6-7 & 6-8 FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOTEXTILE. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

**NOT FOR CONSTRUCTION**

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES
A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.	
B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.	
C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.	
D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.	
E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.	
F	17.02.2023	REVISED ISSUE	G.S.	A.L.	A.L.	L.G.	
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.	



Hunter Office  
Unit 7/335 Hillsborough Rd  
Warners Bay N.S.W. 2282  
Phone: (02) 4978 5100  
Fax: (02) 4978 5199  
email: hunter@adwjohnson.com.au  
www.adwjohnson.com.au  
ABN 62 129 445 398



CLIENT  
PROPERTY DESCRIPTION  
SOPHIA WATERS  
STAGE 3B SUBDIVISION  
LOT 2135 DP1256564  
RAYMOND TERRACE ROAD, CHISHOLM

PROJECT  
SOPHIA WATERS - STAGE 3B

PLAN TITLE  
EROSION & SEDIMENT CONTROL DETAILS & NOTES

SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.
ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	190205(3B)	CENG	802	G



REFER TO  
D.A.16/2377  
FOR DETAILS

### LEGEND

- EXTERNAL DA BOUNDARY
- STAGE 3B BOUNDARY
- PROPOSED LOT BOUNDARY
- (A) PROPOSED EASEMENT FOR LANDSCAPE BUFFER 5m WIDE
- (B) PROPOSED EASEMENT TO DRAIN WATER 2m WIDE

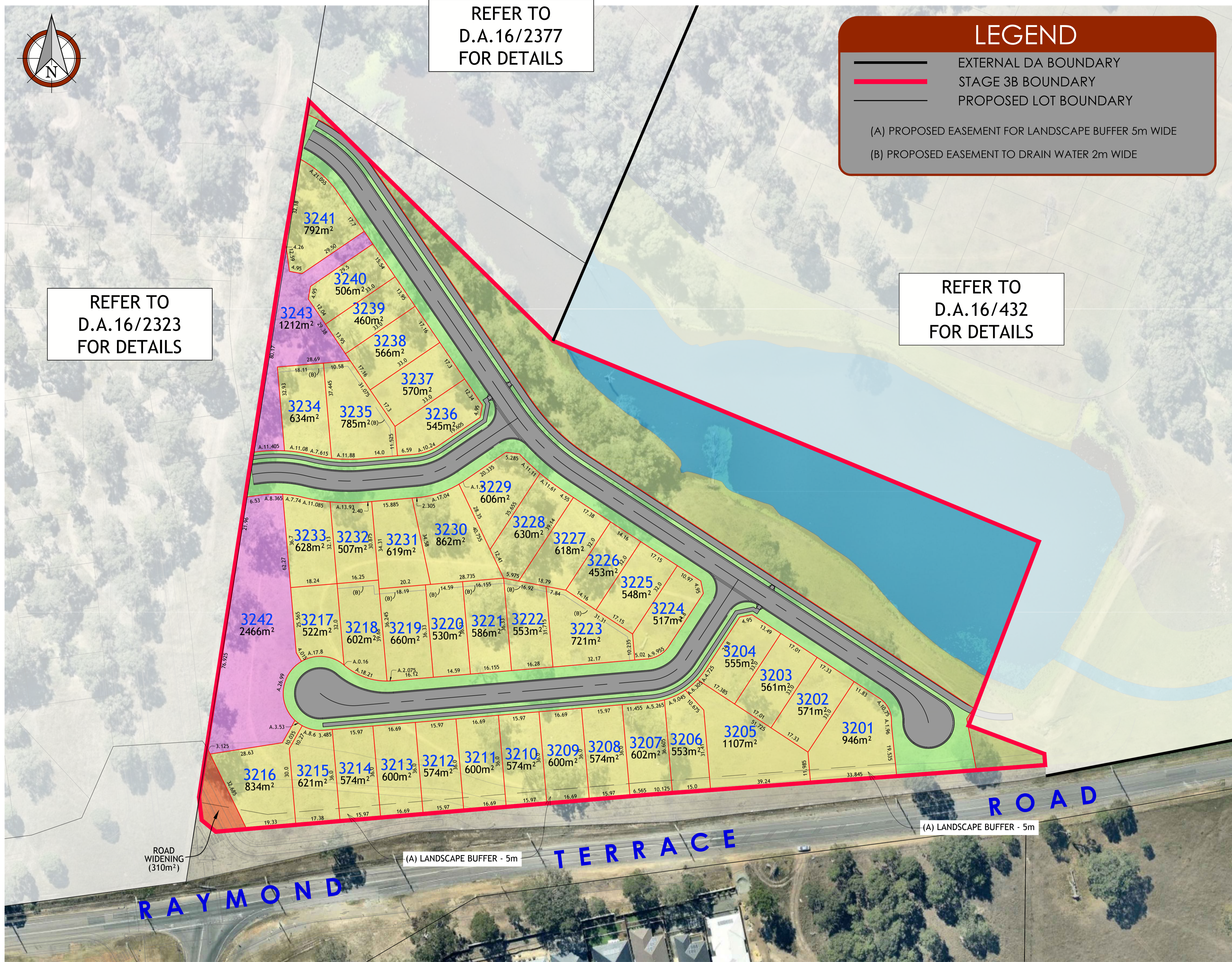


REFER TO  
D.A.16/2323  
FOR DETAILS

REFER TO  
D.A.16/432  
FOR DETAILS

**maitland**  
city council

Approved Plans  
NO. DA 16-2890  
DEVELOPMENT APPLICATION  
18/07/2023



working beyond expectations

drawing title:

### STAGE 3B DETAIL PLAN

location: RAYMOND TERRACE ROAD,  
CHISHOLM

council: MAITLAND

dwg ref: DA-210

client:



central coast office ph: (02) 4305 4300  
hunter office ph: (02) 4978 5100

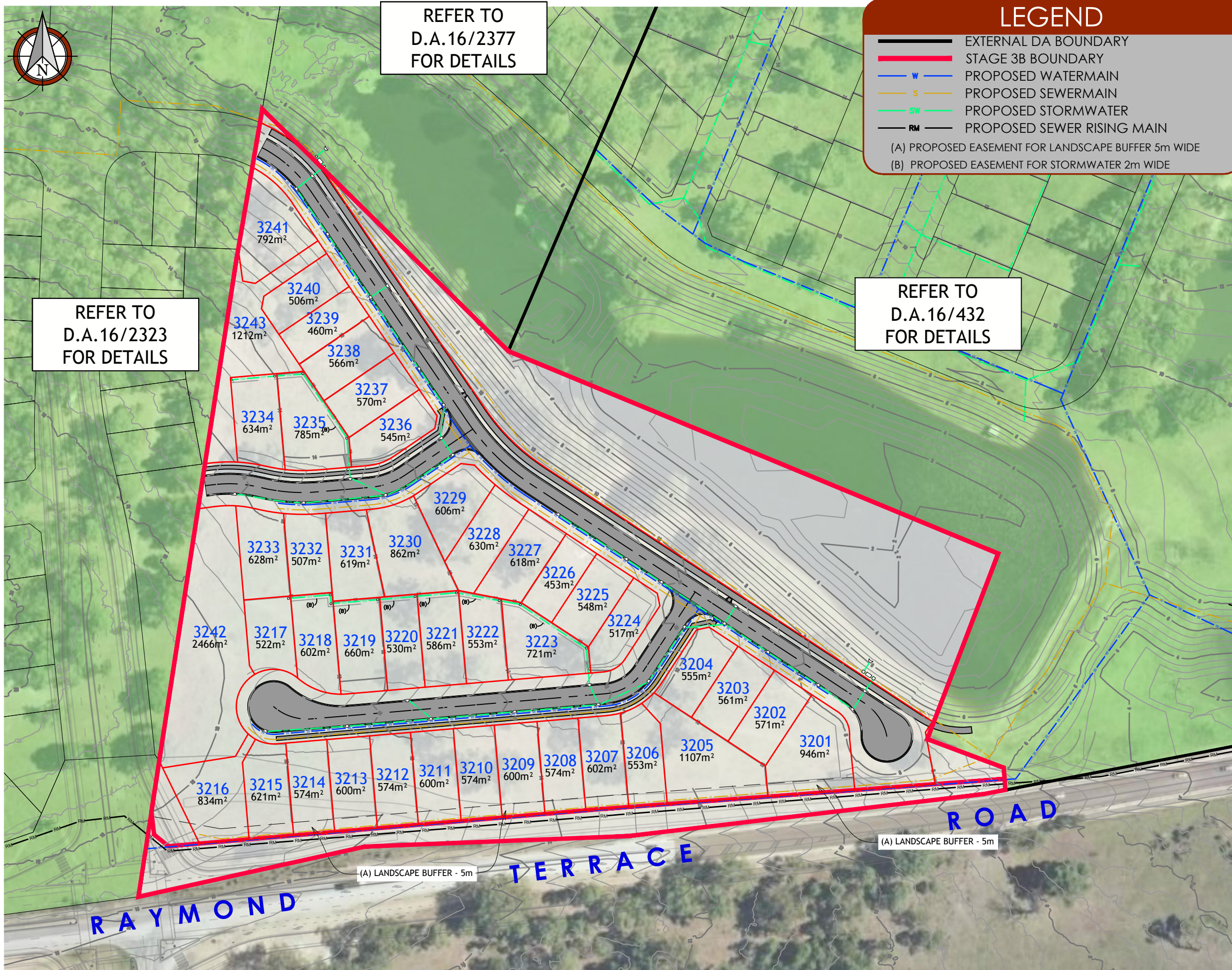
www.adwjohson.com.au

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
B	14/01/21	BOUNDARY AMENDMENTS	AM	LG	DATUM: N/A CONTOUR INTERVAL: N/A	0 30 60 75m SCALE: 1:1500 (FULL)	1. BACKGROUND IMAGE SOURCED FROM GOOGLE EARTH

- project management
- civil engineering
- infrastructure
- superintendency
- economic analysis
- social impact
- town planning
- surveying
- development feasibility
- visualisation
- urban design

190205(3B)-DA-211-B

Plotted By: Tim Stewes Plot Date: 14/01/21 12:06:44PM Cod File: \\PFSERVER\DA\DW\DATA\190205(3B)-DA-211-8.DWG



**maitland**  
city council

Approved Plans  
NO. DA 16-2890  
DEVELOPMENT APPLICATION  
18/07/2023

drawing title:  
**STAGE 3B SERVICES PLAN**

location: RAYMOND TERRACE ROAD, CHISHOLM

council: MAITLAND

dwg ref: DA-211

client:  
**ALLAM** PROPERTY GROUP  
**adw** johnson

central coast office ph: (02) 4305 4300  
hunter office ph: (02) 4978 5100  
www.adwjohnson.com.au

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
B	14/01/21	BOUNDARY AMENDMENTS	AM	LG	DATUM: AHD CONTOUR INTERVAL: 0.2m	0 30 60 75m SCALE: 1:1500 (FULL)	1. BACKGROUND IMAGE SOURCED FROM GOOGLE EARTH 2. DESIGN LEVELS AND SERVICES SHOWN ARE CONCEPT ONLY & SUBJECT TO CHANGE THROUGH THE DETAILED DESIGN PHASE

• project management • civil engineering • infrastructure • superintendency • economic analysis • social impact • town planning • surveying • development feasibility • visualisation • urban design

Copyright Notice: This plan and the information it contains are copyright and remain the property of ADW Johnson Pty Ltd. ADW Johnson Pty Ltd grants to the client named on this plan a license to use the information hereon for the purpose for which we were engaged to perform the work. Use of the plan and information it contains for any other purpose is not permitted unless prior written approval has been obtained from ADW Johnson Pty Ltd.

working beyond expectations



### LEGEND

- EXTERNAL DA BOUNDARY
- STAGE 3B BOUNDARY
- PROPOSED LOT BOUNDARY
- TYPICAL BUILDING ENVELOPE
  - 10
  - 15
- (A) PROPOSED EASEMENT FOR LANDSCAPE BUFFER 5m WIDE
- (B) PROPOSED EASEMENT TO DRAIN WATER 2m WIDE

**maitland**  
city council

Approved Plans  
NO. DA 16-2890  
DEVELOPMENT APPLICATION  
18/07/2023

drawing title:

**STAGE 3B  
LOT DETAIL PLAN**

location: RAYMOND TERRACE ROAD,  
CHISHOLM

council: MAITLAND

dwg ref: DA-212

client:



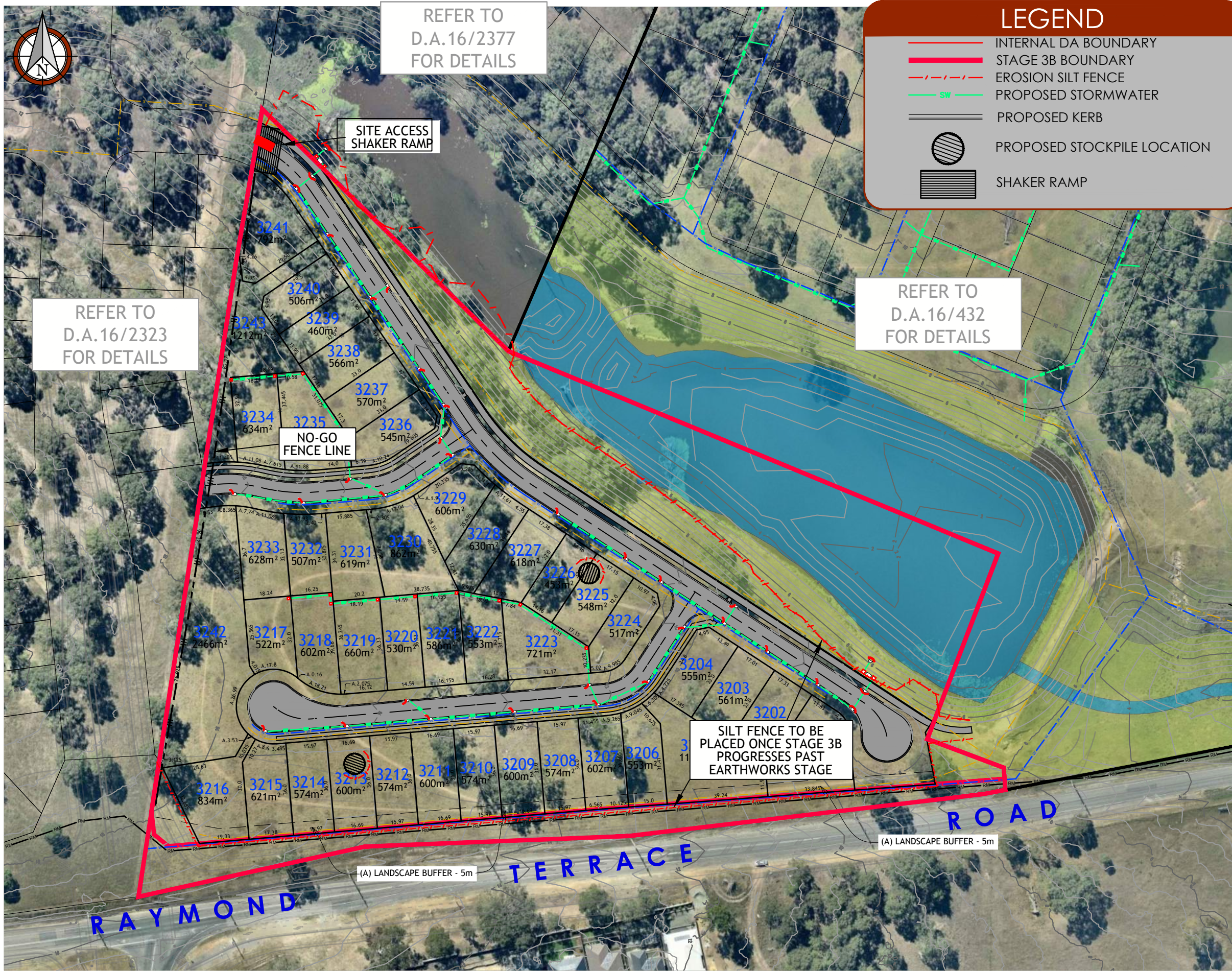
central coast office ph: (02) 4305 4300  
hunter office ph: (02) 4978 5100

www.adwjohnson.com.au

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
B	14/01/21	BOUNDARY AMENDMENTS	AM	LG	DATUM: N/A CONTOUR INTERVAL: N/A	0 30 60 75m SCALE: 1:1500 (FULL)	1. BACKGROUND IMAGE SOURCED FROM GOOGLE EARTH

190205(3B)-DA-221-B

Plotted By: Tim Stewes Plot Date: 14/01/21 12:07:21 PM Cad File: \\PFSERVER\DA\DWG\DATA\190205(3B)-DA-221-B.DWG



### LEGEND

- INTERNAL DA BOUNDARY
- STAGE 3B BOUNDARY
- EROSION SILT FENCE
- PROPOSED STORMWATER
- PROPOSED KERB
- PROPOSED STOCKPILE LOCATION
- SHAKER RAMP

**maitland**  
city council

Approved Plans  
NO. DA 16-2890  
DEVELOPMENT APPLICATION  
18/07/2023

drawing title:  
**STAGE 3B  
EROSION & SEDIMENT  
CONTROL PLAN**

location: RAYMOND TERRACE ROAD,  
CHISHOLM

council: MAITLAND

dwg ref: DA-221

client:

central coast office ph: (02) 4305 4300  
hunter office ph: (02) 4978 5100  
[www.adwjohnson.com.au](http://www.adwjohnson.com.au)

ver.	date	comment	drawn	pm	level information	scale (A3 original size)	notes
B	14/01/21	BOUNDARY AMENDMENTS	AM	LG	DATUM: AHD CONTOUR INTERVAL: 0.5m	0 30 60 75m SCALE: 1:1500 (FULL)	1. BACKGROUND IMAGE SOURCED FROM GOOGLE EARTH 2. DESIGN LEVELS AND SERVICES SHOWN ARE CONCEPT ONLY & SUBJECT TO CHANGE THROUGH THE DETAILED DESIGN PHASE

