

Bushfire Attack Level (BAL)

Certificate



In accordance with the provisions of clause 1.19A of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 or, in accordance with Section 4.14(1)(b) of the Environmental Planning and Assessment Act 1979. This Certificate is to serve as notification that the part of the land on which the subject development is to be carried out and any associated access way is not in bush fire attack level – 40 (BAL-40) or the flame zone (BAL-FZ)

CLIENT DETAILS:	Silkwood Homes P: 0404 804 373
SITE ADDRESS:	12 Duckenfield Road, Morpeth NSW 2321
DESCRIPTION OF PROPOSAL:	Proposed Dwelling. Refer to Attachment 1 for proposed site plans.
Plan References and Reports: (relied upon in report preparation)	Site plans supplied by Client (Attachment 1).
VEGETATION AND SLOPE ASSESSMENT	No vegetation considered a bushfire hazard in accordance with PBP 2019 occurs within 100m of the site. Land to the South is regarded as low threat as it is short cropped grass with height of <100mm and is grazing land. Refer to Attachment 3 for Site Photos. Refer to Figure 1-1 for location of site.
BAL RATING:	The proposed development has been assessed as BAL-LOW in accordance with Table A1.12.5 of PBP 2019.
COMPLYING DEVELOPMENT CHECKLIST	Refer to Attachment 2 for compliance with development standards.
DOES THE PROPOSAL RELY ON ALTERNATE SOLUTIONS:	YES <input checked="" type="checkbox"/> NO (Circle the relevant response) (If YES the application is to be referred to NSW RFS for assessment.)

Firebird ecoSultants Pty Ltd

Level 1, 146 Hunter Street Mall, Newcastle NSW 2300
PO Box 354, Newcastle NSW 2300

P: 02 4910 3939 M: 0414 465 990 E: sarah@firebirdeco.com.au

Note: this certificate must be completed and signed by a person recognized by the NSW Rural Fire Service as a qualified consultant in bush fire risk assessment



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General Recommendations:

- The areas of the site not built on should be managed as an Inner Protection Area (IPA) in accordance with the NSW RFS document 'Standards for Asset Protection Zones' and Appendix 4 of PBP.
- Home owners should prepare a Bush Fire Survival Plan refer to the RFS Website http://www.rfs.nsw.gov.au/file_system/attachments/Attachment_BushFireSurvivalPlan.pdf.

I Sarah Jones of Firebird ecoSultants Pty Ltd
(Print Name) (Trading or Company Name)

have carried out a bushfire risk assessment on the above mentioned proposal and property.

REPORT REFERENCE:	Morpeth – Silkwood Homes
REPORT DATE:	3 rd August 2023
REPORT EXPIRY DATE:	3 rd August 2024
CERTIFICATE NO / ACCREDITED SCHEME:	FPA - BPAD – A – Certified Practitioner (BPD-26512)

I hereby certify, in accordance with Section 4.14 of the *Environmental Planning and Assessment Act 1979*:

1. That I am a person recognised by the *NSW Rural Fire Service* as a qualified consultant in bushfire risk assessment.
2. The development conforms to the relevant specifications and requirements, that being; Planning for Bushfire Protection 2019 and AS3959 - 2018 NSW Variation

** In accordance with the provisions of Clause 1.19A of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 this Certificate is to serve as notification that the part of the land on which the subject development is to be carried out and any associated access way is not in bush fire attack level – 40 (BAL-40) or the flame zone (BAL-FZ) or I certify the development conforms to the relevant specifications and requirements of Planning for Bushfire Protection 2019"*

SIGNATURE:



