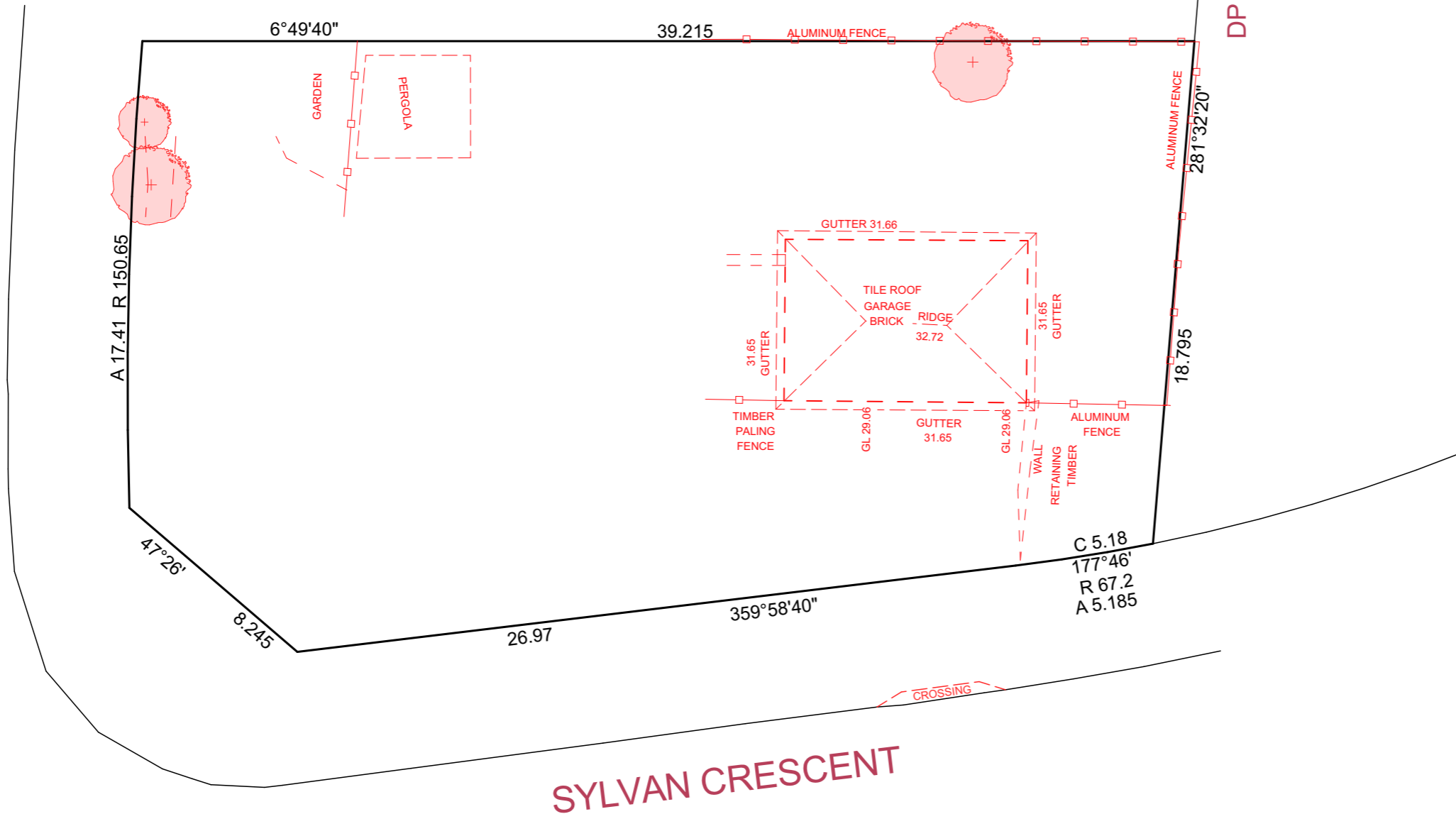


STRONACH AVENUE

DP 247251
LOT 92

DP 247251
LOT 90



> NOTE

> SITE LEVELS ARE APPROXIMATE ONLY. PLEASE EVALUATE ON SITE BEFORE ANY ORDERING OR WORK BEGINS.

