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416 HIGH STREET, MAITLAND

STATEMENT OF HERITAGE IMPACT

ADAPTIVE REUSE

CONTEMPORARY HERITAGE

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Status:	Draft	Final	



Statement of Heritage Impact
416 High Street, Maitland

1. INTRODUCTION

- a. Contemporary Heritage has been engaged to prepare a Statement of Heritage Impact for 416 High Street, Maitland, Lot/Section/Plan no: 1/-/DP11872.
- b. This report adopts the methodology outlined in the Guidelines for preparing a statement of heritage impact (prepared by Department of Planning and Environment, 2023.) It has been undertaken in accordance with the principles of the Burra Charter, 2013.
- c. The subject site is located at 416 High Street, Maitland and is listed as part of the Central Maitland Heritage Conservation Area as Local Significance, as part of the Maitland Local Environmental Plan 2011.
- d. This report was prepared by CONTEMPORARY HERITAGE.

Nominated Architect: Jason Penhall
BA(Hons.) Arch., PG-Cert. Arch., M.Arch., PG-Dip. Prof. Prac.
Architect Reg. 11285



Figure 1 Site Location with Heritage Overlay
source NSW Planning Portal - Subject site shown outlined in yellow

2. HISTORICAL CONTEXT

2.1 Historical Context

The original inhabitants of the area were the Wonnarua Nation (people of the mountains and plains). The Wonnarua people are members of the Mindaribba Local Aboriginal Land Council that covers the traditional lands of more than 2 thousand hectares including Maitland, Cessnock, Singleton, Dungog and Port Stephens.

Maitland was first settled by Europeans in the early 1800s and many historic buildings were built using local sandstone and cedar. Convict labour were cedar cutters and they built thatched huts in the brush. Maitland was originally covered by giant red cedars, fig trees, myrtle, softwood brush, gums and swamp oaks.

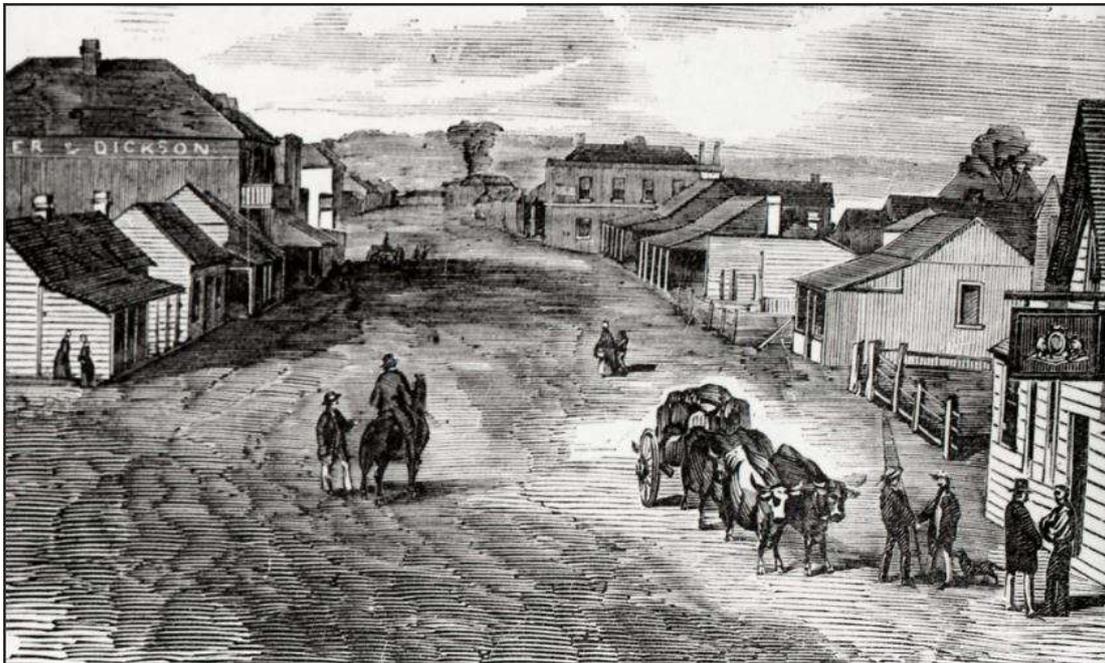


Figure 2 High Street, West Maitland, thirty years ago
Town and Country Journal, 16 December 1871

source: Living Histories John Turner Collection
<https://livinghistories.newcastle.edu.au/nodes/view/101307>

Maitland is built on the Hunter River and is one of the oldest regional centres in Australia and South Maitland is a suburb of the City of Maitland. The real story of Maitland began when a penal settlement was established in Newcastle in 1804 as the environment was considered inhospitable providing: *harsh, physical work for prisoners.*