Date: 3rd August 2023

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Figure 1-1: Vegetation Map



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Attachment 1 – Site Plans

Firebird ecoSultants Pty Ltd

Level 1, 146 Hunter Street Mall, Newcastle NSW 2300
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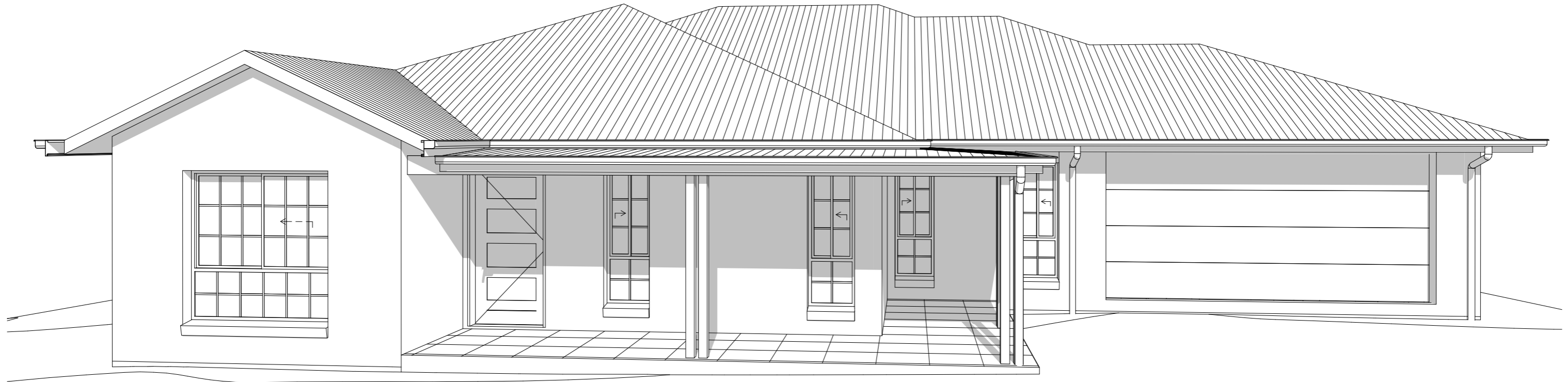
SILKWOOD HOMES

MANUKA 252 (MOD) - METRO

PROPOSED DWELLING FOR:
 TBC

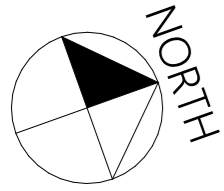
JOB NO.: PR3732
 LOT 6, DUCKENFIELD ROAD,
 MORPETH, NSW 2321

Layout Index	
Layout No.	Layout Name
1	COVER PAGE
2	SITE PLAN
3	FLOOR PLAN
4	DIMENSION PLAN
5	CIRCULATION PLAN
6	ELEVATION 1



Issue	Date	Drawn	Amendments
D	08.05.2023	WM	MARKUPS
E	11.05.2023	WM	AMENDMENT
F	17.05.2023	WM	AMENDMENT
G	16.06.2023	WM	SECTION ADDED
H	27.06.2023	WM	REDESIGN

NOTE:- PATH TO FRONT BOUNDARY TO BE DETERMINED ON SITE.



NOTE:
EXTERNAL HARD STAND AREAS (CONCRETE) TO HAVE MAX GRADIENT. 1:14 IN DIRECTION OF TRAVEL & 1:40 ACROSS THE DIRECTION OF TRAVEL