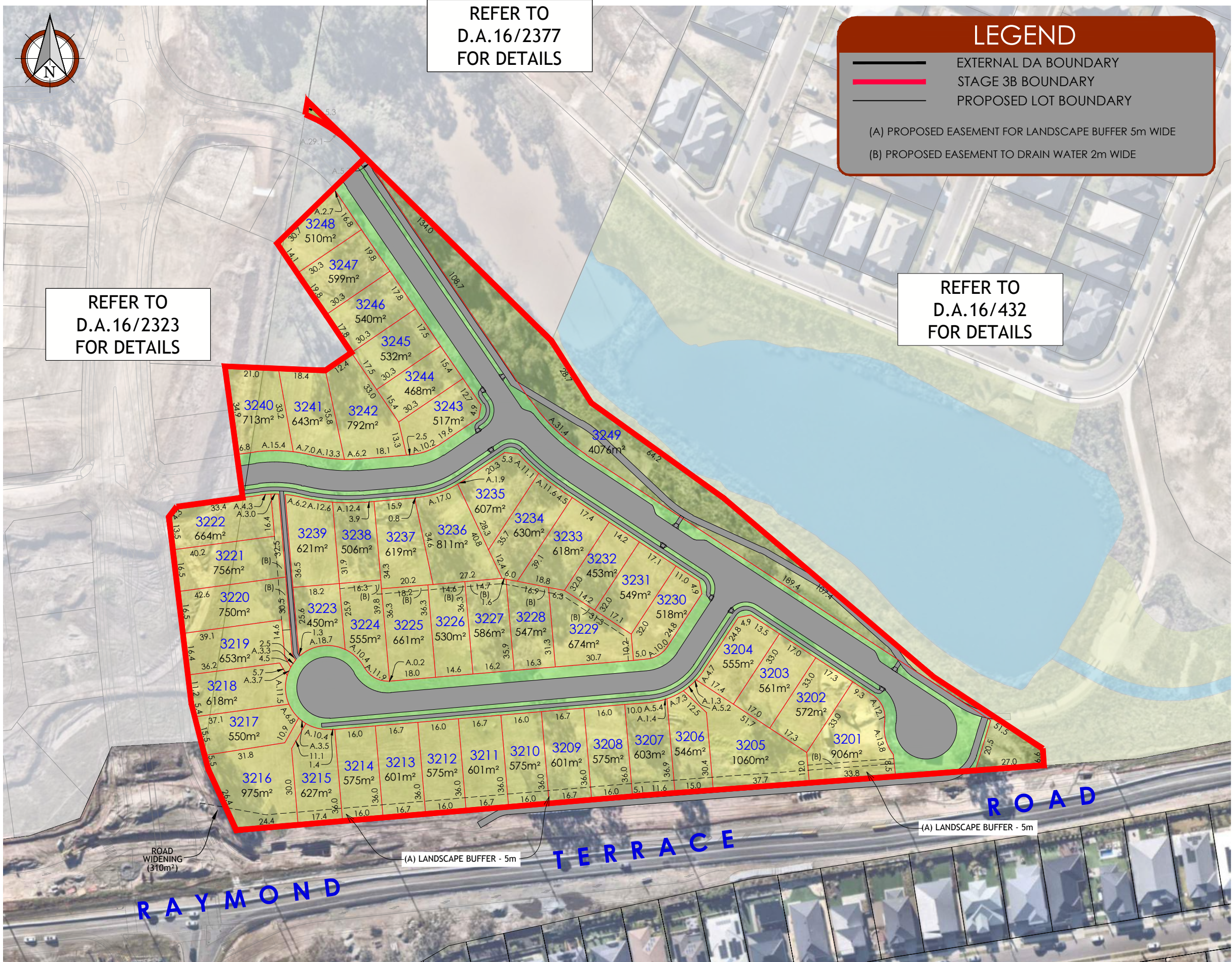
working beyond expectations



## **Attachment B**

---

**AMENDED SUBDIVISION LAYOUT PLANS**



**LEGEND**

- EXTERNAL DA BOUNDARY
- STAGE 3B BOUNDARY
- PROPOSED LOT BOUNDARY
- (A) PROPOSED EASEMENT FOR LANDSCAPE BUFFER 5m WIDE
- (B) PROPOSED EASEMENT TO DRAIN WATER 2m WIDE



drawing title:

**STAGE 3B  
DETAIL PLAN**

location: RAYMOND TERRACE ROAD,  
CHISHOLM

council: MAITLAND CITY COUNCIL

dwg ref: DA-210

client:

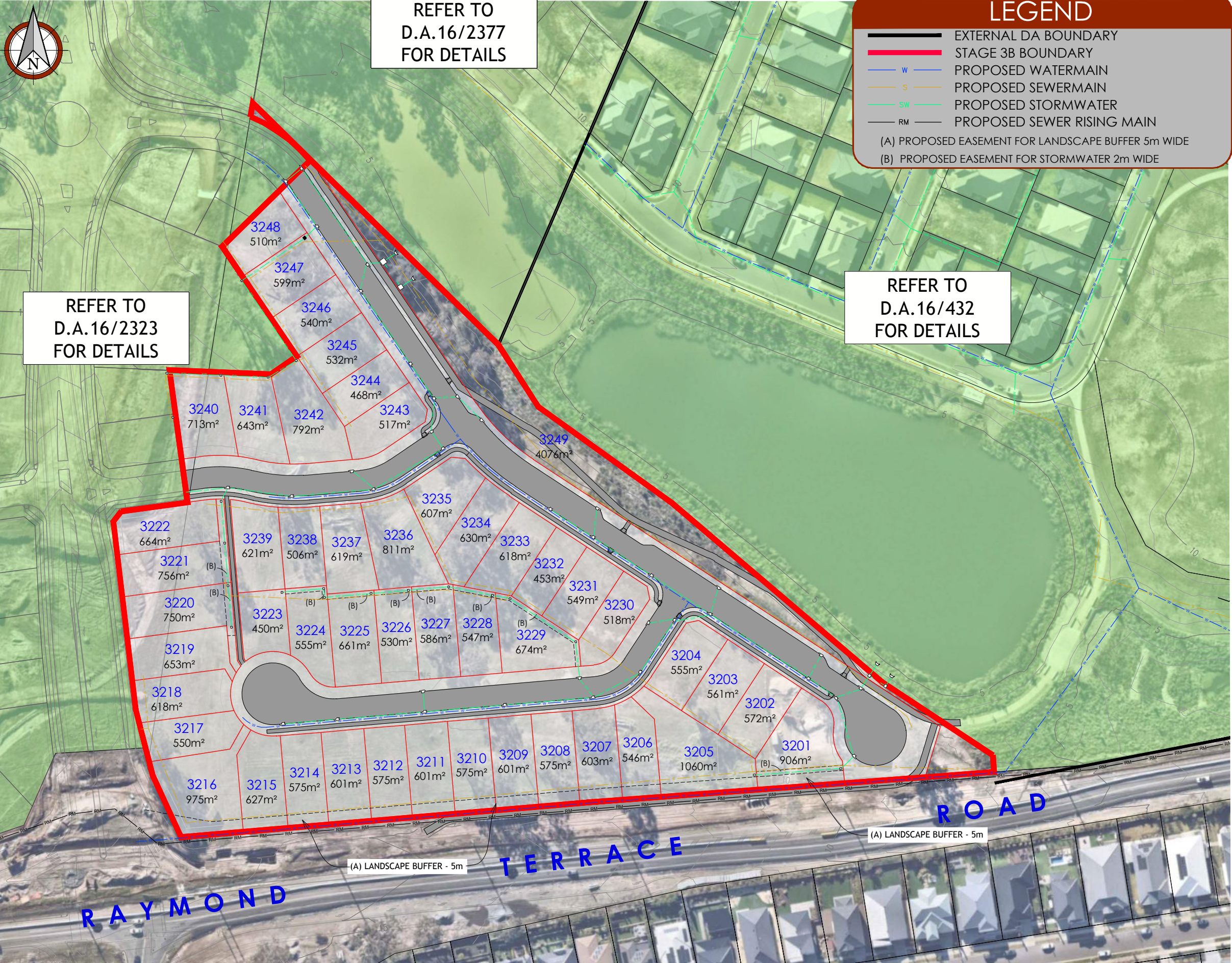


central coast office ph: (02) 4305 4300  
hunter office ph: (02) 4978 5100  
sydney office ph: (02) 8046 7411

www.adwjohnson.com.au

ver.	date	comment	drawn	pm	co-ordinate & level information	scale (A3 original size)	notes
C	4.09.23	REVISED ISSUE	LS	CMO	CO-ORDINATE SYSTEM: MGA56 GDA94 DATUM: AHD CONTOUR INTERVAL: 1m	0 30 60 75m SCALE: 1:1500 (FULL)	1. BACKGROUND IMAGE SOURCED FROM NEARMAP





