



# Social Impact Assessment

Farley Lifestyle Community

283 and 303 Wollombi Road, Farley NSW

31 August 2023

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# 1 Introduction

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## 1.1 Overview

AAP Consulting Pty Ltd has been engaged by Vivacity to prepare a Social Impact Assessment (SIA) for a Development Application (DA) lodgement with Maitland City Council for a Manufactured Housing Estate (MHE) along Wollombi Road, Farley (the Proposal).

Manufactured housing estates are sometimes referred to as lifestyle estates or land lease communities. Across the Australian market manufactured housing estates are typically marketed towards the 55+ age group and are seen as an alternative to retirement living. Residents typically own their physical home but ‘rent’ the land across these estates.

The Proposal is composed of:

- Approximately 254 home sites and amenities, including indoor and outdoor pools, a bowling green and open spaces
- A clubhouse which includes a library, lounge and dining rooms, and a consultation room for hairdressing/gp visits, etc.
- Retaining approximately 50% of the site as open space/retained vegetation
- The front setback and main entry will be embellished with additional landscaping.
- Site access from Wollombi Road

This report presents an analysis and assessment of the social context of the Proposal. The SIA has been prepared with reference to industry-leading practice, including the NSW Department of Planning and Environment (DPE) Social Impact Assessment Guideline (DPE, 2023) and in response to City of Maitland Council Development Control Plan (MCC, 2011).

## 1.2 Objectives of the social impact assessment

Social impact assessment is the process of understanding and managing the social impact of projects and programs on people. This SIA will provide a framework to identify, predict, and evaluate likely social impacts on people and propose considered responses to those impacts. The objectives adopted for this social impact assessment include the following:

- Providing a clear and consistent framework for identifying, predicting, evaluating, and responding to the social impacts as part of the overall assessment process
- Promoting better development outcomes through a focus on enhancing positive social impacts and minimising negative social impacts
- Supporting informed decision-making by strengthening the quality and relevance of information and analysis provided to the consent authority

- Ensuring that the social impacts of approved projects are managed transparently and with accountability over the Proposal's life cycle through conditions of consent, monitoring, and reporting requirements.

The report draws on a variety of publicly available secondary source material. This data is drawn from government or other public agency sources where possible. In addition to these secondary materials, primary information from a community consultation process is also presented to identify issues of interest to the local community regarding the Proposal. Consultation is recognised as an essential element of these reports and as an input to Council's decision-making processes.

This SIA has been prepared by a suitably qualified author with reference to industry-leading practice.

### 1.3 Structure of this SIA

The structure of this technical paper is influenced by the SIA Guideline requirements and is outlined below.

**Table 1.1 Structure of this technical paper**

Chapter	Description
Chapter 1	Introduces the development proposal and structure of this report
Chapter 2	Describes the social locality and baseline
Chapter 3	Describes and assesses the development Proposal's expected and perceived potential social impacts, including mitigation and enhancement
Chapter 4	Concludes assessment

## 2 Social context: social locality and baseline

### 2.1 Regional and strategic planning context

#### 2.1.1 Site context

The SIA addresses the requirements of section 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979* (EP&A Act, 1979) and the City of Maitland Council Development Control Plan (MCC, 2011).

The proposal site is located at 283 and 303 Wollombi Road, Farley, which falls within Maitland City Council Local Government Area (LGA). The site has frontage to Wollombi Road along its northern boundary. The site currently has land use classifications as RU2 Rural Landscape and R1 General Residential. It is noted that the subject site is identified as an extension to the Farley Urban Release Area. A full description of the site context is available in the Statement of Environmental Effects (SEE) (Perception Planning, August 2023).

The surrounding land uses predominantly comprise undeveloped land parcels, including the southern and western boundary of the site. Wollombi Road is directly north of the site and a future residential subdivision at 292 Wollombi Road, Ravensfield Estate, which is under construction, is located directly east of the site. A future residential development will be located directly north and south of the Ravensfield Estate.

The site is currently occupied by a single dwelling with no rural agricultural activities undertaken at the site.

#### 2.1.2 Community plans and strategies

A review of local and regional community plans has been undertaken to identify community values and aspirations in the social locality. Community strategic plans are overarching Council policy documents prepared based on extensive community engagement and provide valuable insights into issues important to communities.

**Table 2.1 Plans and strategies**

Plan or Strategy	Relevance
Hunter Regional Plan 2041	<ul style="list-style-type: none"> <li>The Hunter Regional Plan 2041 is the overarching strategic planning framework for the region, published by the DPE (DPE, 2022.). The Hunter region comprises ten local government areas (LGAs), including Port Stephens, Newcastle, Lake Macquarie, Cessnock, Maitland, Dungog, Mid-coast, Singleton, Muswellbrook and the Upper Hunter. The Hunter Regional Plan 2041 has nine objectives, one of which is 'Plan for 'nimble neighbourhoods', diverse housing and sequenced developments' (Objective 5, page 53).</li> <li>This proposal directly supports this objective by increasing housing diversity through the provision of smaller, more affordable housing in the Maitland LGA, where</li> </ul>

Plan or Strategy	Relevance
	<p>approximately 85% of dwellings have three or more bedrooms (MCC, 2023). The sites associated with the Proposal are all two-bedroom homes.</p> <ul style="list-style-type: none"> <li>• The need for housing that meets the needs of senior residents is particularly important in the context of Maitland’s aging population, with the number of residents aged 65 and over expected to increase by 110% from 2021 to 2041 (MCC, 2023).</li> <li>• This proposal also aligns closely with two strategies which are identified for meeting Objective 5 in the Hunter Regional Plan 2041: that local strategic planning should consider ‘opportunities to support community driven innovative housing solutions, such as prefabricated and manufactured housing’ (Strategy 5.4, page 58), as well as ‘opportunities to work with affordable housing providers and identify sites that may be suitable for supported and specialist accommodation’, including housing for senior residents (Strategy 5.6, page 60).</li> </ul>
Maitland +10 Community Strategic Plan	<ul style="list-style-type: none"> <li>• Maitland +10: Together, we make Maitland (MCC, 2022) sets the priorities of the community of Maitland between 2023 and 2033 and beyond and is informed by broad community consultation across the LGA.</li> <li>• The second theme of the Plan is ‘Let’s create opportunities’. Within this theme is Objective 2, ‘To afford the house we want in the neighbourhood we like’ and the strategic direction of being able to ‘Access different housing options in new and old suburbs, villages and townships.’ (MCC, 2022) This Proposal will help to achieve this vision by providing affordable, low-maintenance housing that is suitable for residents that are seeking to downsize and allows people to live independently in their local area as they get older.</li> <li>• There is a demonstrated need in the Maitland LGA for more housing options that are suitable for senior residents, which is predicted to increase as the population ages (MCC, 2023).</li> </ul>
Maitland Local Housing Strategy 2041	<ul style="list-style-type: none"> <li>• The Maitland Local Housing Strategy 2041 (MCC, 2023) sets out a framework to guide future growth and change of residential areas in the Maitland LGA over the next 20 years. The Strategy was adopted by Council on 27 June 2023.</li> <li>• Planning Principle 02 (Diversity) is to ‘Provide greater housing choice by encouraging a range of different housing types, sizes and tenures in appropriate locations’ (page 56). It acknowledges that MHEs provide a type of housing which can be more affordable than traditional dwellings and are becoming a more popular housing product due to technology advancements and improvements to building and construction techniques to meet changing housing needs (MCC, 2023).</li> <li>• The Local Housing Strategy also notes that currently, the Maitland DCP has no specific controls for MHEs. Therefore, an opportunity exists to develop appropriate controls to improve the siting and design outcomes of MHEs, including good building design, local character, landscaping, setbacks, parking etc. Notwithstanding this, it is understood that Vivacity has sought to address these principles through the master planning.</li> </ul>