PROPOSED LEVELS

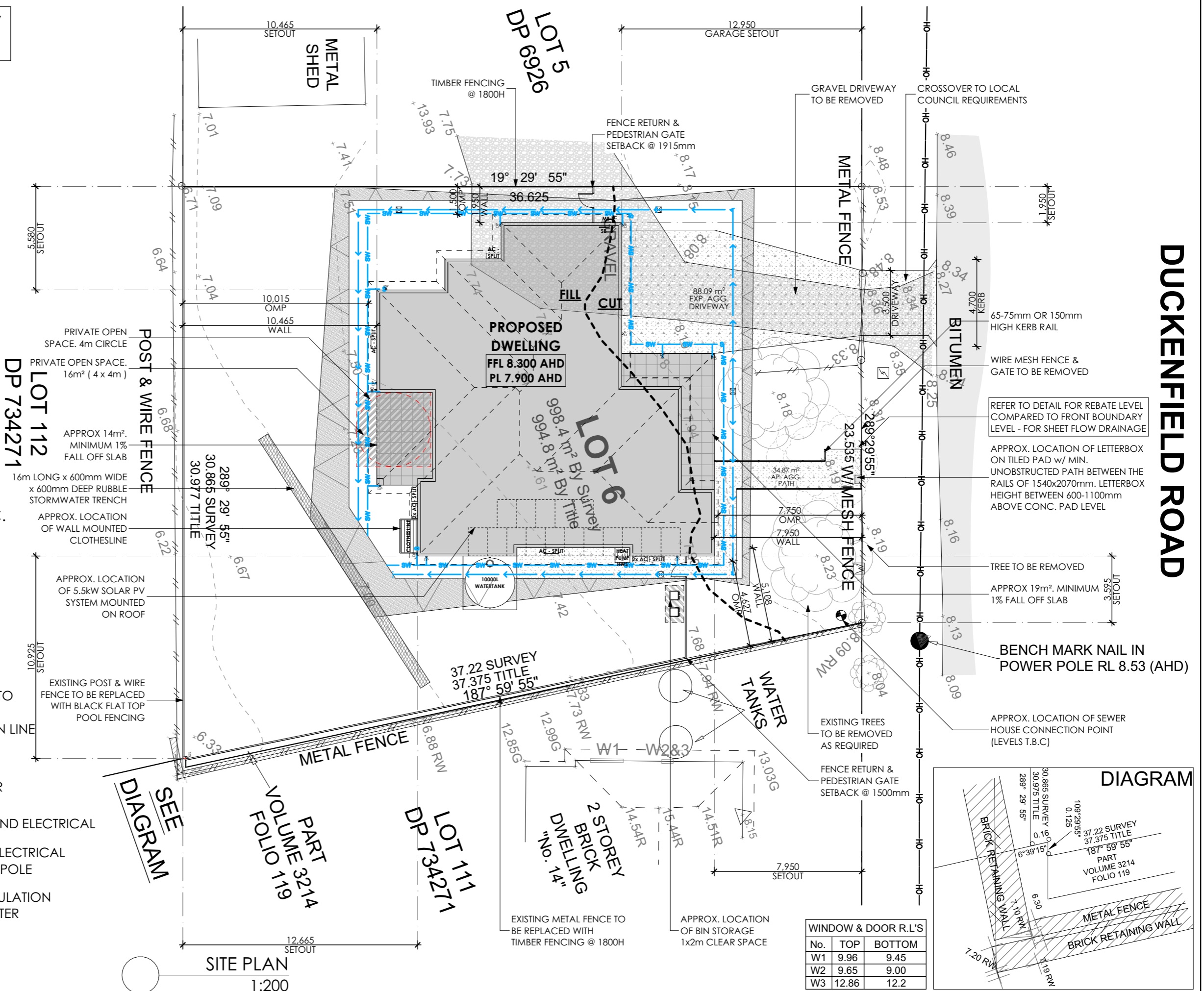
PAD LEVEL (P.L.): 7.900
CUT: 650mm
FILL: 400mm
FINISHED FLOOR LEVEL (F.F.L.): 8.300

SITE NOTES

LOCAL AUTHORITY: MAITLAND C. C.
ON: DP 6926
SITE AREA: 998m²
SITE COVER: 26.24%
WIND CLASS: TBC
SOIL CLASS: TBC
BAL RATING: NIL
ACOUSTICS: NIL

SERVICES LEGEND:

- YARD GULLY
- FIELD GULLY TO RAINWATER CONNECTION LINE
- SEWER
- STORMWATER
- UNDERGROUND ELECTRICAL
- OVERHEAD ELECTRICAL AND POWER POLE
- WATER RETICULATION LINE AND METER
- GAS
- TELSTRA



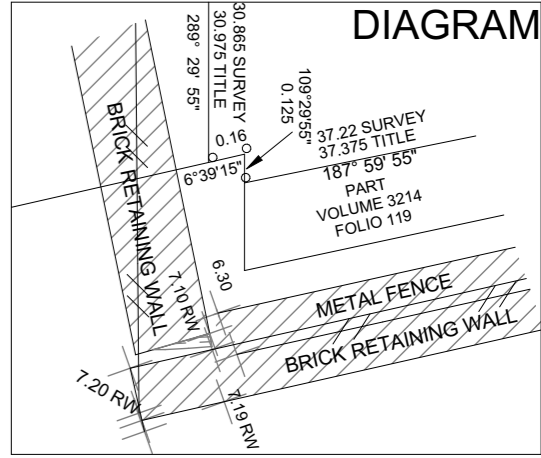
REFER TO DETAIL FOR REBATE LEVEL COMPARED TO FRONT BOUNDARY LEVEL - FOR SHEET FLOW DRAINAGE

APPROX. LOCATION OF LETTERBOX ON TILED PAD w/ MIN. UNOBSTRUCTED PATH BETWEEN THE RAILS OF 1540x2070mm. LETTERBOX HEIGHT BETWEEN 600-1100mm ABOVE CONC. PAD LEVEL

TREE TO BE REMOVED
APPROX 19m². MINIMUM 1% FALL OFF SLAB

BENCH MARK NAIL IN POWER POLE RL 8.53 (AHD)

APPROX. LOCATION OF SEWER HOUSE CONNECTION POINT (LEVELS T.B.C)