REFER TO  
D.A.16/2377  
FOR DETAILS

### LEGEND

- EXTERNAL DA BOUNDARY
- STAGE 3B BOUNDARY
- W — PROPOSED WATERMAIN
- S — PROPOSED SEWERMAIN
- SW — PROPOSED STORMWATER
- RM — PROPOSED SEWER RISING MAIN
- (A) PROPOSED EASEMENT FOR LANDSCAPE BUFFER 5m WIDE
- (B) PROPOSED EASEMENT FOR STORMWATER 2m WIDE

REFER TO  
D.A.16/2323  
FOR DETAILS

REFER TO  
D.A.16/432  
FOR DETAILS



drawing title:  
**STAGE 3B SERVICES PLAN**

location: RAYMOND TERRACE ROAD, CHISHOLM

council: MAITLAND CITY COUNCIL

dwg ref: DA-211

client:

central coast office ph: (02) 4305 4300  
 hunter office ph: (02) 4978 5100  
 sydney office ph: (02) 8046 7411

www.adwjohnson.com.au

ver.	date	comment	drawn	pm	co-ordinate & level information	scale (A3 original size)	notes
C	4.09.23	REVISED ISSUE	LS	CMO	CO-ORDINATE SYSTEM: MGA56 GDA94 DATUM: AHD CONTOUR INTERVAL: 1m	0 30 60 75m SCALE: 1:1500 (FULL)	1. BACKGROUND IMAGE SOURCED FROM GOOGLE EARTH 2. DESIGN LEVELS AND SERVICES SHOWN ARE CONCEPT ONLY & SUBJECT TO CHANGE THROUGH THE DETAILED DESIGN PHASE

Plotted By: Leah Swain Plot Date: 04/09/23 10:29:18AM Cad File: N:\190205\DWG\190205(3B)-DA-211-C.DWG  
 This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.

Copyright Notice: This plan and the information it contains are copyright and remain the property of ADW Johnson Pty Ltd. ADW Johnson Pty Ltd grants to the client named on this plan a license to use the information hereon for the purpose for which we were engaged to perform the work. Use of the plan and information it contains for any other purpose is not permitted unless prior written approval has been obtained from ADW Johnson Pty Ltd.



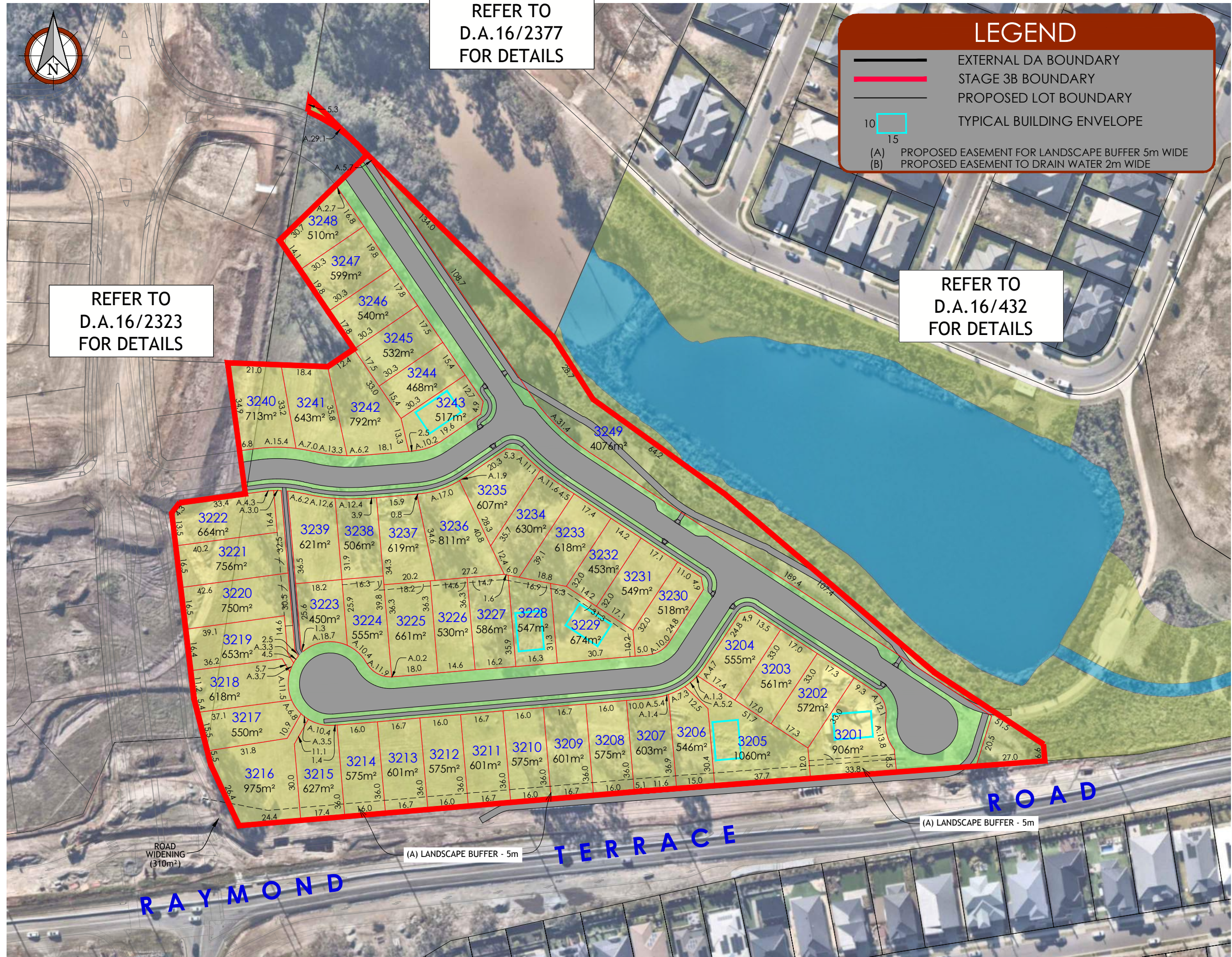
REFER TO  
D.A.16/2377  
FOR DETAILS

**LEGEND**

- EXTERNAL DA BOUNDARY
- STAGE 3B BOUNDARY
- PROPOSED LOT BOUNDARY
- TYPICAL BUILDING ENVELOPE
- PROPOSED EASEMENT FOR LANDSCAPE BUFFER 5m WIDE
- PROPOSED EASEMENT TO DRAIN WATER 2m WIDE