## 2.2 Social locality

An investigation into the social locality has been undertaken to inform this assessment. As per the SIA Guideline (DPE, 2021), there is no prescribed meaning or fixed, predefined geographic boundary to a social locality; rather, each project's social locality is determined depending on its nature and impact.



Defining the social locality begins with an understanding of the nature of the Proposal, the characteristics of affected communities and how positive and negative impacts may be reasonably perceived or experienced by different people within the community.

Social impacts in and beyond the Proposal's site boundary, both positive and negative, may also be considered during approval processes in terms of public interest and the site's suitability for the Proposal.

This proposal has a relatively focused social locality and has been determined based on consideration of:

- The nature and scale of the Proposal and its associated activities
- The characteristics of surrounding communities and how positive and negative impacts may be reasonably perceived or experienced by different people, including those vulnerable or marginalised
- The potentially affected built or natural features near the Proposal that have social value or importance.

Based on the above, this assessment has considered the following social locality:

- **Primary Study Area (PSA) 'Nearby neighbours'**. For this SIA a PSA has been defined as those people living within, next to or adjacent to the Proposal. This is identified as the geographic area in which communities are most likely to experience social impacts from the Proposal.
- **Secondary Study Area (SSA) 'Community'**. The 'area of social influence' for the purpose of this SIA is extended to reflect likely social impacts on a broader community. In this case, the indirect area of influence includes the Maitland LGA.

The unit of analysis for the local context is the locality of Farley (ABS Code 11493) and the Maitland LGA (ABS Code 15050). These areas are considered most reflective of the proximal community and residents/landholders surrounding the Proposal area.

## 2.1 Social baseline

This section describes the social context without the Proposal. It documents the existing social environment, conditions, and trends relevant to the Proposal and defines characteristics of the communities within the Proposal's social locality, including any vulnerable groups. The social baseline provides a point of comparison – it can be used as a reference against which to measure the Proposal's impacts as it develops and/or to determine the adequacy of existing facilities (Vanclay, 2015).

It considers any built or natural features on or near the Proposal that could be affected and the intangible values that people may associate with these features. Examples may include a sense of place or belonging and the relevant social, cultural, demographic trends or social change processes occurring now or in the past, near the Proposal and in the broader region.

To this assessment, a summary of the social baseline is provided as an overview of the existing environment in the following sections. A community snapshot is shown in Table 2.2.

**Table 2.2 A community snapshot for Farley, the Maitland LGA, and NSW (ABS, 2021).**

Indicator	Farley	Maitland LGA	NSW
Population	605	90,226	8,072,163
Male	50.2%	48.%	49.4%
Female	49.8%	51.3%	50.6%
Median age (years)	30	36	39
Aboriginal	8.6%	7.5%	3.4%
Families	165	25,244	2,135,964
Average children per family with children	1.8	1.9	1.8
Average people per household	2.6	2.7	2.6
Median weekly household income	\$2,015	\$1,766	\$1,829
Median monthly mortgage repayments	\$2,167	\$1,829	\$2,167

### 2.1.1 Local context: Farley

Farley is a small rural town with a population that is rapidly expanding due to recent housing developments in the area, including the Ravensfield Estate located close to the Proposal site. The area has a mix of young families and middle-aged adults, with only 59 people (9.7% of the population) over the age of 65 (ABS, 2021).

Housing in Farley typically comprises detached houses, rural properties and some smaller residential developments that include semi-detached or townhouses. The area is located on the fringe of Rutherford and Telarah, in the heart of the Hunter region and is surrounded by community infrastructure, including Rutherford Marketplace and Maitland’s Central Business District hub (Riverside Plaza). It is also close to other medical services, including G.P.s, physiotherapists, dentists, and the new Maitland Hospital (Table 2.3).

Farley is serviced by various modes of public transport, including Hunter Valley Buses 183 bus route, which has a stop approximately 1.5 m west of the Proposal site. However, there are no continuous footpaths between the Proposal site and the bus stop. Lochinvar Train Station is located approximately 6 km west of the Proposal site. The New England Highway is also 4 km to the west, and access to the Hunter Expressway is within 17 km. Newcastle Airport is also accessible, located approximately 43 km southeast.

**Table 2.3 Nearby community services and infrastructure**

Community Services	Name	Distance (km)
Shopping Centres	Rutherford Marketplace	3.9
	Pender Place Shopping Centre Maitland	7.1
	Riverside Plaza Maitland	7.5

Community Services	Name	Distance (km)
	Stockland Green Hills Shopping Centre	12.8
Doctors	Rutherford Family Medical Practice	3.9
	Rutherford North Medical Centre	4.3
	Maitland Heritage Health	5.5
	Aberglasslyn Medical Centre	7.0
	Central Maitland Medical Centre	7.4
	Kurri Kurri Family Medical Centre	9.7
Medical Diagnostic Imaging Centres	Hunter Imaging Group	4.5
	PRP Diagnostic Imaging Maitland	8.5
	Alto Imaging	11.5
Physiotherapists	Peak Physio (Rutherford Physiotherapy)	4.1
	East Maitland Physiotherapy	8.5
Dentists	Rutherford Dental	3.6
	Pacific Smiles Dental Rutherford	4.1
	Central Maitland Dentistry	7.4
	Maitland Dental Care	7.8
Hospitals	Maitland Hospital	13.7
	Cessnock District Hospital	25.6

Of those over the age of 15, 67% are in the labour participation workforce. The top five primary occupations are diverse (Table 2.4). This is likely due to Farley's location in relation to the Hunter Valley Mining area and the larger urban centres of Rutherford, Maitland, Cessnock and Newcastle, providing a wide range of employment opportunities.

**Table 2.4 Primary occupation of employment for Farley**

Primary Occupation	Workforce (%)
Coal Mining	6.7
Hospitals (except Psychiatric Hospitals)	4.0
Computer System Design and Related Services	3.4
Other Social Assistance Services	2.7
Supermarkets and Grocery Stores	2.4

Table source: ABS Quickstats 2021 (<https://www.abs.gov.au/census/find-census-data/quickstats/2021/SAL11493>)

### 2.1.2 Regional context: Maitland Local Government Area

The Proposal sits within the Maitland LGA in the Lower Hunter Region of New South Wales, in the traditional lands of the Wonnarua people. The LGA hosts a range of rural and residential areas and has a long history of coal mining, manufacturing, construction, and agriculture (e.g., grazing and poultry), all of which are primary employment sectors. The estimated resident population size of the Maitland LGA is 90,553 people (REMPPLAN, 2023).