WINDOW & DOOR R.L'S		
No.	TOP	BOTTOM
W1	9.96	9.45
W2	9.65	9.00
W3	12.86	12.2

SITE PLAN
1:200

silkwood HOMES
TELEPHONE 0756448644
WEBSITE: www.silkwoodhomes.com.au
QLD LICENSE #: 1218048 ABN 65767966
NSW LICENSE #: 248052C ABN 14156406352
UNIT 4/13 INDY COURT
NERANG, QLD 4211 AUSTRALIA

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I/ WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
SIGNATURE _____ DATE _____
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CLIENT: TBC
AT: LOT 6, DUCKENFIELD ROAD,
MORPETH, NSW 2321

Facade: METRO
Design Name: MANUKA 252 (MOD)

Title: SITE PLAN
Page: 2 OF 26

Issue: H
Scale: AS SHOWN
Plot Date: 27/06/2023
Wind Rating: TBC
Drawn By: WM
Checked By: MB

DUCKENFIELD ROAD

NOTES:

EAVES: 450mm UNLESS NOTED OTHERWISE
 WIND CLASS: TBC
 SOIL CLASS: TBC
 ROOF PITCH: 25°
 BAL RATING: **NIL**
 ACOUSTICS: NIL

CLADDING KEY:

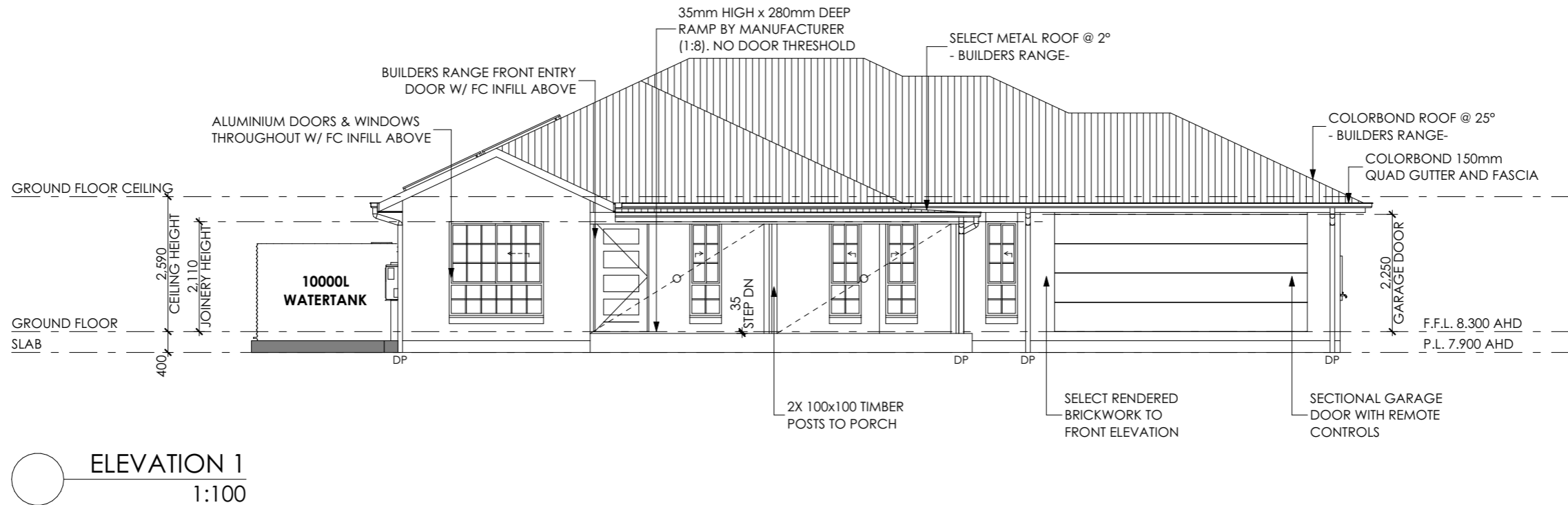
4.5mm SOFFIT
 6mm FC SHEET
 8.5mm EASYLAP
 9mm AXON
 8mm MATRIX
 7.5mm BLUE BOARD
 9mm PRIMELINE

MASONRY CONTROL JOINTS

-WHERE ARTICULATION IS BESIDE A WINDOW, IT MUST EXTEND FROM THE DAMP-PROOF COURSE, ALONG THE EDGE OF WINDOW TO THE TOP OF THE BRICKWORK OR SOFFIT
 -JOINTS MUST HAVE A WIDTH OF AT LEAST 10mm AND MUST BE ADEQUATELY WEATHERPROOFED