REFER TO  
D.A.16/2323  
FOR DETAILS

REFER TO  
D.A.16/432  
FOR DETAILS



drawing title:

**STAGE 3B  
LOT DETAIL PLAN**

location: **RAYMOND TERRACE ROAD,  
CHISHOLM**

council: **MAITLAND CITY COUNCIL**

dwg ref: **DA-212**

client:

central coast office ph: (02) 4305 4300  
hunter office ph: (02) 4978 5100  
sydney office ph: (02) 8046 7411

www.adwjohson.com.au

ver.	date	comment	drawn	pm	co-ordinate & level information	scale (A3 original size)	notes
C	4.09.23	REVISED ISSUE	LS	CMO	CO-ORDINATE SYSTEM: MGA56 GDA94 DATUM: AHD CONTOUR INTERVAL: 1m	0 30 60 75m SCALE: 1:1500 (FULL)	1. BACKGROUND IMAGE SOURCED FROM NEARMAP



drawing title:  
**STAGE 3B  
EROSION & SEDIMENT  
CONTROL PLAN**

location: **RAYMOND TERRACE ROAD,  
CHISHOLM**

council: **MAITLAND CITY COUNCIL**

dwg ref: **DA-221**



central coast office ph: (02) 4305 4300  
hunter office ph: (02) 4978 5100  
sydney office ph: (02) 8046 7411

[www.adwjohnson.com.au](http://www.adwjohnson.com.au)

ver.	date	comment	drawn	pm	co-ordinate & level information	scale (A3 original size)	notes
C	4.09.23	REVISED ISSUE	LS	CMO	CO-ORDINATE SYSTEM: MGA56 GDA94 DATUM: AHD CONTOUR INTERVAL: 1m	0 30 60 75m SCALE: 1:1500 (FULL)	1. BACKGROUND IMAGE SOURCED FROM NEARMAP 2. DESIGN LEVELS AND SERVICES SHOWN ARE CONCEPT ONLY & SUBJECT TO CHANGE THROUGH THE DETAILED DESIGN PHASE

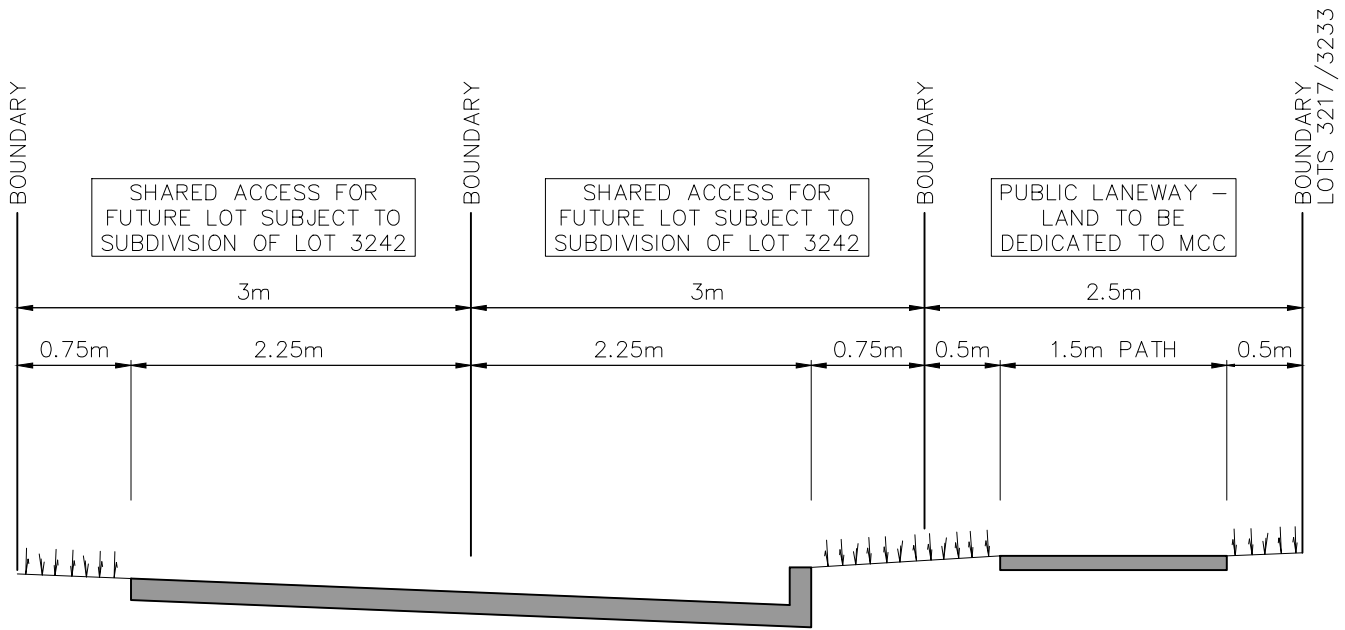
## Attachment C

---

AGREED SUBDIVISION LAYOUT FOR RESIDUAL LAND



GOVERNMENT ROAD



SHARED ACCESS FOR FUTURE LOT SUBJECT TO SUBDIVISION OF LOT 3242

SHARED ACCESS FOR FUTURE LOT SUBJECT TO SUBDIVISION OF LOT 3242

PUBLIC LANEWAY – LAND TO BE DEDICATED TO MCC

Copyright notice: This plan and the information it contains are copyright and remain the property of ADW Johnson Pty Ltd. ADW Johnson Pty Ltd grants to the client named on this plan a license to use the information herein for the purpose for which we were engaged to perform the work. Use of the plan and information it contains for any other purpose is not permitted unless prior written approval has been obtained from ADW Johnson Pty Ltd. This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.