For many years Maitland has consistently experienced rapid growth in population size and significant investment. Figures from the 2022/23 financial year show Maitland as the fastest-growing regional area in New South Wales<sup>1</sup>.

Maitland's gross regional product (GRP) is estimated at \$5.830 billion, which represents 0.9% of New South Wales's gross state product (GSP) of \$643.145 billion (REMPPLAN, 2023). Of those participating in the labour force, 57% work full-time and 31.4% part-time. An analysis of the jobs held by the local workers in Maitland City (ABS, 2021) shows the three most popular industry sectors as follows:

- Coal mining (2,191 people or 5.1% of the population)
- Other social assistance services (912 people or 3.4% of the population)
- Hospitals (except psychiatric hospitals) (1,701 people or 3.9% of the population)

In comparison, NSW employed 0.6% of the population in coal mining, 2.4% in other social assistance services and 4.2% in hospitals (except psychiatric hospitals).

The Maitland LGA is predominately on the land of the Wonnarua Nation. Within its boundaries are many significant Aboriginal sites that provide important information about their relationship and special connection with the lands. Today, the Wonnarua Nation culture is preserved through the work of numerous individuals and by the Mindaribba Local Aboriginal Land Council. Maitland City Council works to foster a strong relationship with its First Nations people through its Aboriginal and Torres Strait Islander Reference Group. In 2021 approximately 7.5 % of the population in Maitland was Aboriginal and/or Torres Strait Islander, compared to 3.4% of the NSW population (ABS, 2021).

Social ties between people were lower compared to NSW, with 11.1% of the Maitland LGA population participating in voluntary work through a community or organisation, compared to 13.0% in NSW. Mobility rates were stable – with over half of the population having lived in the area for at least five years (ABS, 2021).

In terms of transport, it is anticipated that connectivity to the new Western Sydney International Airport, and the expansion of Newcastle Airport, will drive innovative economic opportunities and increase visitors to the region. The Hunter Expressway also provides a direct route through the LGA between Maitland, the Hunter Valley and Newcastle.

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<sup>1</sup> Source: <https://www.maitland.nsw.gov.au/news/rapid-growth-cements-maitlands-status-as-the-states-housing-hotbed>

Crime considerations are also an important baseline indicator when considering the potential impacts of a proposal on people. Data from the NSW Bureau of Crime Statistics and Research (BOSCAR, 2022) indicates that crime is relatively stable within the Maitland LGA, and many crimes are declining. Break-and-enter and theft from motor vehicles were down 18.1% and 21.1%, respectively, over the past two years. Other crimes, such as drug offences and antisocial behaviour offences (such as trespass and offensive conduct), remained stable or decreased over two years. The only exception is sexual assault which has risen by 12.9% over the last five years.

This assessment has also reviewed the socio-economic indexes for areas (SEIFA): a suite of indexes created by the ABS from social and economic census information. Specifically, this assessment looks at the Index of relative socio-economic disadvantage (IRSD), a general socio-economic index that summarises a range of information about the economic and social conditions of people and households within an area. The SEIFA score for Maitland in 2021 was 983, which is at the middle to lower end of the scale and is derived from attributes such as low income, low educational attainment, high unemployment, jobs in relatively unskilled occupations and variables that broadly reflect disadvantage rather than measure specific aspects of disadvantage (e.g., Indigenous and being separated or divorced). At the advantaged end of the scale, households with high incomes, high education levels, large dwellings, high numbers of motor vehicles, spare bedrooms and professional occupations contribute to a higher score.

### 2.1.3 Housing and age structures in Maitland LGA

As previously noted, Maitland is one of Australia's fastest-growing inland cities, with a population of 93,500 residents in 2021 and forecast to grow to over 144,550 by 2041 (DPE, 2022). There will be a need for an additional 25,200 new dwellings to house the growing population, which equates to an average of approximately 1,260 new dwellings per year (MCC, 2023).

The age structure is also expected to change over this time, with the number of residents aged 65 and over increasing from 13,500 in 2021 to 28,300, which is a 110% increase (DPE, 2022). The ageing population will have different housing requirements to families with children, which represent 45% of total households and are currently the dominant household structure in Maitland (ABS, 2021). This will increase the demand over time for smaller dwellings that are affordable, accessible and more manageable to allow people to live independently as they get older (DPE, 2022). Built-to-rent housing owned corporately is recognised in the Hunter Regional Plan 2041 as a housing option that may be suitable for seniors or anyone seeking to downsize without leaving their area (DPE, 2022).

There is an identified need for more diverse housing in Maitland, where approximately 85% of the total dwellings have three or more bedrooms currently, despite 49% of all households consisting of lone and two persons households (MCC, 2023). The limited supply of smaller dwellings can drive households to pay for dwellings that are larger than needed, which in turn will contribute to affordability issues.

In addition, the NSW Regional Housing Need Report 2021 released by Shelter NSW identified Maitland as having one of the highest proportion of households with mortgage stress in NSW (Regional Australia Institute, 2021). Over 68% of low-income households were found to be spending more than 30% of their income on mortgage payments, which has implications on a household's

consumption expenditure, personal well-being and financial security (Regional Australia Institute, 2021).

The Local Housing Strategy 2041 acknowledges that recent residential growth has been characterised by the development of low-density detached dwellings, which has contributed to limited housing diversity in Maitland (MCC, 2023). It highlights that this is an issue for residents ageing in place and small households or individuals looking for smaller and more affordable housing product in the market. The provision of higher-density housing options is required to meet the needs of this growing group of residents. This Proposal supports that need while maintaining a significant portion of green space and nature reserve area.

## 3 Engagement and design refinements

### 3.1 Community engagement

Community and stakeholder engagement to inform this assessment was undertaken between July and August 2023. A targeted approach to engagement was adopted to ensure that the concerns and insights of those most directly impacted by the Proposal – those living nearest, were captured (Figure 3.1).

Both Vivacity Property and AAP Consulting carried out the engagement to ensure more personalised and direct interactions with those living closest to the Proposal to focus on key areas of concern or impact.

Vivacity Property has had ongoing discussions with neighbours to identify and mitigate areas of concern. As demonstrated in Table 3.1, this ongoing engagement has resulted in changes to the design and project refinements.

#### 3.1.1 Project refinements during engagement

An important aspect of early engagement is the potential for feedback to lead to design refinements and changes to minimise or remove social impacts. Design refinements (Table 3.2) were implemented by Vivacity Property following targeted engagement with nearby neighbours.