> DEMOLITION NOTES

> 1. ALL DEMOLITION WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001. WHERE POSSIBLE, ANY RECYCLABLE MATERIAL IS TO BE RECYCLED. THE REMAINDER IS TO BE DISPOSED OF AT THE APPROPRIATE WASTE DISPOSAL DEPOT. IF ASBESTOS IS PRESENT, IT MUST BE REMOVED AND DISPOSED OF BY A LICENSED CONTRACTOR IN ACCORDANCE WITH WORKCOVER AUTHORITY GUIDELINES.

> 2. THE SEWER MAIN CONNECTION MUST BE CAPPED AT THE SEWER MAIN JUNCTION BY A LICENSED PLUMBER AS SPECIFIED BY HUNTER WATER CORPORATION. THE WATER MAIN MUST BE CAPPED AT THE JUNCTION OF THE WATER MAIN AND THE INCOMING SUPPLY BY A LICENSED PLUMBER AS SPECIFIED BY HUNTER WATER CORPORATION.

> 3. A PERMANENT DISCONNECTION REQUEST MUST BE LODGED WITH THE ELECTRICAL SUPPLY AUTHORITY FOR THE DISCONNECTION OF THE ELECTRICITY MAINS.

> 4. THE GAS SUPPLY WILL BE DISCONNECTED BY THE GAS SUPPLY AUTHORITY AFTER LODGEMENT OF A WRITTEN REQUEST.

> NO SUBTERRANEAN INVESTIGATIONS HAVE BEEN UNDERTAKEN. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT DIAL BEFORE YOU DIG ON PHONE No. 1100 or www.1100.com.au PRIOR TO ANY EXCAVATION OR EARTHWORKS



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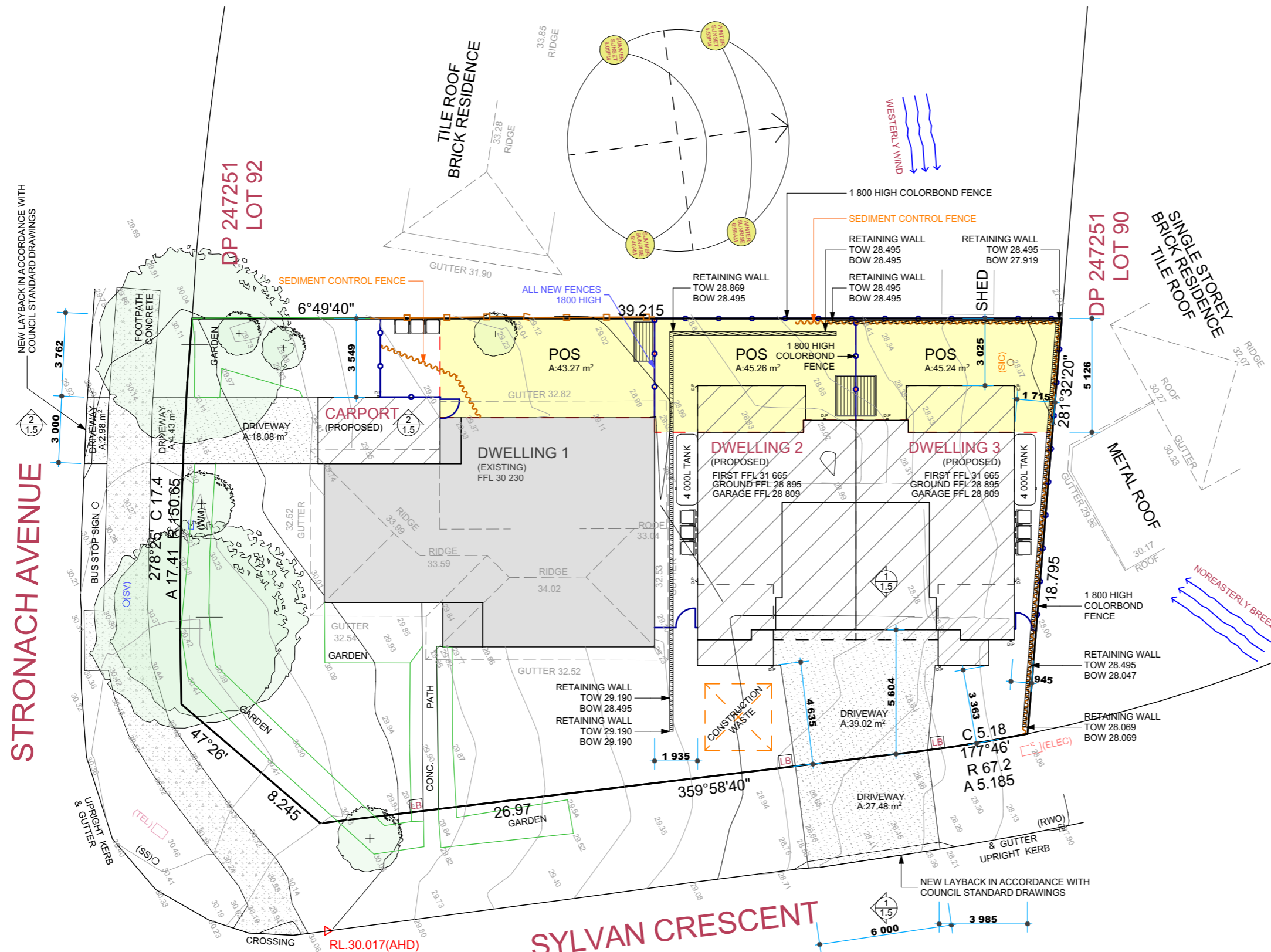
> Client
> SINGH
> Development
> MULTI DWELLING HOUSING
> 2 SYLVAN CRESCENT, EAST MAITLAND
> LOT 91, DP 247251