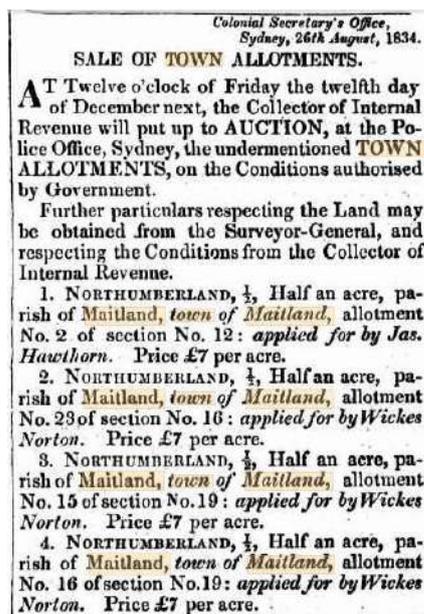
After Governor Macquarie visited Newcastle in 1812 to visit the timber camps by sailing up the Paterson River, he permitted free men and a few convicts to cultivate land thus forming Paterson Plains. Following this success, he once again approved a further farming project along the Hunter River and Wallis creek. A further selection of people became what were known as 'tenant at will' and established farming on 30 acre portions with the promise of an eventual grant for good conduct. Those who were granted land eventually received a lot more than their original 30 acres.

In 1818 the Governor allowed a number of people to occupy land on the river flats naming the area Wallis Plains. One of these tenants was Mary Hunt, commonly known as Molly Morgan whose subsequent land grant comprised much of the area now known as Central Maitland. This area was known as Wallis Plains, which was eventually renamed Maitland.¹

In a letter "To the Editor" a local resident wrote about the limits of Maitland town. The following excerpt is taken from:

Maitland, a town supposed to exist on the Hunter, is only marked out by a substantially enclosed burial ground and a small school-house. - Another Maitland has arisen, two miles distant, on the private property of two for three individuals, where there are no less than a hundred very good cottages, many of which would not disgrace the city itself. There is no Court House here— no Gaol, no Parson, no Church, no Hospital; in fact, there does not exist the necessary buildings to carry on the public business in, either as a Magistrates' Court, a Commissioner of Requests Court, or Assize Court; the latter being likely to be held now, from the great expense incurred in Government paying the demands of witnesses attending the Supreme Court in Sydney.²

An early sale of town allotments took place in 1834:



The Australian – 3 February 1832:

Maitland, a town supposed to exist on the Hunter, is only marked out by a substantially enclosed burial ground and a small school-house. - Another Maitland has arisen, two miles distant, on the private property of two for three individuals, where there are no less than a hundred very good cottages, many of which would not disgrace the city itself. There is no Court House here— no Gaol, no Parson, no Church, no Hospital; in fact, there does not exist the necessary buildings to carry on the public business in, either as a Magistrates' Court, a Commissioner of Requests Court, or Assize Court; the latter being likely to be held now, from the great expense incurred in Government paying the demands of witnesses attending the Supreme Court in Sydney

Figure 3 New South Wales Government Gazette Wed 27 Aug 1834 pg. 607

source trove

¹ Maitland DCP 2011 - as amended 21 Jul 2016 pg. 571

² Trove, (n.d). The Australian – 3 February 1832

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The following photos are historic images of various points of High Street, Maitland.



Figure 4 High Street, Maitland, N.S.W. [1950]

source Flickr. Murray Views: ³



Figure 5 High Street, Maitland, N.S.W. [1950]

source Flickr. Murray Views: ⁴

The image below is an image of the corner of High Street and Elgin Streets from 1910.

³ Flickr. Murray Views, Gympie, Q. Samuel Lee & Co., Printers, Stranthurpe, Q. J.N.

⁴ Flickr. Murray Views, Gympie, Q. Samuel Lee & Co., Printers, Stranthurpe, Q. J.N.

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Figure 6 High Street, Maitland, N.S.W. [1910]

source Flickr. Morpeth M: ⁵



Figure 7 High Street, Maitland, N.S.W. [1913]

source Flickr. Morpeth M: ⁶

⁵ Flickr. Morpeth M

⁶ Flickr. Morpeth M

2.2 416 High Street

As per Council instruction, a full history is not provided here however reference is made to the recent Statement of Heritage Impact completed by Carste Studio Pty Ltd in April 2022 for a proposed residential development of the site.

Additional information is provided below to supplement:

The image below is a panorama view of West Maitland, NSW and its leading commercial buildings, in 1878. The green arrow points toward the approximate position of the subject site.