**Table 3.1 Design refinements**

Refinement	Description
Landscape design	<ul style="list-style-type: none"> <li>Following engagement with the adjoining landowner, an additional buffer area to the caravan storage area was added to the design and included landscaping to the boundary shared with 319 Wollombi Road.</li> </ul>
Fencing along Wollombi Road	<ul style="list-style-type: none"> <li>During engagement with the neighbours living on Wollombi Road, opposite to the frontage of the Proposal, neighbours suggested that the design included a post and rail fence along the existing property boundary to promote the rural characteristics of the area. As a direct result of this suggestion, the fencing design was updated.</li> </ul>
Project staging	<ul style="list-style-type: none"> <li>Following discussions with the adjoining landowner, the proposed staging was modified to mitigate construction impacts and visual impacts early. This includes:               <ul style="list-style-type: none"> <li>Staged construction from the main entry to the east and then to the west.</li> <li>Construction of the front fence and landscape buffer in the first stage of work to mitigate any visual/ construction impacts and to establish the landscaping early.</li> </ul> </li> </ul>

Refinement	Description
	<ul style="list-style-type: none"> <li>Vivacity is also committed to providing other opportunities to work with the neighbours during the detailed design stage, including plant species selection, type of estate lighting, etc.</li> </ul>
Access to the Proposal from Wollombi Road	<ul style="list-style-type: none"> <li>Following feedback and follow-up discussions with nearby neighbours, the access arrangements for the Proposal were modified to ensure existing accesses to resident driveways from Wollombi Road are maintained.</li> </ul>

**Table 3.2 Targeted engagement opportunities**

Engagement tool	Purpose	Description	Audience
Doorknock	Inform and consult	On 18 <sup>th</sup> July, representatives from Vivacity Property and AAP Consulting attempted door knocks at the three nearest properties. One property was home during this period and two 'while you were out' notices were subsequently left with the remaining two. Since the initial door knock Vivacity has been engaging directly with these properties, as detailed in the targeted phone calls and meetings below.	Nearest neighbours
Targeted phone calls and meetings (Vivacity Property)	Consulting to collect information and insights	Targeted phone calls, follow up emails and meetings were conducted with eight nearest neighbours, inclusive of the joint landowner to inform them of the project, listen to any concerns and respond to concerns. As demonstrated in Table 3.4, this ongoing engagement has resulted in Vivacity Property responding to concerns raised through changes to the design and project refinements.	Nearest neighbours and joint landowner of proposed site
Targeted phone calls and meetings (AAP Consulting)	Consulting to collect information and insights	Representatives from AAP Consulting also contacted the seven nearest neighbours inclusive of the joint landowner to further understand potential impacts on people to further inform the SIA. This helped to ensure that the impacts on people were understood in the context of social impacts through more impartial data collection methods.	Nearest neighbours and joint landowner of proposed site
Contact phone number and email	Sharing information	The nearest neighbours were provided a direct line to the proponent for information requests via email or phone.	Nearest neighbours
Site visit and observations	Observation	To help inform this assessment, AAP Consulting conducted site visits on the 18 <sup>th</sup> July and undertook some observational analysis of human behaviours in the area.	People visiting or living in the social locality



### 3.1.2 Engagement outcomes

Feedback collected from the engagement varied and assisted with increasing the understanding of the potential impacts of the project on those people most likely to be affected and potential mitigation and management measures.

Some of those participating in the targeted engagement provided positive feedback, including:

- Support of the land use as a proposed MHE, as opposed to the continued urbanisation of housing subdivisions, noting that several residential subdivision developments were either being built or had been approved, gradually surrounding the site.
- More support for the Proposal than the residential subdivision, noting that onsite facilities were superior and the landscaping design more conducive to maintaining the rural characteristics of the area.
- The location of the site in terms of community services, making it good for retirement.
- The proposed retention of vegetation and over 50% of the site as open space and nature areas.

For those that raised concerns, these included:

- Negative impressions and associated the site with a ‘caravan park’.
- Traffic safety concerns due to the increased movements associated with the Proposal.
- Changes to surroundings, including the rural outlooks and existing views.
- Onsite waste management (sewerage).



Figure 3.1 Targeted engagement catchment

## 4 Assessment and prediction of social impacts

### 4.1 Overview of assessment and prediction of social impacts

This chapter assesses the likely social impacts arising from the Proposal. The assessment of likely positive and negative social impacts has been informed by feedback from the community during consultation, research and analysis of the areas surrounding the Proposal and extensive desktop review of available documents.

To assess the potential impacts, a risk assessment was carried out to determine the overall significance rating of the likely social impact. In lieu of a mechanism for rating the significance of social impacts in the DCP, the impacts have been evaluated with reference to the social impact significance matrix by NSW DPE (Table 4.1), and considering the NSW DPE social impact categories (Table 4.2). A complete explanation of the methods applied in undertaking this assessment and the rating scales used is provided in Appendix A.

This chapter also includes recommended mitigation measures for potentially negative impacts and actions to enhance benefits and realise potential opportunities.

**Table 4.1 DPE Social impact significance matrix**

Likelihood	Magnitude Level				
	Minimal	Minor	Moderate	Major	Transformational
<b>Almost certain</b>	Low	Medium	High	Very High	Very High
<b>Likely</b>	Low	Medium	High	High	Very High
<b>Possible</b>	Low	Medium	Medium	High	High
<b>Unlikely</b>	Low	Low	Medium	Medium	High
<b>Very unlikely</b>	Low	Low	Low	Medium	Medium

**Table 4.2 Social impact categories (DPE, 2021)**

Categories	Definition from the Social Impact Guidelines
Way of life	Including how people live, how they get around, how they work, how they play, and how they interact each day.
Community	Including composition, cohesion, character, how the community functions, and people's sense of place.
Accessibility	Including how people access and use infrastructure, services, and facilities, whether provided by a public, private, or not-for-profit organisation.
Culture	Both Aboriginal and non-Aboriginal, including shared beliefs, customs, values and stories, and connections to Country, land, waterways, places, and buildings.
Health and well-being	Including physical and mental health especially for people vulnerable to social exclusion or substantial change, psychological stress resulting from financial or other pressures, access to open space and effects on public health.
Surroundings	Including ecosystem services such as shade, pollution control, erosion control, public safety and security, access to and use of the natural and built environment, and aesthetic value and amenity.
Livelihoods	Including people's capacity to sustain themselves through employment or business.
Decision-making systems	Including the extent to which people can have a say in decisions that affect their lives and have access to complaint, remedy, and grievance mechanisms.

## 4.2 Social impacts

Table 4.3 outlines the likely social impact to people resulting from the Proposal and how they fall within each of the social impact categories. As per the SIA Guidelines (DPE, 2021), some proposals may impact all the categories listed in Table 4.2, but others may only have a few. The categories of accessibility, surroundings, health and well-being, community, decision-making systems, and way of life have been assessed as applicable to the assessment.