> DEVELOPMENT APPLICATION

> Designer > Drafter
> JB > DP

> Job No. > Revision No. > Drawing No.
> 4859 > DA1 > 1.2

> DO NOT SCALE. IF IN DOUBT, ASK



STRONACH AVENUE

SYLVAN CRESCENT

> NOTE
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> SEDIMENT CONTROLS
 > 1. ATTENTION IS DRAWN TO THE ENVIRONMENT PROTECTION ACT AND THE REQUIREMENTS FOR THE PROTECTION FROM DISCHARGE OF ANY POLLUTION FROM THE SITE.
 > 2. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED.
 > 3. ALL SEDIMENT RETAINING STRUCTURES SHALL BE CLEARED UPON REACHING A MAXIMUM OF 75% CAPACITY. REMOVED SEDIMENT SHALL BE SPREAD WITHIN DISTRIBUTION AREAS ON THE SITE.
 > 4. IMMEDIATELY FOLLOWING THE COMPLETION OF WORKS ALL EXPOSED AREAS SHALL BE STABILISED BY TURFING OR MULCHING (BY OWNER). SEDIMENT CONTROL SHALL BE MAINTAINED UNTIL GROUND COVER IS ESTABLISHED.

> SITE STATISTICS

| | |
|-------------------|-------|
| FLOOR SPACE RATIO | NA |
| SITE COVERAGE | 51.4% |
| LANDSCAPE AREA | NA |

> AREAS

| | AREA (m ²): |
|---------------|-------------------------|
| DRIVEWAY | 57.10 |
| SITE AREA | 803.29 |
| SITE COVERAGE | 413.22 |
| DWELLING 1 | |
| POS | 43.27 |
| DWELLING 2 | |
| POS | 45.26 |
| DWELLING 3 | |
| POS | 45.24 |

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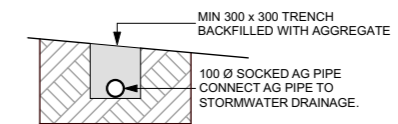
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| > 4859 | > DA1 |
| > Drawing No. | > 1.4 |

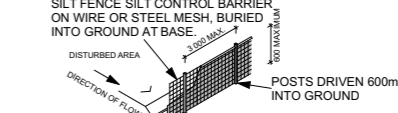
> DO NOT SCALE. IF IN DOUBT, ASK



> SITE DRAINAGE DETAIL

> SEDIMENT FENCE
 DRAINAGE AREA 0.6 HA MAXIMUM.
 SLOPE GRADIENT 1:2 MAXIMUM.
 SLOPE LENGTH 60m MAXIMUM.