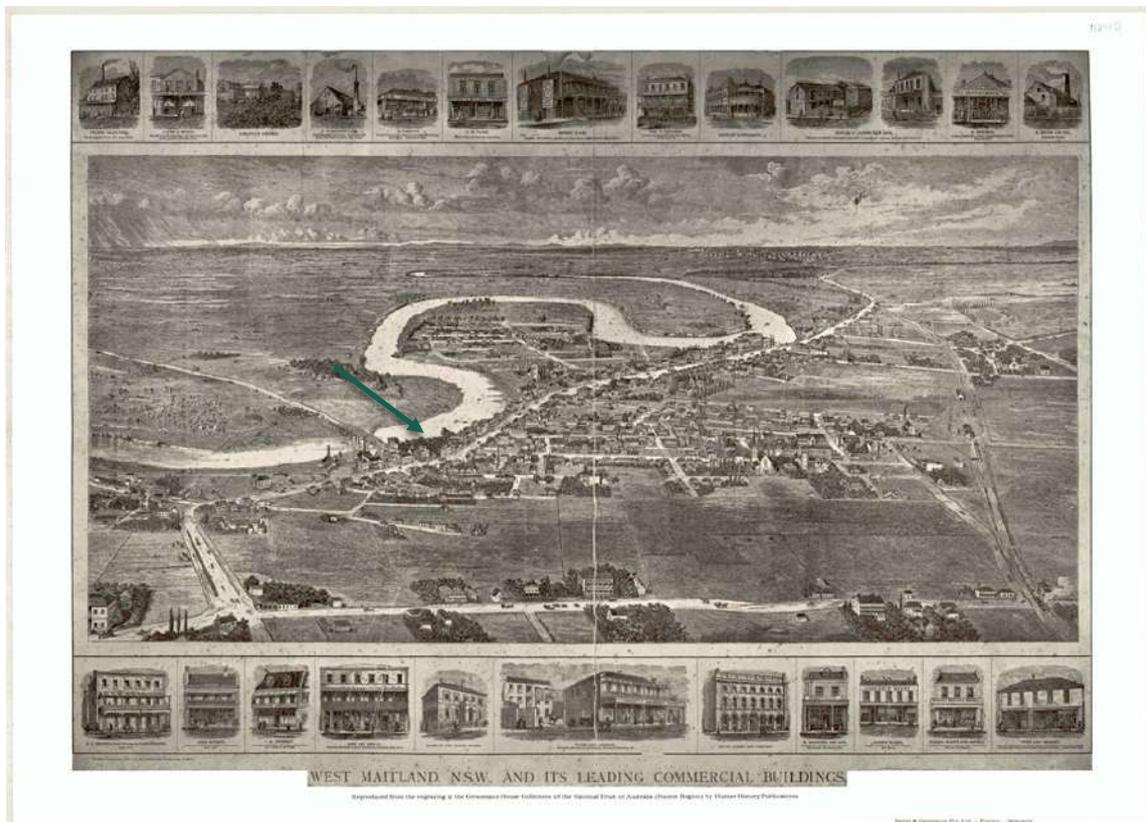


Figure 8 Panorama of West Maitland, NSW and its leading commercial buildings [1878]
source Newcastle Living Histories



Figure 9 Map Showing the Historical Development of West Maitland [1919]
source Maitland City Council Library

The maps below are taken from the NSW Government Historical Imagery showing a basemap imagery of the property. The maps offer an aerial context of the developmental progress of the subject area. The first image is from 1944. The green arrow points toward the location of the subject building.



Figure 10 NSW Imagery Basemap Service – 1944
source Historical Imagery

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The following is basemap imagery is taken from 1976. The green arrow points toward the subject building.



Figure 11 NSW Imagery Basemap Service – 1976
source Historical Imagery

The following is basemap imagery is taken from 1993. The green arrow points toward the subject building.



Figure 12 NSW Imagery Basemap Service – 1993
source Historical Imagery

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The following is basemap imagery is taken from 2020. The green arrow points toward the subject building.



Figure 13 NSW Imagery Basemap Service – 2020
source Historical Imagery

The following is basemap imagery is taken from 2020. The green arrow points toward the subject building.



Figure 14 Historic Image of the subject site as viewed from the northwest (undated)
source Maitland City Council

3. PLANNING AND HERITAGE CONTEXT

3.1 Maitland Local Environment Plan 2011 - amended 21 November 2022

The subject site is listed in the LEP 2012 Schedule 5 as being within the Central Maitland Heritage Conservation Area.

There is one heritage item in the vicinity as follows:

Suburb	Item name	Address	Property description	Significance	Item no
Maitland	ANZ Bank	437 High Street	Lot 1, DP 546992	Local	1162

5.10 Heritage conservation

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development—

- (a) on land on which a heritage item is located, or
- (b) on land that is within a heritage conservation area, or
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

In compliance with Clause 5 (b and c), a Statement of Heritage Impact has been prepared to assess the impact that the proposed development will have on the significance of the Conservation Area.

4. MAITLAND DEVELOPMENT CONTROL PLAN

Amended 21 July 2016 - The following excerpts are relevant to this application:

4.1 C.4 Heritage Conservation

The site is located within the Central Maitland Conservation Area.