**Table 4.3 Scoped social impacts**

Impact	Description of impact on people	Social impact category	Affected stakeholders
Improved access to affordable housing	The potential for increased access to affordable housing for those seeking to downsize and still live independently in an environment that promotes a community lifestyle for people, including retirees	Accessibility	Future residents
Enhanced health and well-being through social connection and active living	Increased opportunities for social interactions and opportunities for an active lifestyle, leading to improved mental health and well-being outcomes	Health and Well-being	Future residents
Physical changes to the existing surroundings,	Physical changes to the existing environment due to the construction and operations of the Proposal resulting in	Way of life Surroundings	Nearby neighbours (PSA)

Impact	Description of impact on people	Social impact category	Affected stakeholders
including visual amenity	changes to the local streetscape and existing visual landscape for nearby neighbours.		
Changes to the road environment	Potential for the Proposal to change the way road users behave in this locality due to road network and property access changes for nearby neighbours.	Health and Well-being Access	Nearby neighbours (PSA) Road users
Changes to community dynamics and strain on community services and infrastructure	The potential for the presence of a larger population in the locality to strain local services and change the existing community dynamics and composition of the area.	Accessibility Community	Future residents Broader community (SSA) Nearby neighbours (PSA)
Lack of knowledge relating to MHEs	Stereotypes or negative perceptions about manufactured housing and its residents can lead to misunderstandings between neighbours.	Decision-making systems	Nearby neighbours (PSA)
Construction causing amenity disruption for nearby neighbours	Construction related noise causing disruption for nearby neighbours and their day to day lives	Way of life	Nearby Neighbours (PSA)

#### 4.2.1 Improved access to affordable housing

The Proposal includes 254 new home sites under the Land Lease Living model in a Manufactured Home Estate (MHE). In a land lease community, residents own the home but lease the land where the home sits from the community operator. Residents pay rent for the right to occupy the site with a manufactured home or a moveable dwelling (NSW Department of Fair Trading, 2023). It is not a retirement village.

Land lease communities in NSW are governed by the Residential (Land Lease) Communities Act 2013 and are becoming increasingly popular for retirees looking to downsize. A recent report commissioned by the Residential Land Lease Alliance and conducted by advisory firm BDO EconSearch on the economic and social value of Land Lease Communities in Australia concluded that most residents living in MHEs were over 65 years, married and not in the Labour Force (BDO EconSearch, July 2023<sup>2</sup>). However, some residents still work or participate in local volunteering.

Rising housing unaffordability continues to be a driving force for manufactured housing estate demand. A report by JLL published in April 2023, notes that since the onset of COVID-19 new residential supply in Australia has declined in part driven by rising construction costs on the back of

<sup>2</sup> *Economic and Social Contribution of Manufactured Housing Estates in Australia. Prepared by BDO EconSearch (July 2023). The resident characteristics were informed by responses received from 1,754 MHE residents via an online survey between November 2022 and March 2023.*

labour and materials shortages. Rising living costs amidst declines in superannuation balances due to investment market losses in 2022/23 have placed heightened financial pressures on many Australian seniors. In Australia, according to the ARC Centre of Excellence in Population Ageing Research (CEPAR), Australia's largest proportional population growth is expected at the oldest ages. CEPAR's numbers show Australia's population aged 65 and over is projected to grow to 6.66 million by 2041 from an estimated 4.31 million in 2021, an increase of 54%<sup>3</sup>. This will continue to increase housing pressure for older Australians.

Specifically, in relation to the Maitland LGA, and as noted in the social baseline of this SIA:

- Maitland is one of Australia's fastest-growing inland cities, with a population of 93,500 residents in 2021 and forecast to grow to over 144,550 by 2041 (DPE, 2022). There will be a need for an additional 25,200 new dwellings to house the growing population, which equates to an average of approximately 1,260 new dwellings per year (MCC, 2023).
- There is an identified need for more diverse housing in Maitland. Approximately 85% of the total dwellings currently have three or more bedrooms, despite 49% of all households consisting of one or two people (MCC, 2023).
- The NSW Regional Housing Need Report 2021 released by Shelter NSW identifies Maitland as having one of the highest proportion of households with mortgage stress in NSW (Regional Australia Institute, 2021). Over 68% of low-income households were determined to be spending more than 30% of their income on mortgage payments, which affects a household's consumption expenditure, personal well-being and financial security (Regional Australia Institute, 2021).
- The Local Housing Strategy 2041 acknowledges that recent residential growth has been characterised by the development of low-density detached dwellings, contributing to limited housing diversity in Maitland (MCC, 2023).

The affordability of living in an MHE is further enhanced by access to Government support. In NSW, generally, if a resident owns their home, even in a retirement community, they are not eligible to receive Commonwealth Rent Assistance. However, this does not apply if they own a mobile or relocatable home. This means that future residents of the Proposal may be able to receive payments to go towards site or lease fees while still owning their home in the MHE. In addition, residents living in MHEs do not have to pay any land taxes or council rates.<sup>4</sup>

This Proposal will provide higher-density housing options required to meet the needs of this growing group of residents. It will help support the projected increase by providing additional housing supply suited towards retirees looking for a different style of independent living by providing an additional 254 homesites. For this Proposal, the site area for each moveable dwelling will be between 250 m<sup>2</sup> to 300 m<sup>2</sup>, with all dwellings in the form of two-bedroom, two-bathroom homes with a single or double

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<sup>3</sup>Australian Financial Review, accessed 10 August 2023 via <https://www.afr.com/life-and-luxury/health-and-wellness/retirees-demand-stylish-community-lifestyle-20230712-p5dnsk>.

<sup>4</sup>Aged Care Guide, accessed 18 August via <https://www.agedcareguide.com.au/information/pros-and-cons-of-moving-into-a-manufactured-home-estate>

garage. Given the proposed design and the identified need for more diverse housing options in the Maitland LGA, combined with the ageing population, the assessment has found that it is almost certain that this proposal will improve access to affordable housing options for those people looking to downsize while continuing to live independently, including retirees.

#### 4.2.2 Enhanced health and well-being through social connection and active living

In terms of opportunities for social interactions, research to inform this assessment found that many land lease communities in NSW emphasise a particular lifestyle, often catering to retirees or individuals seeking a low-maintenance and community-oriented living environment. They often provide various amenities and shared facilities for residents that can help to foster a sense of community and provide opportunities for social interaction.

The Proposal will include amenities such as an indoor pool, gym, clubhouse, pickle ball court, covered bowling green and an outdoor pool. The provision of green space is also an important design consideration given linkages to health and well-being.

This type of community living is evidenced by the existing Vivacity community at Tallowood, Port Stephens and Stratford Gardens in Tahmoor. The amenities at Tallowood include a Country Club with a 20 m indoor pool, gym, sauna, cinema room, library, private dining room, bar, games room, tennis and pickle ball court, covered bowling green and outdoor pool. Similarly, Stratford Gardens offers a range of amenities, including a Country Club featuring a dining room, library, games and cinema room, indoor swimming pool and gym. Stratford Gardens also retained the heritage Stratford House and gardens within the community and extensive open spaces.