**NOTE:**  
INDICATIVE HOUSING AND LOT LAYOUT  
BASED ON FUTURE LAND SWAP

**NOT TO SCALE**

drawing title:  
**SOPHIA WATERS  
STAGE 3B - PROPOSED  
ACCESSWAY FOR LOT 3242**

location: **RAYMOND TERRACE  
ROAD, CHISHOLM**

council: **MAITLAND**

dwg ref: **190205(3B)-ESK-001(C)**

client:













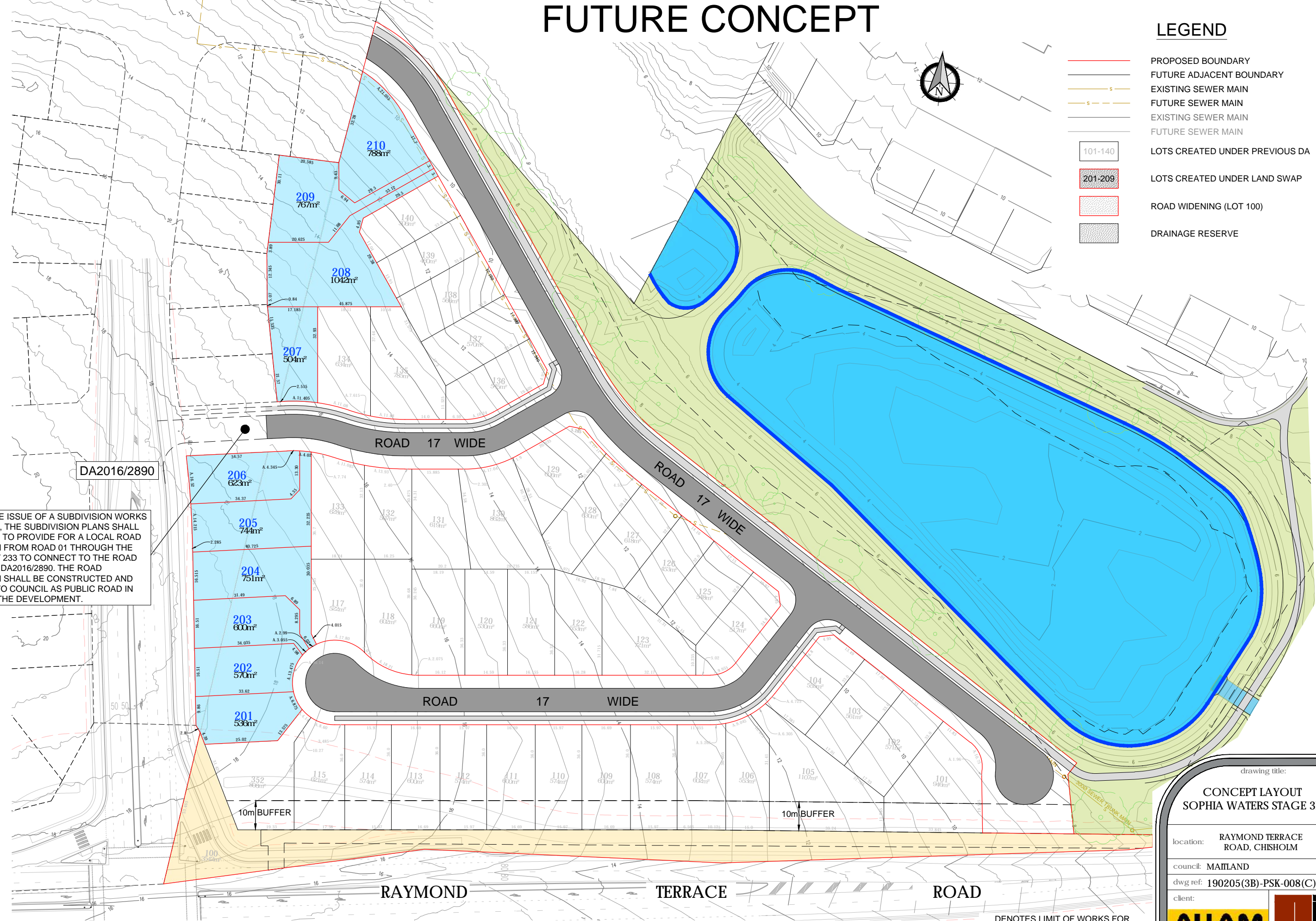
central coast office ph: (02) 4305 4300  
hunter office ph: (02) 4978 5100  
sydney office ph: (02) 8046 7411

[www.adwjohanson.com.au](http://www.adwjohanson.com.au)

# FUTURE CONCEPT

## LEGEND

-  PROPOSED BOUNDARY
-  FUTURE ADJACENT BOUNDARY
-  EXISTING SEWER MAIN
-  FUTURE SEWER MAIN
-  EXISTING SEWER MAIN
-  FUTURE SEWER MAIN
-  101-140 LOTS CREATED UNDER PREVIOUS DA
-  201-209 LOTS CREATED UNDER LAND SWAP
-  ROAD WIDENING (LOT 100)
-  DRAINAGE RESERVE



PRIOR TO THE ISSUE OF A SUBDIVISION WORKS CERTIFICATE, THE SUBDIVISION PLANS SHALL BE AMENDED TO PROVIDE FOR A LOCAL ROAD CONNECTION FROM ROAD 01 THROUGH THE RESIDUE LOT 233 TO CONNECT TO THE ROAD NETWORK IN DA2016/2890. THE ROAD CONNECTION SHALL BE CONSTRUCTED AND DEDICATED TO COUNCIL AS PUBLIC ROAD IN STAGE 1 OF THE DEVELOPMENT.

DA2016/2890

drawing title:  
**CONCEPT LAYOUT SOPHIA WATERS STAGE 3B**

location: **RAYMOND TERRACE ROAD, CHISHOLM**  
council: MAILLAND  
dwg ref: 190205(3B)-PSK-008(C)  
client:



central coast office ph: (02) 4305 4300  
hunter office ph: (02) 4978 5100  
sydney office ph: (02) 8046 7411  
www.adwjohanson.com.au

ver.	date	comment	drawn	pm	level information	scale (A1 original size)	notes
C	15/12/2020	CHANGE BDY BACK	RC	CM	DATUM: N/A CONTOUR INTERVAL: 0.5m	SCALE: 1:600 (FULL)	