The following is an extract from the LEP dated that is relevant to this proposal:

Part 3 - General Requirements for Alterations and Additions

3.1 Sympathetic Design

Objectives

- *To ensure that new alterations and additions respect the architectural character and style of the building and area concerned.*
- *To maintain and enhance the existing character of the street and the surrounding locality.*
- *To enhance the public appreciation of the area.*

General Requirements:

- An alteration or addition must consider the characteristics of the existing building, and buildings in the surrounding area, and sit comfortably in this context.*
- New work should generally not precisely mimic the design and materials of the building, but be recognisable as new work on close inspection.*
- Mock historical details should not be applied as they will not be of any heritage value themselves, and can confuse our understanding between the 'new' and the 'old'.*
- Alterations and additions should blend and harmonise with the existing building in terms of scale, proportion and materials.*
- Alterations and additions should not require the destruction of important elements such as chimneys, windows and gables.*

3.2 Siting, Setback & Orientation Objectives:

- *To maintain and enhance the existing character of the street and the surrounding area.*
- *To ensure that new alterations or additions respect established patterns of settlement (ie pattern of subdivision and allotment layout, landscaped settings, car parking and fencing.)*
- *To provide an appropriate visual setting for heritage items and heritage conservation areas.*
- *To ensure that the relationship between buildings and their sites which contribute to the character of the area are not disturbed or devalued.*

General Requirements:

- a. Generally alterations or additions should occur at the rear of the existing building to minimise visual impact on the street frontage of the building, particularly where the additions and alterations involve a listed heritage item or a building which contributes to the heritage character of the Conservation Area.
- b. Side additions should not compromise the ability for driveway access to the rear of the block.
- c. No new structures should be built forward of an established building line.
- d. An adequate area around the building including landscaping, fencing, and any significant trees should be retained.
- e. Larger additions can be successful when treated as a separate entity to retain the character of the original building in its own right.
- f. Front and side setbacks should be typical of the spacing between buildings located in the vicinity of the new development.
- g. The orientation pattern of buildings existing in the area should be maintained.
- h. Rear additions are generally best stepped back from side building lines.
- i. Where the wall of an existing residential building in a Conservation Area is located less than 900mm from a side boundary, additions may be permitted to be constructed at the same setback as the principal building only where:
 - i. they are small in scale and no greater than 20% of the existing building floor area;
 - ii. there is no overhang of any part of the addition over the adjoining property;
 - iii. there are no significant impacts on solar access to the adjoining property;
 - iv. access for maintenance of the side wall of the addition can be provided wholly within the property boundaries.
- j. An addition must be constructed in accordance with the National Construction Code of Australia including requirements relating to fire safety, structural stability and termite resistance.
- k. Any addition greater than 20% of the existing building floor area must be not less than 900mm from the side boundary and comply with the above.
- l. Extensions to the side elevation will not be appropriate if they alter established patterns of building and garden.
- m. Additions to the side of a building should not remove or sever car access to the rear, where it is not sympathetically provided elsewhere.
- n. Archaeological evidence should not be disturbed without consultation with Council and, where required, approval of Heritage NSW.
- o. Where there has been known building sections which have been removed, and the building fabric has been substantially altered such that only its position on the site maintains its original context, further alterations which remove footprint evidence may not be appropriate

3.3 Size & Scale Objective:

- To ensure that new alterations and additions respect the character of the building and surrounding area.

General Requirements:

- a. An alteration or addition should not be of a size or scale which overwhelms or dominates the existing building, substantially changes or destroys its identity or changes its contribution and importance in its surrounds.
- b. New uses should be chosen which suit the size of the building, not requiring overwhelming changes.
- c. Unless it can be demonstrated that greater scale would be appropriate in the individual circumstances, additions should be of the same scale as surrounding development.

3.4 Roof Form & Shapes Objective:

- To retain characteristic scale and massing of roof forms within Conservation Areas and on heritage items when designing alterations and additions.

General Requirements:

- a. Roofs of extensions should be carefully designed so that they relate to the existing roof in pitch, eaves and ridge height.
- b. Additional rooms can be added to heritage buildings appropriately where roof forms have been carefully integrated into the existing.
- c. If it is important that the roof form remains unaltered, additional rooms can be added in a detached pavilion form placed at the rear or possibly the side. Roof pitch, ridge height, height of parapet and eaves on additions should relate to those of the original building.
- d. Providing the roof space is large enough, attic rooms should be contained in roof forms for non-habitable uses such as a study or a library. The volume required for habitable uses such as bedrooms may mean unacceptable alteration to roof form.
- e. New roof elements such as dormer windows and skylights should not be located where they are visually prominent.
- f. Chimneys should be retained.
- g. Service utilities such as water heaters, air conditioning units, antennae, satellite dishes must not be located on the principle elevations of buildings.
- h. Use of roof materials should be the same as materials on the existing heritage building and those typically used in the Conservation Area.

3.5 Materials & Colours Objective:

- To ensure that materials and colours used in alterations and additions respect the significance and character of the existing building and surrounding area.

General Requirements:

3.5.1 General:

- a. Traditional combinations of materials used in heritage buildings should be considered when designing additions.