Figure 4.1 Streetscape from Tallowood, Medowie



Figure 4.2 The retained heritage house and gardens at Stratford Gardens



Figure 4.3 Communal meetings space, Stratford Gardens

The reporting by BDO EconSearch supports the notion that an MHE may enable residents to overcome isolation and provide them with a sense of belonging. It refers to the possibility that they can “foster an environment where social relationships can develop, where people feel that they can access help if they need it and where their homes are secure under the watch of neighbours if owners are away” (Bunce and Reid, 2021). This sense of community may contribute to reducing poor mental health risk factors such as social isolation and loneliness and could provide the protective factor of high-quality social relationships, strong social networks and social support. The flow-on benefits include improved mental health outcomes for residents living in MHEs (Olesen and Berry, 2011).

In terms of green and open spaces, both Vivacity communities mentioned above, retained over 50% of the site area and continue to be managed by the operator. As noted in the Agricultural Land Use and Impact Study for the Proposal (Peritus Ag Advisory, 2023), the Proposal will also maintain a significant portion of green space and nature reserve area and a fully treed area. The current combined parcel of land is 32.796 ha in size, with 29.5 ha currently available for grazing cattle. After the completion of the development, the available land that is fully treed and available for grazing animals will be 11.8 ha, and the greenspace and nature reserve area will be 5 ha in size, with a total combined area of 16.8 ha, or 51% of the site. The Proposal would be enhanced by including designated walking tracks in the green space, and the operator will also look at keeping animals such as horses on the site.

Green space has immense health benefits, particularly for older people. Research has found that regular physical activity in green spaces considerably reduces health risks related to cardiovascular disease, respiratory problems, high blood pressure, paralysis, diabetes and other chronic diseases. It also facilitates social interactions and promotes the sense of community among residents, which is very important for the health and well-being of people, especially for older people, because they predominantly suffer from the social isolation problem (Ali et al., 2022). By retaining green space, incorporating walking tracks into the estate’s design and other opportunities to participate in outdoor activities, it is likely that the Proposal will support an active lifestyle for its future residents, promoting residents’ well-being and health as well as providing another opportunity that encourages social interaction, resulting in a ‘high’ positive social benefit for future residents.

### **4.2.3 Physical changes to the existing surroundings and impacts on visual amenity and rural characteristics**

The impact on the aesthetic value and visual amenity of the area was raised during targeted engagement by three nearby neighbours, particularly in relation to maintaining the rural characteristics along Wollombi Road as well the loss of some of the rural landscape from viewpoints on the neighbouring property at 319 Wollombi Road. The suitability of the site for retirees was also raised, given the existing topography as well as the proposed on site sewerage treatment and potential impacts on nearest neighbours.

While the retention of over 11.8 ha of fully treed land and 5 ha of greenspace and nature reserve area, as well as the retention of the mountain views was noted by nearby neighbours as a positive, there were some concerns relating to the loss of some of the vegetation and the rural landscape views from their property due to the physical structures related to the Proposal. This included the



caravan storage area on the southern side of the Proposal. Following engagement, the landscape architect incorporated an additional buffer area to the caravan storage area inclusive of additional landscaping to the boundary shared with 319 Wollombi Road, into the design.

During engagement, it was also noted that recent development in the area, including the entry points to the Ravensfield subdivision, detracted from the rural characteristics of Wollombi Road, and there was a desire for this to be retained. In response to this feedback, the Applicant made changes to the design of the frontage of the Proposal to include a post and rail fence along the existing property boundary with shrubs and trees behind – more in line with the rural characteristics of the area and to minimise the impact of the viewpoints from those properties overlooking the Proposal. This was noted as a positive amendment by nearby neighbours.

The Landscape Concept Plan provided by the landscape architect (Lindy Lean, Landscape Architect), show that the frontage setback area and front fence will be obscured by landscaping. It is further understood from Vivacity Property that the gradients and benching will hide the appearance of house roofs for most of the frontage directly in front of 304 and 312 Wollombi Road, except the main entry.

Regarding the land's topography, it is understood that there are no accessibility requirements for a manufactured home estate, given there are no age limits. This SIA notes that this Proposal is not a retirement village or care facility and promotes independent and active living.

As per the SEE, the operator has opted to design the homes to a minimum silver-level accreditation against the liveable homes design guidelines, including providing a level of access to each home. The homes are also a short walking distance from site facilities.

In terms of the treatment of sewage, advice from Vivacity Property is that the water is treated by an onsite sewage treatment plant and then is filtered through a series of mounds situated within the landscaping of the community. This is like the system that they have implemented at their property in Tahmoor. Vivacity Property have advised that this is a new type of technology which uses less land and treats the disposed water to a much higher standard than the normal disposal methods and is more environmentally friendly. At the time of authorship, the detailed site report from Truewater was not available to be cited.

While it is almost certain that the physical changes resulting from the Proposal will change the visual amenity for those with existing visual viewpoints of the Proposal site, it is also acknowledged that several residential subdivisions have been approved directly adjacent to nearby neighbours and that the visual landscape is continually changing in this area. Notwithstanding this, the Applicant has been engaging with those more directly impacted by the Proposal to try and minimise the impacts and maintain the rural characteristics of the area. This can be evidenced through the project refinements (Table 3.1), including changes to the landscaping, fencing and the retention of green space. The Proposal has also been designed to maintain existing views of vegetation and mountains with buffer areas and design.

With mitigation and design refinements, this social risk has been assessed as a 'medium' for those with direct viewpoints from their property, given the permanent change to existing baseline conditions. This impact could be further minimised by continued engagement during the detailed design phase with the directly impacted neighbours to determine the types of trees and plantings for landscaping. The change is deemed negligible to the broader community and road users, given the context of the surrounding developments and this Proposal.

#### 4.2.4 Changes to the road environment

The potential for the Proposal to impact on the safety of the residents within the PSA and other motorists due the access to the Proposal being directly onto Wollombi Road was raised as a concern during engagement.

It is proposed that the access to the site would be approximately 700 m west of the existing Wollombi Road/McFillvray Road/Harling Avenue Roundabout. During the design process, the site entry was relocated further east of the existing driveway access to 303 Wollombi Road to provide better sight lines and improve safety. Approaching vehicles would turn left or right into the site while departing vehicles would turn left or right out of the site onto Wollombi Road.

For this Proposal, a technical assessment was undertaken by the Transport Planning Partnership (2023) that assessed that the Proposal would generate in the order of 102 vehicle trips during both the weekday AM peak and PM peak periods. It is noted that the community facilities and the clubhouse would be restricted for use by future residents of the Proposal only, and therefore, no additional trip generation is expected from outside visitors for the clubhouse and the community facilities.

The technical assessment concluded that the development would not adversely impact the operation of the local road network and that the proposed intersection layout for access into the Proposal site would provide a satisfactory level of safety for vehicles entering and exiting the site based on the existing peak periods.