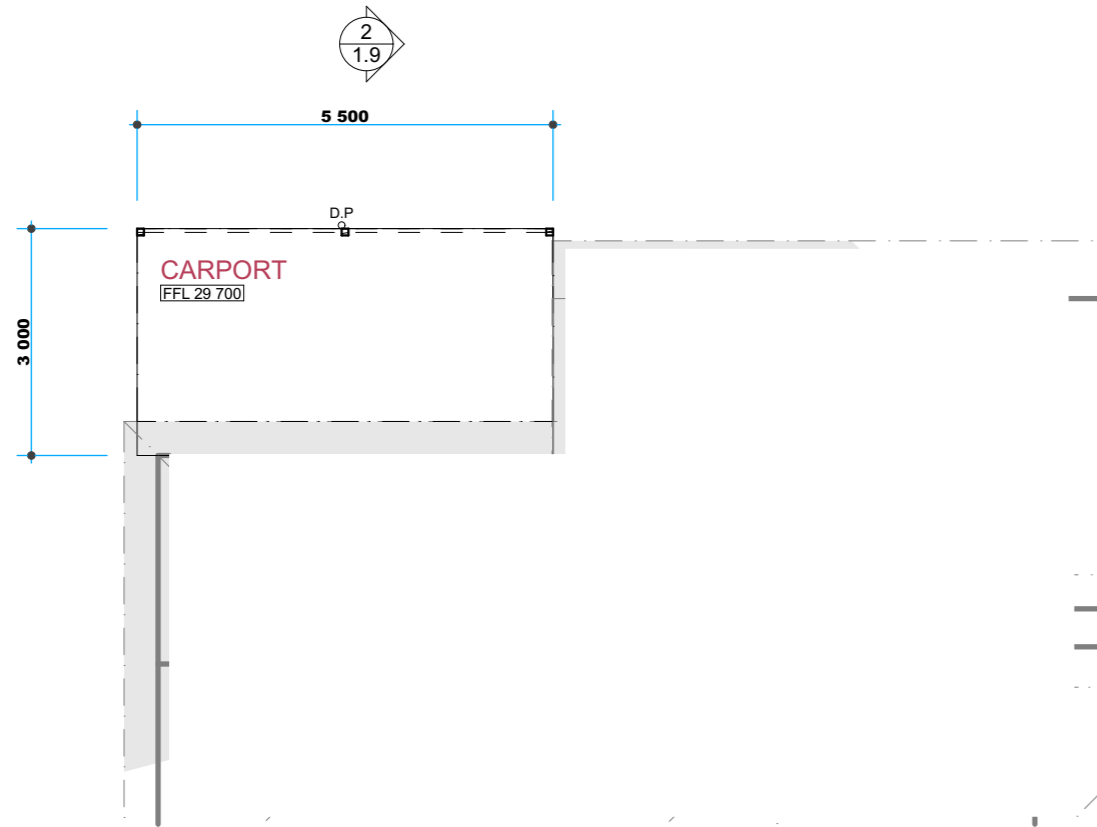
SILT FENCE SILT CONTROL BARRIER ON WIRE OR STEEL MESH, BURIED INTO GROUND AT BASE.