- b. *It may not be appropriate or necessary to replicate the original combination of materials used in the original work. The use of a complementary material might make the increase in scale less noticeable and also enhance later understanding of the changes. For instance, timber weatherboard extensions to brick houses was a common practice which is still appropriate today, as was the use of corrugated iron roofs at the rear of houses behind main roofs constructed with tile or slate.*
- c. *The use of highly reflective materials should be avoided. 3.5.2 Doors and Windows: a. Timber windows should be retained in existing buildings. New doors and windows should be of materials characteristic to the existing building, locality or an approved alternative.*

3.5.2 Roofing:

- a. *Original roof material should be matched in any addition in material and colour. If, however original roofing is expensive such as slate, corrugated iron is a suitable alternative to the rear.*
- b. *Traditional stepped flashings, roof vents, gutter moulds, and rainwater heads should be used.*

3.5.4 Brickwork:

- a. *New face brickwork should match the existing brick in colour and texture, and type of jointing and mortar colour.*
- b. *Existing face brick or stone on heritage items or heritage buildings in a Conservation Area should remain unpainted and unrendered.*

3.5.5 Imitation Cladding:

- a. *Timber board imitations are not acceptable for additions to heritage items or work visible from the street in Conservation Areas.*

3.5.6 Colour Schemes

- a. *Additions should employ colour schemes which do not detract from traditional colour schemes in the area. A number of good reference books on traditional colour schemes are available.*
- b. *Colour schemes suitable to the period of the building should be used.*
- c. *Unpainted brick or stone should remain unpainted.*

3.5.7 Paving & Driveways:

- a. *Preferred materials for driveways include wheel strips and gravel. Plain or stamped concrete should be avoided.*
- b. *Paired wheel strips over public footway areas are preferable to solid driveways.*

3.6 Design of New Detail and Opening

Objective:

- *To ensure that the character and pattern of new door and window openings in alterations or additions is compatible with the appearance of the original buildings and the area as a whole.*

General Requirements:

- a. Alterations should avoid arbitrary changes to openings or other features which do not fit in with the symmetry or character of the original design.
- b. If the street front of the original building is symmetrical, the addition should avoid simply extending the original design across the addition.
- c. New detail and openings should be simple in character using colour and materials which complements the original fabric.

3.7 Evidence for Authentic Reconstruction Objectives:

- To ensure that reconstruction reveals the known significance of the place (i.e. from physical and/or documentary evidence).
- The building itself may offer clues as to items previously removed such as evidence of handrails in posts, or marks in the footpath where verandah posts were removed.
- As stated in the Burra Charter, 'Reconstruction is limited to the completion of a depleted entity and should not constitute the majority of the fabric of the place'.

General Requirements:

- a. The reinstatement of a lost feature should faithfully replicate or copy the original in design, materials, arrangement, and position.
- b. Reconstruction should be identifiable as new work without at the same time making it intrusive.

3.8 Removal of Unsympathetic alterations and Additions Objectives:

- To ensure that contributions of all periods to a place are respected.
- To ensure that removal of any fabric only occurs when it is of slight significance, and the fabric which is to be revealed is of much greater significance.

General Requirement:

- a. Additions which are obviously out of character with the original design may be removed, whereas it may be preferable to retain well integrated additions or substantial alterations to the existing building.

5. PHYSICAL DESCRIPTION

5.1 Context

- a. The subject site is located along High Street, Maitland near Elgin Street and Bulwer Street. The subject building is located behind the street facing development, completely obscured from view from the street and overlooking the Hunter River and towards Lorn1 to the north.
- b. The property is located within the Central Maitland Conservation Area. There is a Heritage Item directly across the road from the property located 437 High Street, known as "ANZ Bank", of Local Significance, however due to the position of existing development, there are no views between the Heritage item and the subject building.