During engagement, the potential safety aspects associated with access in and out of the Proposal site during an emergency was also raised, primarily concerning the potential event of a bushfire. The design includes emergency access and egress to Wollombi Road adjacent to 319 Wollombi Road. There is also a fire trail along the site's southern boundary within the vegetated area to improve access. In addition, the Bushfire Assessment Report (BAR) for the Proposal undertaken by Bushfire Planning Australia (BPA) found the site was exposed to a medium to high bushfire hazard located primarily to the south and west of the site which is mapped as Category 1 Vegetation in the Maitland City Council Bush Fire Prone Land Map. It recommended several actions including that A Bushfire Emergency Management and Evacuation Plan (BEMEP) be prepared that is consistent with the RFS Guidelines 'Development Planning – A Guide to Developing a Bush Fire Emergency Management and Evacuation Plan December 2014'.

While it is likely that there will be changes to the road environment given the predicted increase in vehicles accessing this Proposal site, the traffic assessment concludes that given the intersection design and scope, overall, the traffic and parking implications of the Proposal are considered satisfactory. From a social impact lens, it is possible to further mitigate the perceived social impacts of

safety through communication and information to those living within the PSA. This includes keeping residents and the surrounding community informed about access arrangements and timeframes for construction and potential disruptions and providing clear signage to guide visitors, residents, and service vehicles to appropriate entry and exit points. It is also noted that there is no public transport access to the site. The Proposal could be further enhanced by providing a private bus service for the residents to reduce their reliance on private vehicles. By carefully considering and implementing social impact mitigation measures, the mitigated social impact has been assessed as a medium social risk for road users due to the magnitude of any potential impact, as opposed to the likelihood.

#### 4.2.5 Changes to community dynamics and strain on community services and infrastructure

A common fear amongst neighbours and communities of any type of housing and accommodation development is that the proposed development would cause a decline in the sense of community cohesion and/or that the development will impact existing access to services.

The Proposal involves the introduction of 254 new home sites for retirees within the Maitland LGA. To examine the potential impacts of population change, because of the Proposal, this assessment has utilised established population change characteristics adapted from Burdge (2004). The percentage of population change that could occur due to the Proposal can be estimated using the number of tenants per home site, assuming all homesites are occupied at one time. To present the worst-case scenario, we have assumed the following:

- The population change is to increase by 508 at any one-time during operations of the Proposal (an average of two occupants per site).
- 100% of new tenants are from outside the Maitland LGA.

Burdge suggests that a population change of greater than 10% in a local area will likely have a major consequence. As demonstrated in Table 4.4, a 100% influx of new people to the Maitland LGA would constitute approximately a 0.56% increase in population, noting that this is a worst-case scenario and that from Vivacity Properties experience, a large majority of residents come from the local area.

**Table 4.4 Predicted population change.**

Level of Analysis	Population (Remplan ERP, 2023)	Increase in population	% change to the proposal
Maitland LGA	90,553	508	0.56%

In terms of the potential impacts that the Proposal may have on the sense of community and social cohesion because of population change and impacts on community values, it is acknowledged that introducing new groups of people to an area can alter existing values and sense of community. Coakes and Bishop (1996) discuss many elements comprising a 'sense of community', including the need for shared value, social interaction, and connection to a common structure (e.g., geography, gender, culture). While most communities are generally resilient to natural population change, a rapid or massive change can often have adverse social impacts. In this instance, this population increase is

minimal and is not expected to result in stress on associated services or facilities or negatively change the fabric of the area.

There is also the potential that the Proposal will instead support a growing community by creating affordable and appropriate housing for those already living in the LGA looking to downsize from larger properties or those looking to relocate to the LGA. The Proposal is well-served by internal and existing social infrastructure in the Maitland LGA as outlined in the social baseline (Table 2.32 and Table 2.3). It is possible for the management of the Proposal to attract and facilitate the provision of community services directly to the future residents of the housing estate through a combination of strategic planning, collaboration, and engagement. During operation, the Applicant should work with the residents to understand what services are most desired within the community and actively engage with local service providers to successfully attract and establish services like GPs and hairdressers, enhancing the overall quality of life for residents and potentially reducing any additional stress on existing community services and infrastructure.

Considering the above, it is unlikely that the Proposal will result in stress on associated services or facilities, resulting in a low social impact.

#### **4.2.6 Lack of knowledge relating to MHEs**

Through online research for this SIA, it was noted that there was a perception that land lease communities are only for retirees or individuals with limited means. The stigma surrounding land lease communities or manufactured home estates can also be a significant concern for both residents and potential residents of these communities and was raised as a concern by one nearby neighbour during engagement. This stigma often stems from misconceptions, lack of understanding, and negative stereotypes. It might deter some nearby neighbours who may have misconceptions about the quality of life in these communities or relate to the visual impacts and changes to community character.

MHE's have evolved over the past 20 years and have been known by a variety of names such as transportable homes and mobile home parks. The generally accepted terminology used today is Manufactured Home Estate, Lifestyle Estate or Residential Village (JLL, April 2023). JLL reporting outlines the evolution of the MHE's, noting the concept evolved from Caravan Parks whereby cabins and units became used on a more permanent basis, caravan parks became segregated between 'permanents' and holiday makers and this has evolved into designated residential parks for long term residents (refer Figure 4.4).



Figure 4.4 evolution of MHE's, source: JLL (April 2023)

Mitigating the negative stigma associated with MHEs involves a multi-faceted approach that focuses on changing perceptions, improving community engagement, enhancing aesthetics, and promoting positive attributes. The Applicant can help contribute to mitigate the negative stigma through:

- Ensuring the site is well-maintained and designed to complement the rural environment
- It is fostering an active and vibrant community life within the MHE through creating opportunities for social interactions that bring residents together and create a strong sense of community.
- Engaging with the local community and future residents through different methods, such as holding open days or information sessions to educate the public about MHEs, their benefits, and their role in addressing housing challenges.
- If approved, ensure the Vivacity website is transparent about any improvements, developments, or changes within the Proposal to build trust and dispel any mistruths. The website should also showcase the positive aspects of MHE living and interact with the broader community with links to further information as required.

By implementing a combination of these strategies, it is possible that Vivacity can work to challenge negative perceptions and create a positive environment that addresses the stigma associated with

manufactured home living. Given the nature of this impact, no residual social impact rating has been provided.

#### 4.2.7 Construction noise causing amenity disruption for nearby neighbours

During engagement, two nearby neighbours identified the potential for acoustic impacts associated with the construction period. Noise and amenity impact during construction are considered likely to nearby receivers, some of which may be considered vulnerable (such as the elderly). The SEE notes that noise and vibration are limited to the construction period which will be managed in accordance with Safe Work requirements and that a construction environmental plan (CEMP) will be provided prior to obtainment of the construction certificate to describe how the noise and vibration impacts associated with the construction of the development will be minimise and managed during construction. Targeted engagement with those people most impacted will be required prior to construction to ensure that adequate mitigation and management measures are implemented, that directly respond to the level of impact expected to people. This engagement could include one on one meetings, phone calls and/or doorknocks as examples and should be targeted, accessible and inclusive.