NOTES:

-PROVIDE MIN 3 No. STUDS TO SIDES OF DOOR/WINDOW OPENINGS TO SUIT LIGHT WEIGHT CLADDING FIXING
 -NOTE: PROVIDE 68x31 TIMBER STOPS TO ALL CORNERS TO SUIT FINISHING OF WEATHERBOARDS.
 -42x42 SURROUNDS TO ALL WINDOWS IN LIGHTWEIGHT CLADDING
 -42x42 SURROUNDS TO ALL GLASS SLIDING DOORS IN LIGHTWEIGHT CLADDING
 -BARRIER SCREENS TO ALL SLIDING GLASS DOORS & SLIDING GLASS WINDOWS ONLY



ELEVATION 1
 1:100

NOTES:

- TIMBER ROOF TRUSSES AND WALL FRAMES TO MANUFACTURERS SPECIFICATIONS
 - GLAZING TO WINDOWS/DOORS TO AS1288 - 2006
 - ALL WINDOWS TO COMPLY WITH BCA CLAUSE 3.9.2.5
 - LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288 - 2006
 - EXPANSION JOINTS TO BRICKWORK IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS



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CLIENT: **TBC**
 AT: **LOT 6, DUCKENFIELD ROAD,**
MORPETH, NSW 2321

Facade: **METRO**
 Design Name: **MANUKA 252 (MOD)**

Title: **ELEVATION 1**
 Page: **6 OF 26**

Issue: **H**
 Scale: **AS SHOWN**
 Plot Date: **27/06/2023**
 Wind Rating: **TBC**
 Drawn By: **WM**
 Checked By: **MB**



Attachment 2 – Compliance with Development Standards

Development Standards	Proposal	Compliance
<p>The development conforms to the specifications and requirements of the following that are relevant to the development:</p> <ol style="list-style-type: none"> 1. PBP 2019; and 2. If another document is prescribed by the regulations for the purposes of Section 79BA of the EP&A Act – that document. 	<p>The proposal complies with the relevant Bush Fire Protection Measures as outlined in PBP and the proposed development has been assessed as BAL-LOW</p>	<p>The proposed development has been assessed as BAL-LOW</p>
<p>The part of the lot on which the development is to be carried out is not in bushfire attack level-40 (BAL-40) or the flame zone (BAL-FZ); and</p>	<p>The proposal does not occur on land that has been assessed as BAL-40 and BAL-FZ.</p>	<p>Complies</p>
<p>The lot has direct access to a public road or a road vested in or maintained by the council; and</p>	<p>The lot has direct access to the Public Road</p>	<p>Complies</p>
<p>A reticulated water supply is connected to the lot; and</p>	<p>The site is connected to reticulated water.</p>	<p>Complies</p>
<p>A fire hydrant is located less than 70m from the location of the lot of the proposed development; and</p>	<p>A fire hydrant occurs within 70m of the lot</p>	<p>Complies</p>
<p>A 10,000L water supply with 65mm metal Storz outlet with a gate or ball valve is provided for fire fighting purposes on the lot (the gate or ball valve, pipes and tank penetrations are to be designed to allow for a full 50mm inner diameter water flow through the Storz fitting and must be of a metal construction)</p>	<p>N/A</p>	<p>N/A</p>
<p>Mains electricity is connected to the lot; and</p>	<p>The site is connected to electricity</p>	<p>Complies</p>
<p>Reticulated or bottled gas on the lot is installed and maintained in accordance with AS/NZS 1596:2008 The storage and handling of LP Gas and the</p>	<p>Can Comply</p>	<p>Can comply</p>

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Development Standards	Proposal	Compliance
requirements of relevant authorities (metal piping must be used); and		
Any gas cylinders on the lot that are within 10m of the dwelling house; <ul style="list-style-type: none"> i. Have the release valves directed away from the dwelling house; and ii. Are enclosed on the hazard side of the installation; and iii. Have metal connections to and from the cylinders; and iv. There are no polymer sheathed flexible gas supply lines to gas metres adjacent to the dwelling 	Can comply	Can comply
The requirements of AS3959-2018 set out in the BCA also apply	Assessment in accordance with AS3959-2018 and PBP 2019 has concluded that the proposed development has been assessed as BAL-LOW	The proposed development has been assessed as BAL-LOW

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Attachment 3 – Site Photos



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