5.2 416 High Street, Maitland

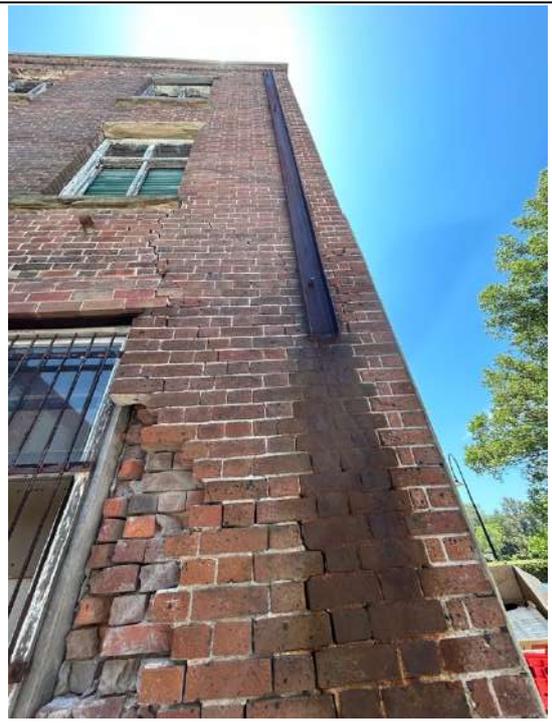
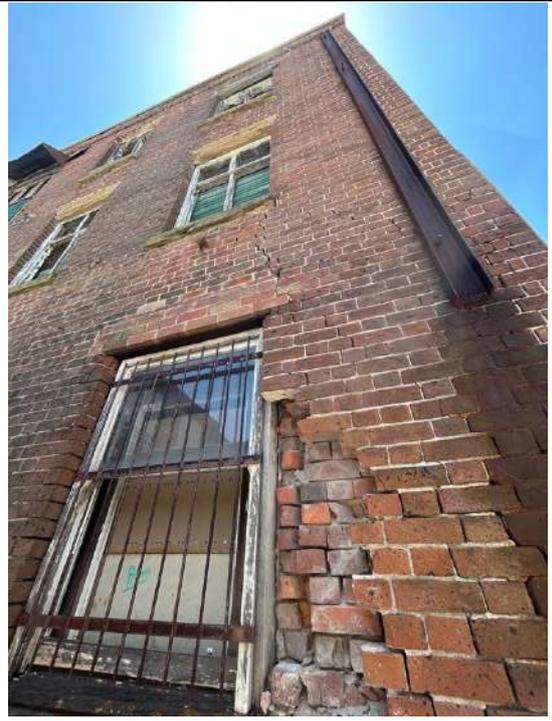
- a. The site is reasonably flat and is located behind street facing development, pedestrian access is through a lane way from High Street but there is a gate on the northern boundary to the public footpath adjacent the Hunter River. The property benefits from a laneway accessed from High Street and leading to a small yard area at the rear of the buildings.
- b. The subject building is a three-storey masonry building with timber framed internal columns, intermediate floors and roof and with a corrugated steel roof covering.
- c. The property has been subjected to extensive fire damage to the building fabric and structure. The property has been previously assessed by a structural engineer and has been deemed structurally unsound. Whilst the ground floor is accessible, the upper levels are too dangerous for access and there is risk of collapse of internal timber structure and floors.
- d. The building is bounded to the south by the remaining structures within the site, by adjacent property to the east and west and by a metal fence to the north and towards the river.