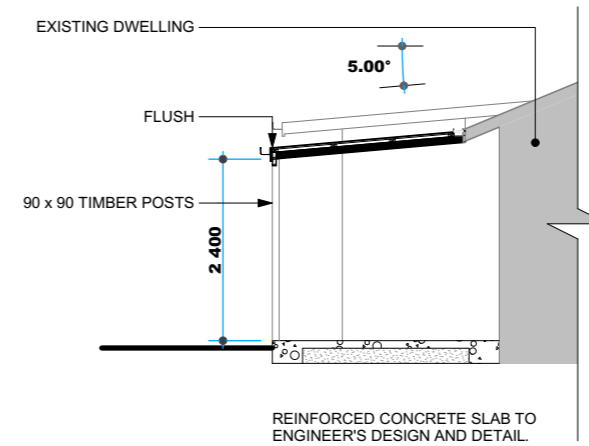
> SEDIMENT CONTROL FENCE

> SITE PLAN

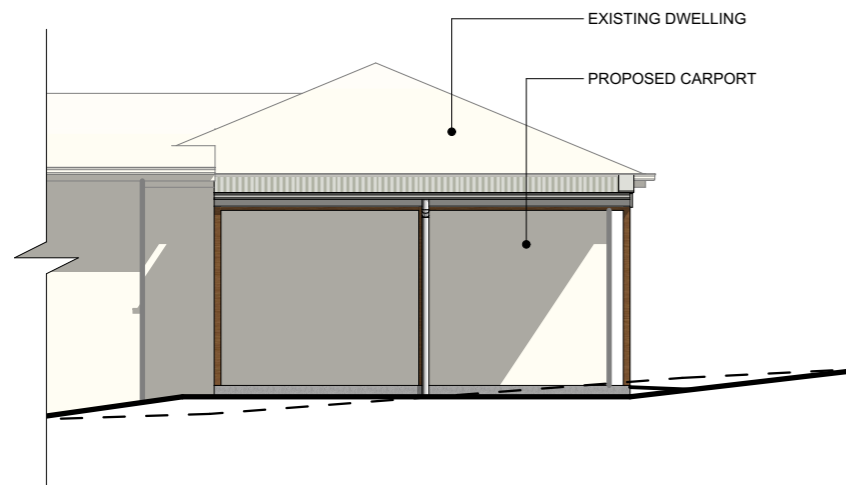
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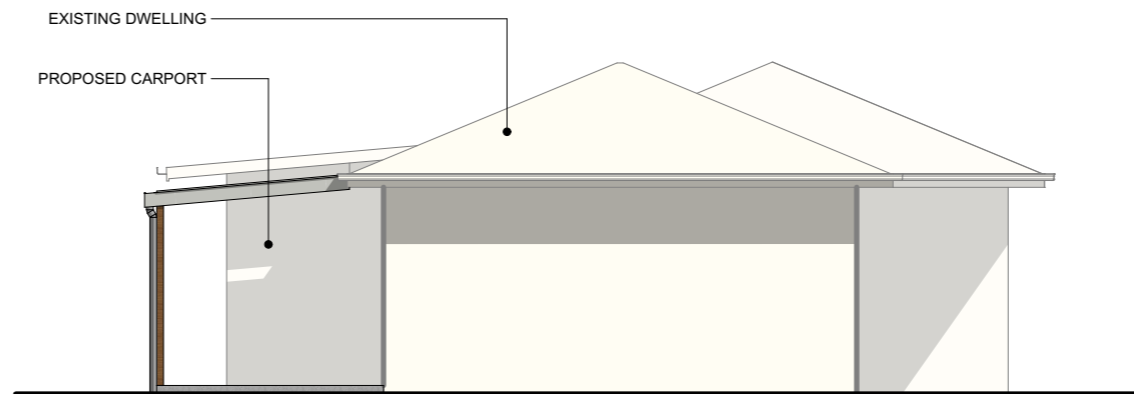
1 > CARPORT PLAN 1:100



2 > CARPORT SECTION 1:100



3 > WEST ELEVATION (CARPORT) 1:100



4 > SOUTH ELEVATION (CARPORT) 1:100

> CONSTRUCTION MATERIALS

- > FRAME: TIMBER
- > EXTERNAL WALLS: FACE BRICK AND SELECTED LIGHTWEIGHT
- > ROOF: COLORBOND CUSTOM ORB
- > FLOOR: SLAB / TIMBER

> WINDOW NOTES

WINDOWS LABELED (FS) ARE TO COMPLY WITH PART 11.3.7 AND 11.3.8 OF THE HOUSING PROVISIONS STANDARD 2022

WINDOWS LABELED OBS - OBSCURED GLASS

> GENERAL NOTES

- > 1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ENGINEERS DRAWINGS.
- > 2. ALL DIMENSIONS AND LEVELS TO BE CHECKED AND VERIFIED BY THE BUILDER.
- > 3. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, CODES AND LOCAL AUTHORITIES.
- > 4. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.
- > 5. ALL MATERIALS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS.
- > 6. SITE LEVELS ARE APPROXIMATE ONLY. PLEASE EVALUATE ON SITE BEFORE ANY ORDERING OR WORK BEGINS.
- > 7. BUILDER TO CONFIRM KITCHEN & LAUNDRY LAYOUT WITH OWNER PRIOR TO ORDERING & INSTALLATION.
- > 8. @ INDICATES SMOKE ALARM IN ACCORDANCE WITH H8D3 OF THE NCC 2022 AND PART 9.5 SMOKE ALARMS AND EVACUATION LIGHTING OF THE HOUSING PROVISIONS STANDARD 2022.
- > 9. WATERPROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH AS3740:2021 OR NCC VOL. 2 PART 10.2 OF THE ABCB HOUSING PROVISIONS.
- > 10. BUILDER TO COMPLY WITH H4D9 OF THE NCC 2022 AND PART 10.8 CONDENSATION MANAGEMENT OF THE HOUSING PROVISIONS STANDARD 2022.