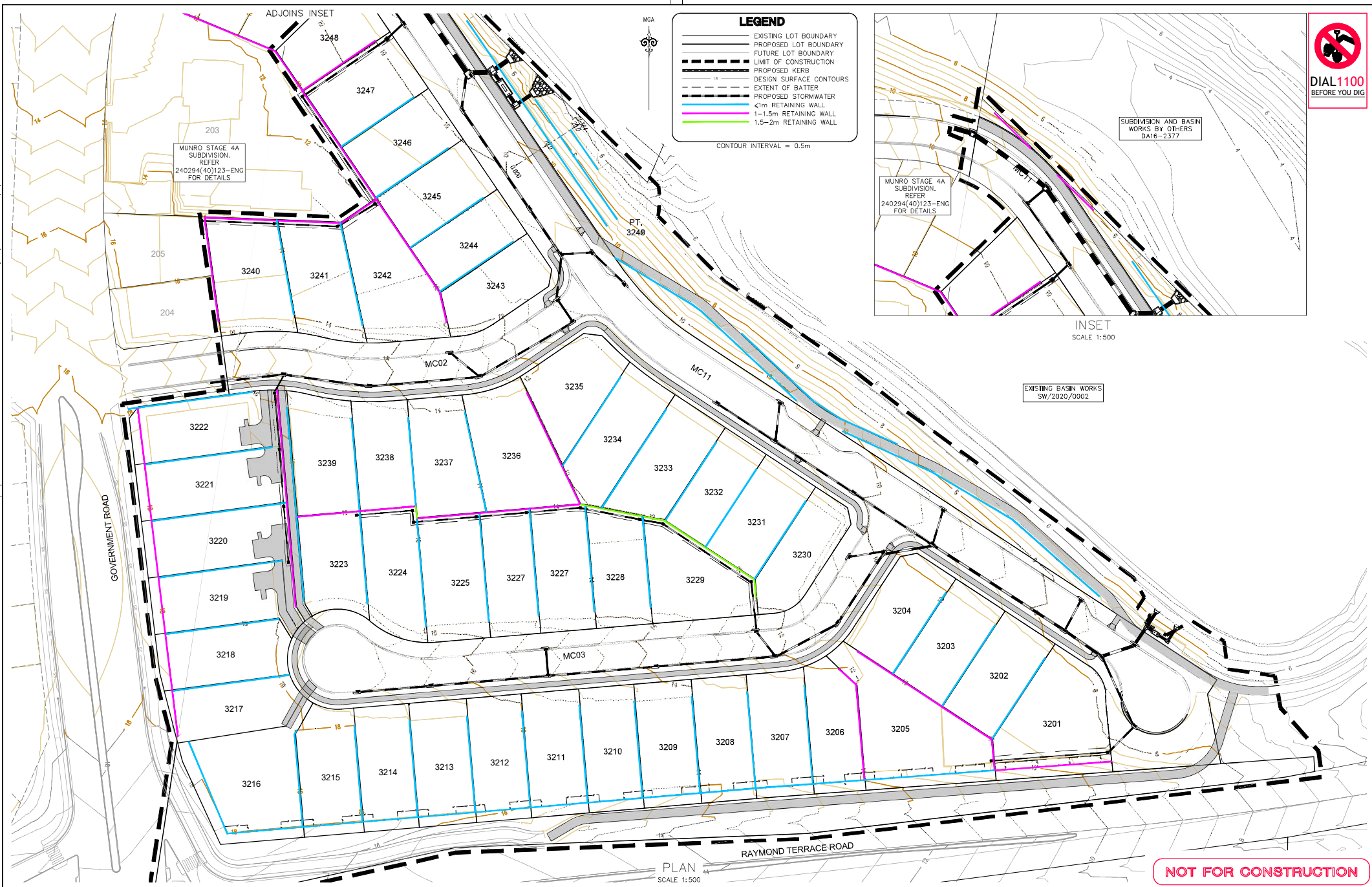
## Attachment D

---

AMENDED RETAINING WALL LAYOUT PLAN

190205(3B)-CENG-103(H)

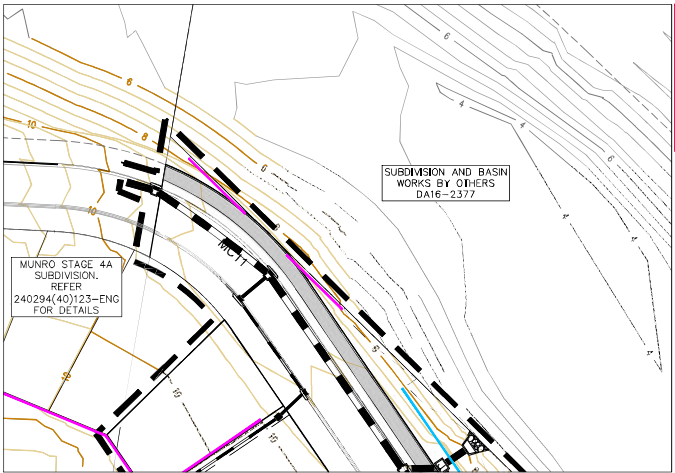
100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.



**LEGEND**

- EXISTING LOT BOUNDARY
- PROPOSED LOT BOUNDARY
- FUTURE LOT BOUNDARY
- LIMIT OF CONSTRUCTION
- PROPOSED KERB
- DESIGN SURFACE CONTOURS
- EXTENT OF BATTER
- PROPOSED STORMWATER
- <1m RETAINING WALL
- 1-1.5m RETAINING WALL
- 1.5-2m RETAINING WALL

CONTOUR INTERVAL = 0.5m



INSET  
SCALE 1:500

EXISTING BASIN WORKS  
SW/2020/0002



**NOT FOR CONSTRUCTION**

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES
A	13.12.2016	INITIAL ISSUE	Z.J.	M.A.	M.A.	L.G.	0 10 20 A1 / A3
B	14.01.2021	COUNCIL COMMENTS	T.S.	A.L.	A.L.	L.G.	1:500 / 1:1000
C	17.08.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.	
D	30.09.2021	COUNCIL COMMENTS	A.M.	A.L.	A.L.	L.G.	
E	12.10.2021	HOUSING UPDATE	A.M.	A.L.	A.L.	L.G.	
F	17.02.2023	REVISED ISSUE	C.S.	A.L.	A.L.	L.G.	
G	28.04.2023	RETAINING WALL LOTS 3201 TO 3216	J.C.	A.L.	A.L.	L.G.	
H	01.09.2023	RETAINING WALL LOTS 3217 TO 3222	J.C.	A.L.	A.L.	L.G.	

DRAWN	CHECK	DESIGN	VERIFY
Z.J.	M.A.	M.A.	L.G.
T.S.	A.L.	A.L.	L.G.
A.M.	A.L.	A.L.	L.G.
A.M.	A.L.	A.L.	L.G.
A.M.	A.L.	A.L.	L.G.
C.S.	A.L.	A.L.	L.G.
J.C.	A.L.	A.L.	L.G.
J.C.	A.L.	A.L.	L.G.

ALL DIMENSIONS ARE IN METRES U.N.G. DO NOT SCALE

Hunter Office  
Unit 7/335 Hillsborough Rd  
Warners Bay N.S.W. 2282  
Phone: (02) 4978 5100  
Fax: (02) 4978 5199  
email: hunter@adwjohnson.com.au  
www.adwjohnson.com.au  
ABN 62 129 445 398

PROPERTY DESCRIPTION	CLIENT
SOPHIA WATERS STAGE 3B SUBDIVISION LOT 2135 DP1256564 RAYMOND TERRACE ROAD, CHISHOLM	ADW Johnson

PROJECT	PLAN TITLE
SOPHIA WATERS - STAGE 3B	RETAINING WALL PLAN

PROJECT No.	DISCIPLINE	NUMBER	REV.
190205(3B) - CENG	- CENG	- 103	H