5.3 Summary Condition and Fabric

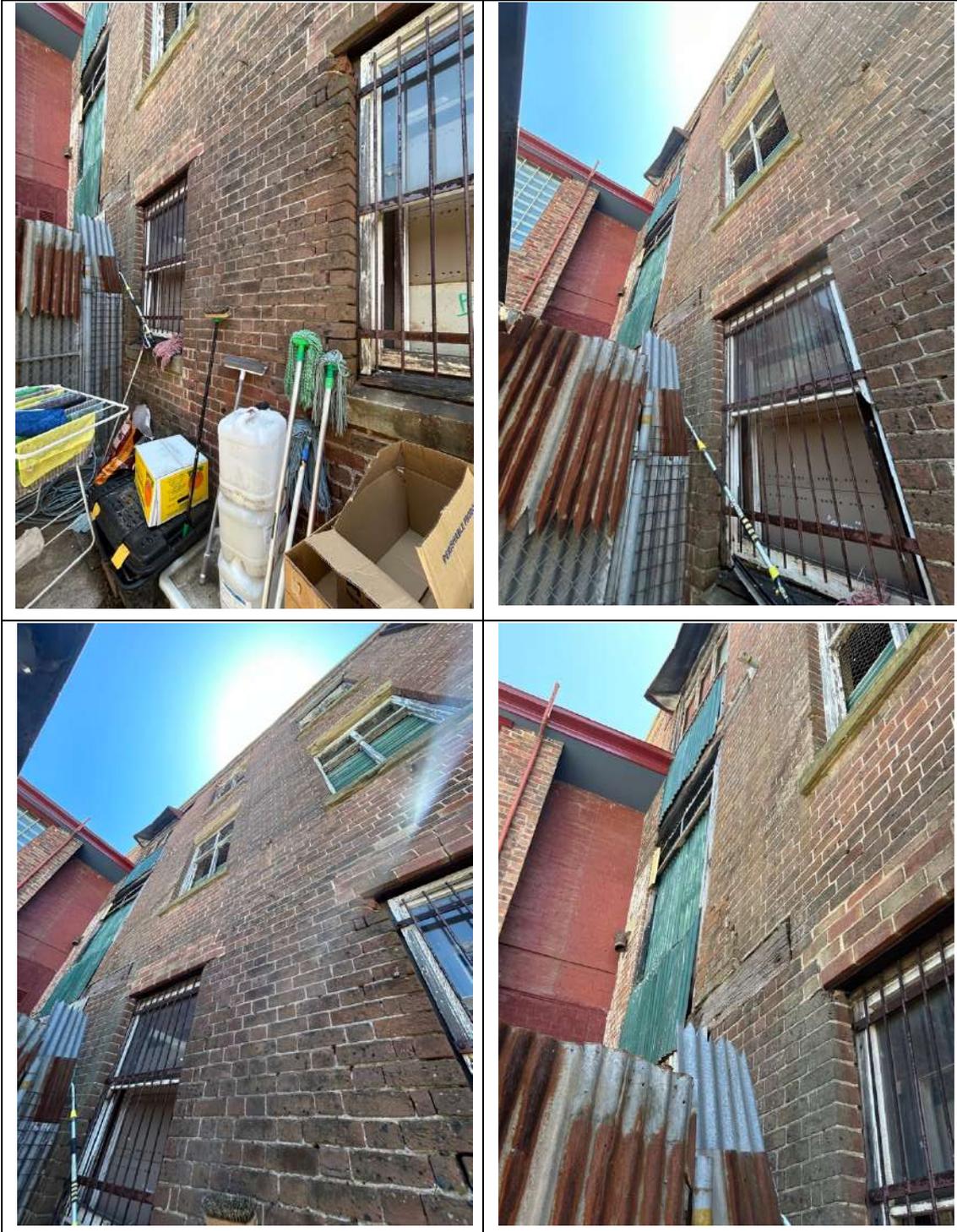
Exterior



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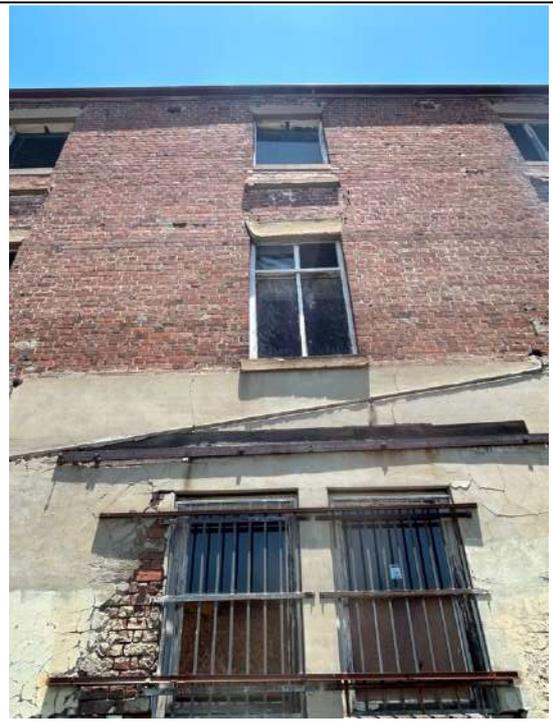