> RESIDENCE STATISTICS

| | AREA (m ²): |
|---------------------|-----------------------------|
| DWELLING 1 | |
| LIVING AREA | 126.82 |
| CARPORT | 16.50 |
| PORCH | 5.57 |
| | 148.89 m² |
| DWELLING 2 | |
| GROUND FLOOR LIVING | 46.51 |
| FIRST FLOOR LIVING | 69.82 |
| GARAGE | 19.50 |
| PERGOLA | 10.18 |
| PORCH | 4.39 |
| | 150.40 m² |
| DWELLING 3 | |
| GROUND FLOOR LIVING | 46.51 |
| FIRST FLOOR LIVING | 69.82 |
| GARAGE | 19.50 |
| PERGOLA | 10.18 |
| PORCH | 3.07 |
| | 149.08 m² |

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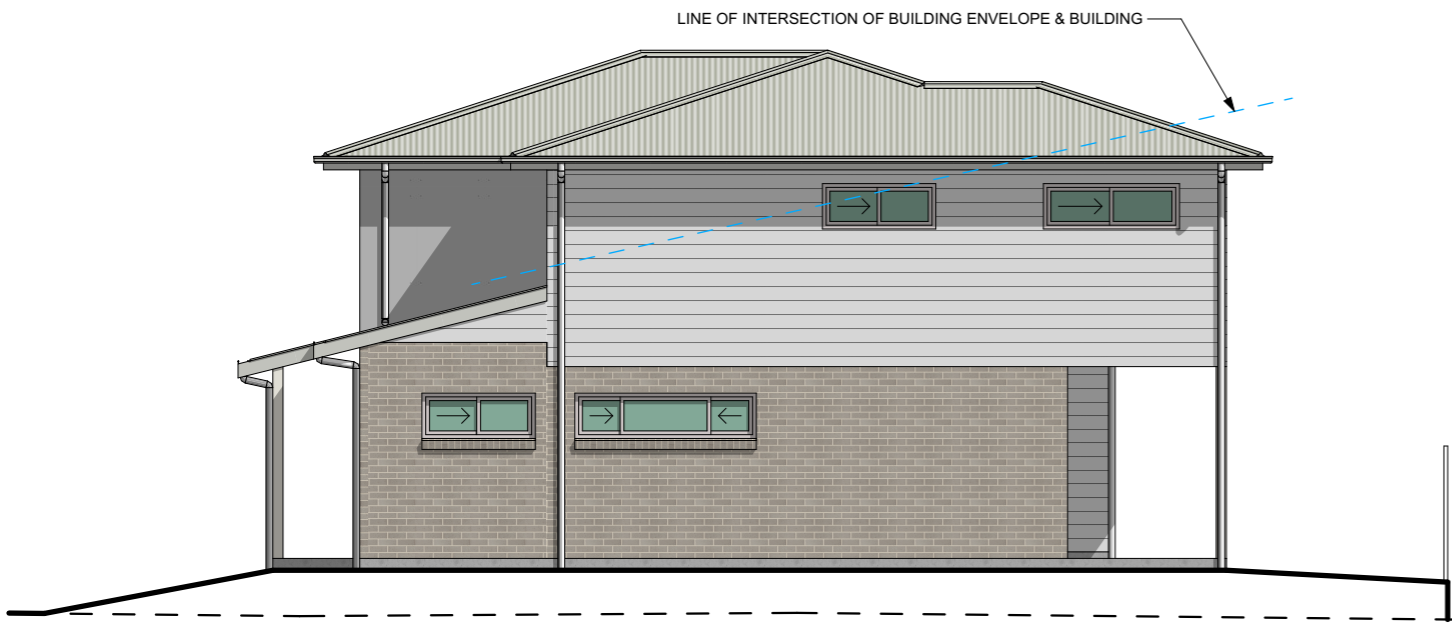
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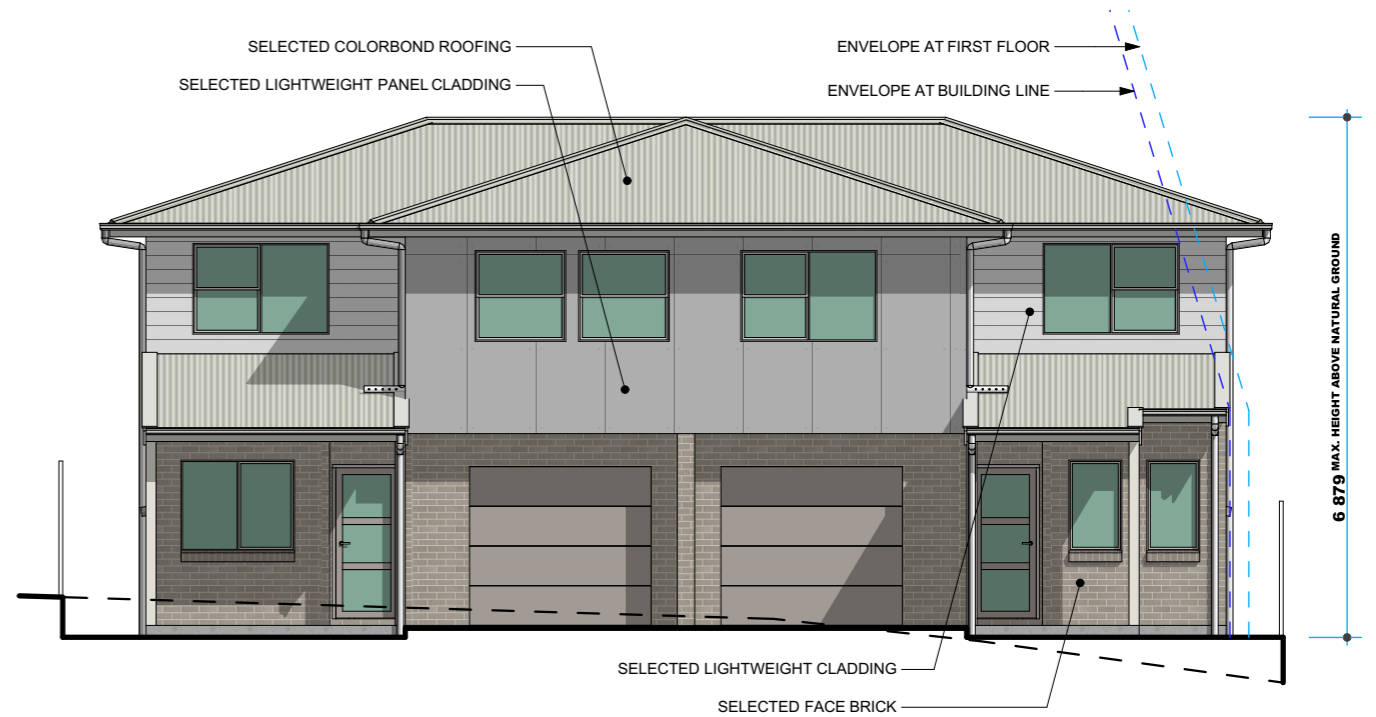
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> 4859 > DA1 > 1.9

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1 > NORTH ELEVATION

1:100 2



> EAST ELEVATION

1:100



3 > SOUTH ELEVATION

1:100



WEST ELEVATION

1:100

- > GENERAL NOTES**
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 - > 7. BRICKWORK CONTROL JOINT

- > WINDOW NOTES**
- WINDOWS LABELED (FS) ARE TO COMPLY WITH PART 11.3.7 AND 11.3.8 OF THE HOUSING PROVISIONS STANDARD 2022
- WINDOWS LABELED OBS - OBSCURED GLASS
- > EXTERNAL FINISHES**
- > CLADDING: FACE BRICK AND SELECTED LIGHTWEIGHT
 - > WINDOWS: ALUMINIUM
 - > HINGED DOORS: AS SELECTED
 - > ROOF CLADDING: COLORBOND CUSTOM ORB
 - > RIDGES AND HIPS: COLORBOND
 - > GUTTERS: COLORBOND
 - > DOWN PIPES: PVC

0008942200 25 Sep 2023

NATIONWIDE HOUSE ENERGY RATING SCHEME

Assessor Gavin Chambers
Accreditation No. DMN/13/1491

Address
2 Sylvan Crescent,
East Maitland, NSW,
2323

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