In the absence of a noise assessment to inform this assessment, it is considered possible that some of the nearby neighbours will experience some impact on their way of life, including annoyance, due to construction activities.

### 4.3 Summary of social impact evaluation

Table 4.5 Summary of social impact evaluation

Social impact	Mitigation and enhancement	Residual significance	Extent of impact
Improved access to affordable housing and increased opportunities for social interactions	<ul style="list-style-type: none"> <li>• Inclusion of designated walking tracks in the green space.</li> <li>• Opportunities for keeping animals on the site</li> <li>• Create a community garden and social committee to promote social activities within the community</li> <li>• Promote opportunities to assist residents in integrating into the new community through events, public open days, and volunteering opportunities.</li> </ul>	Almost certain/moderate  high (positive)	Future residents, including retirees
Physical changes to the existing surroundings and impacts on visual amenity	<ul style="list-style-type: none"> <li>• Continued engagement during the detailed design phase includes involving the directly impacted neighbours with the types of trees and plantings and minimising impacts on the existing mountain views.</li> </ul>	Likely/minor  medium (negative)	Nearby Neighbours (PSA)
Changes to the road environment	<ul style="list-style-type: none"> <li>• Keeping residents and the surrounding community informed about access arrangements and timeframes for construction and potential disruptions.</li> </ul>	unlikely/moderate	Road users

Social impact	Mitigation and enhancement	Residual significance	Extent of impact
	<ul style="list-style-type: none"> <li>• Provision of clear signage to guide visitors, residents, and service vehicles to appropriate entry and exit points.</li> <li>• Provision of a private bus service for the residents to reduce their reliance on private vehicles.</li> </ul>	medium (negative)	
Changes to community dynamic and strain on community services and infrastructure	<ul style="list-style-type: none"> <li>• Management to attract and facilitate the provision of community services directly to future housing estate residents through strategic planning, collaboration, and engagement.</li> </ul>	Unlikely/ minor  low (negative)	Broader community (SSA)
Lack of knowledge relating to MHEs	<ul style="list-style-type: none"> <li>• Ensure the site is well-maintained and designed to complement the rural environment.</li> <li>• Foster an active and vibrant community life within the MHE by creating opportunities for social interactions that unite residents and create a strong sense of community.</li> <li>• Engage with the local community and future residents through different methods, such as holding open days or information sessions to educate the public about MHEs, their benefits, and their role in addressing housing challenges.</li> <li>• Ensure the Vivacity website is transparent and up to date.</li> </ul>	Not applicable	Broader community (SSA)
Construction causing amenity disruption for nearby neighbours	<ul style="list-style-type: none"> <li>• Targeted engagement with those people most impacted prior to construction to ensure that adequate mitigation and management measures are implemented, that directly respond to the level of impact expected to people.</li> <li>• Construction Environmental Management Plan</li> </ul>	Unlikely / minor  low (negative)	Nearby Neighbours (PSA)

## 5 Conclusion

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One of the aims of SIA is to promote better development outcomes through a focus on minimising negative social impacts. Overall, it is considered that the proposal:

- Is consistent with the regulatory, businesses and social policy frameworks
- Is anticipated to have a positive impact for people looking for more diversified housing options with a desire for a smaller and more manageable home inclusive of an enhanced community and social life.
- Will offer an alternative for retirees from the traditional retirement sector, particularly from the affordable or lower end segment of the market as more retirees seek more cost effective, pension friendly alternatives as housing unaffordability worsens in a low supply and high inflation environment over the short to medium term.

It is noted that the Proposal will also maintain a significant portion of green space inclusive of a fully treed area. This retention of green space and incorporation opportunities to participate in outdoor activities will likely contribute to supporting an active lifestyle for future residents of the Proposal, promoting residents' well-being and health as well as providing opportunities that encourages social interaction. It is important that Vivacity implements measure to build and support these opportunities for community cohesion and wellbeing.

It is acknowledged that the proposal will likely have a level of social risk relating to visual amenity as experienced by nearby neighbours due to the permanent changes to the existing rural environment and there will be some inconvenience and disruptions to way of life for those nearby neighbours during construction.

While it is acknowledged that this area is surrounded by current and proposed future developments that continue to encroach on the rural environment, it is important that Vivacity Property maintain ongoing and transparent engagement with those people most impacted by the Proposal and incorporate mitigation measures into both the design and operational aspects of the proposal.



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## Appendix A. Social Impact Risking Methodology

The following tables are derived from the SIA Guidelines (DPE, 2021) and were adopted as the risking methodology for this assessment.

### Defining magnitude levels for social impacts

Magnitude level	Meaning
<b>Transformational</b>	Substantial change experienced in community well-being, livelihood, amenity, infrastructure, services, health, and/or heritage values; permanent displacement or addition of at least 20% of a community
<b>Major</b>	Substantial deterioration/improvement to something that people value highly, either lasting for an indefinite time, or affecting many people in a widespread area
<b>Moderate</b>	Noticeable deterioration/improvement to something that people value highly, either lasting for an extensive time, or affecting a group of people
<b>Minor</b>	Mild deterioration/improvement, for a reasonably short time, for a small number of people who are generally adaptable and not vulnerable
<b>Minimal</b>	No noticeable change experienced by people in the locality

### Defining likelihood levels of social impacts

Likelihood level	Meaning
<b>Almost certain</b>	Definite or almost definitely expected
<b>Likely</b>	High probability
<b>Possible</b>	Medium probability
<b>Unlikely</b>	Low probability
<b>Very unlikely</b>	Improbable or remote probability

### Dimensions of social impact magnitude

Dimensions		Details Needed to Enable Assessment
<b>Magnitude</b>	<b>Extent</b>	Who specifically is expected to be affected (directly, indirectly, and/or cumulatively), including any vulnerable people? Which location(s) and people are affected? (e.g., near neighbours, local, regional, future generations).
	<b>Duration</b>	When is the social impact expected to occur? Will it be time-limited (e.g., over particular project phases) or permanent?
	<b>Severity or scale</b>	What is the likely scale or degree of change? (e.g., mild, moderate, severe)

Dimensions		Details Needed to Enable Assessment
	<b>Intensity or importance</b>	How sensitive/vulnerable (or how adaptable/resilient) are affected people to the impact, or (for positive impacts) how important is it to them? This might depend on the value they attach to the matter; whether it is rare/unique or replaceable; the extent to which it is tied to their identity; and their capacity to cope with or adapt to change.
	<b>Level of concern/interest</b>	How concerned/interested are people? Sometimes, concerns may be disproportionate to findings from technical assessments of likelihood, duration and/or intensity.

### Social impact significance matrix

Likelihood	Magnitude Level				
	Minimal	Minor	Moderate	Major	Transformational
<b>Almost certain</b>	Low	Medium	High	Very High	Very High
<b>Likely</b>	Low	Medium	High	High	Very High
<b>Possible</b>	Low	Medium	Medium	High	High
<b>Unlikely</b>	Low	Low	Medium	Medium	High
<b>Very unlikely</b>	Low	Low	Low	Medium	Medium