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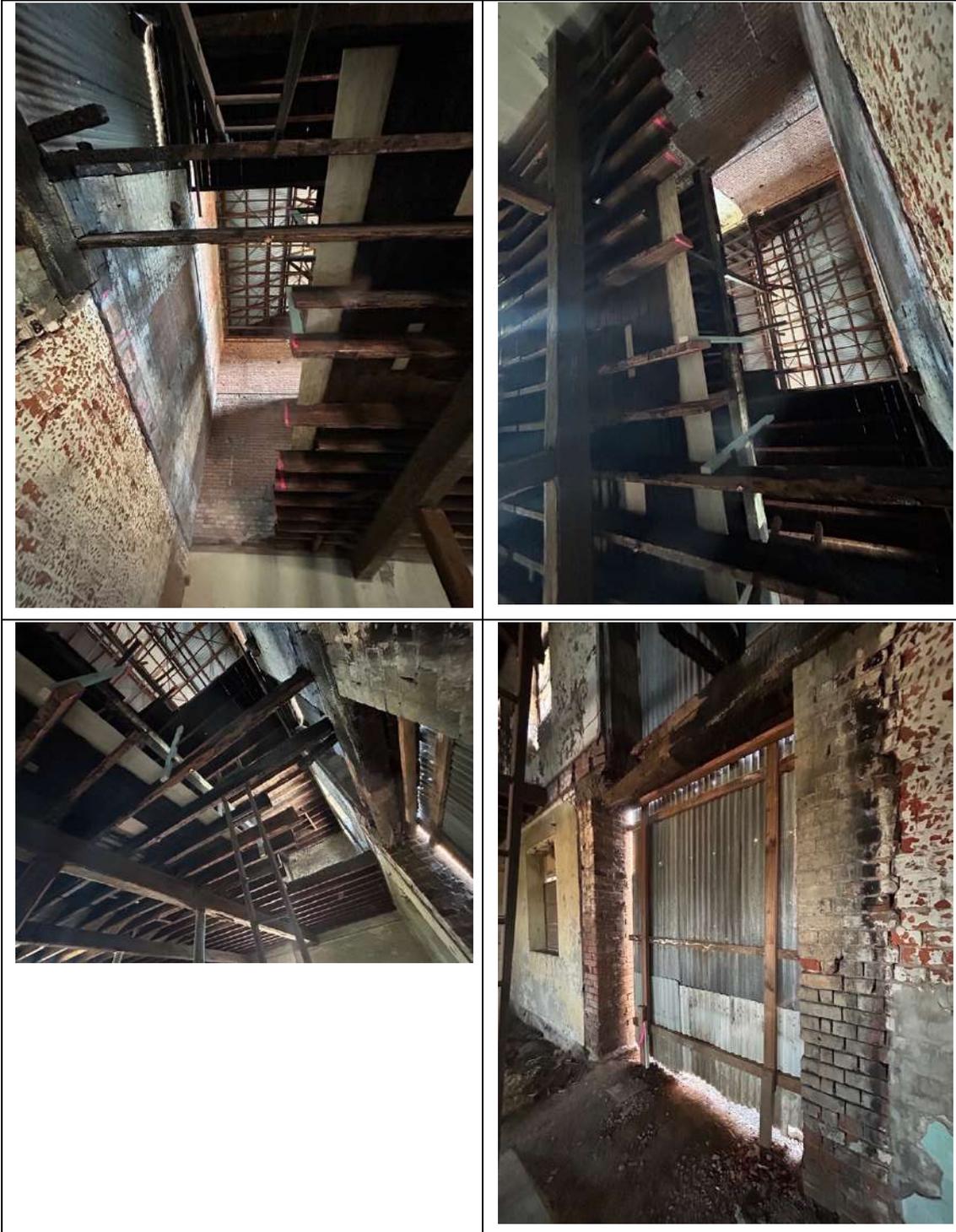
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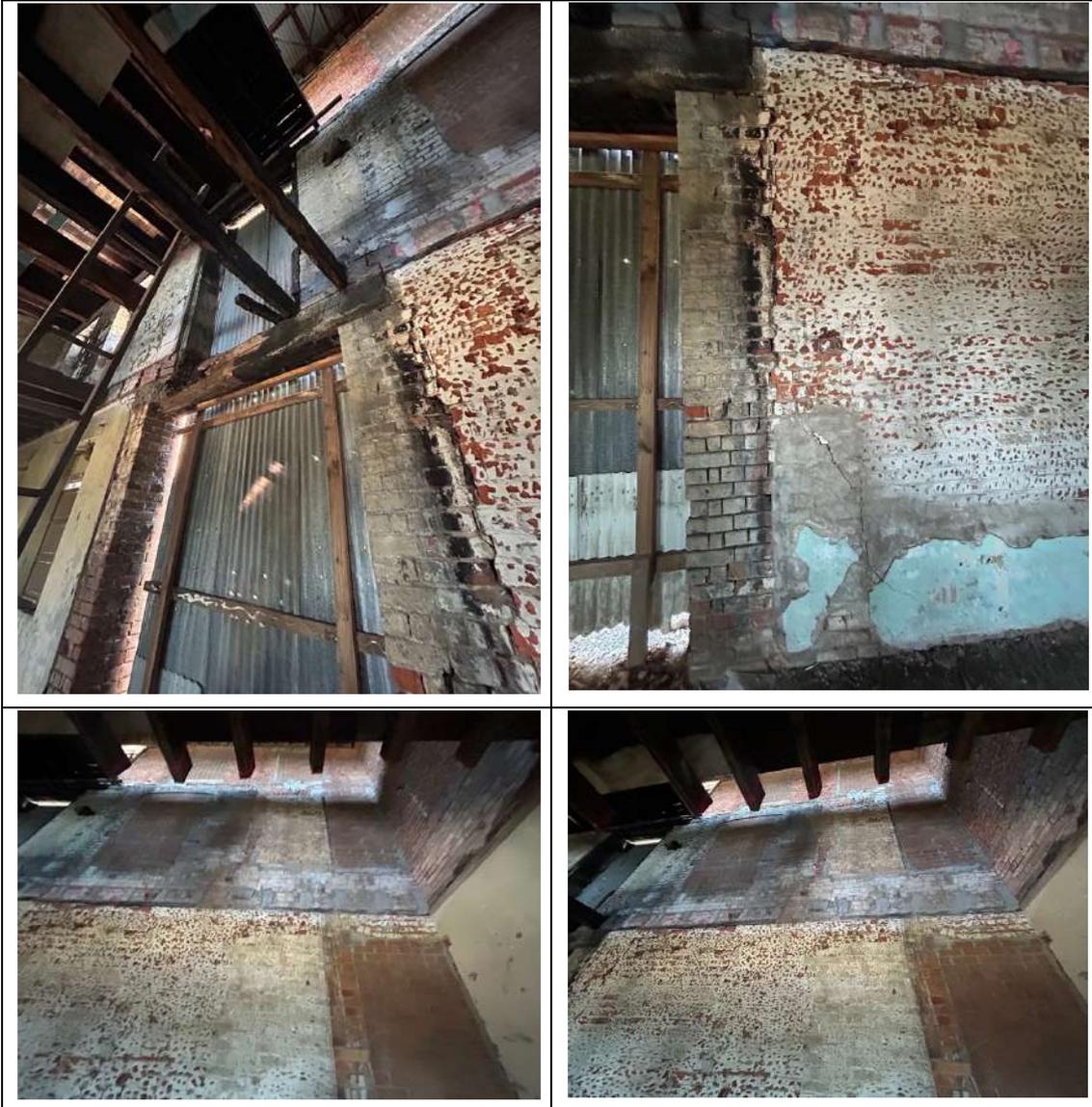
Interior



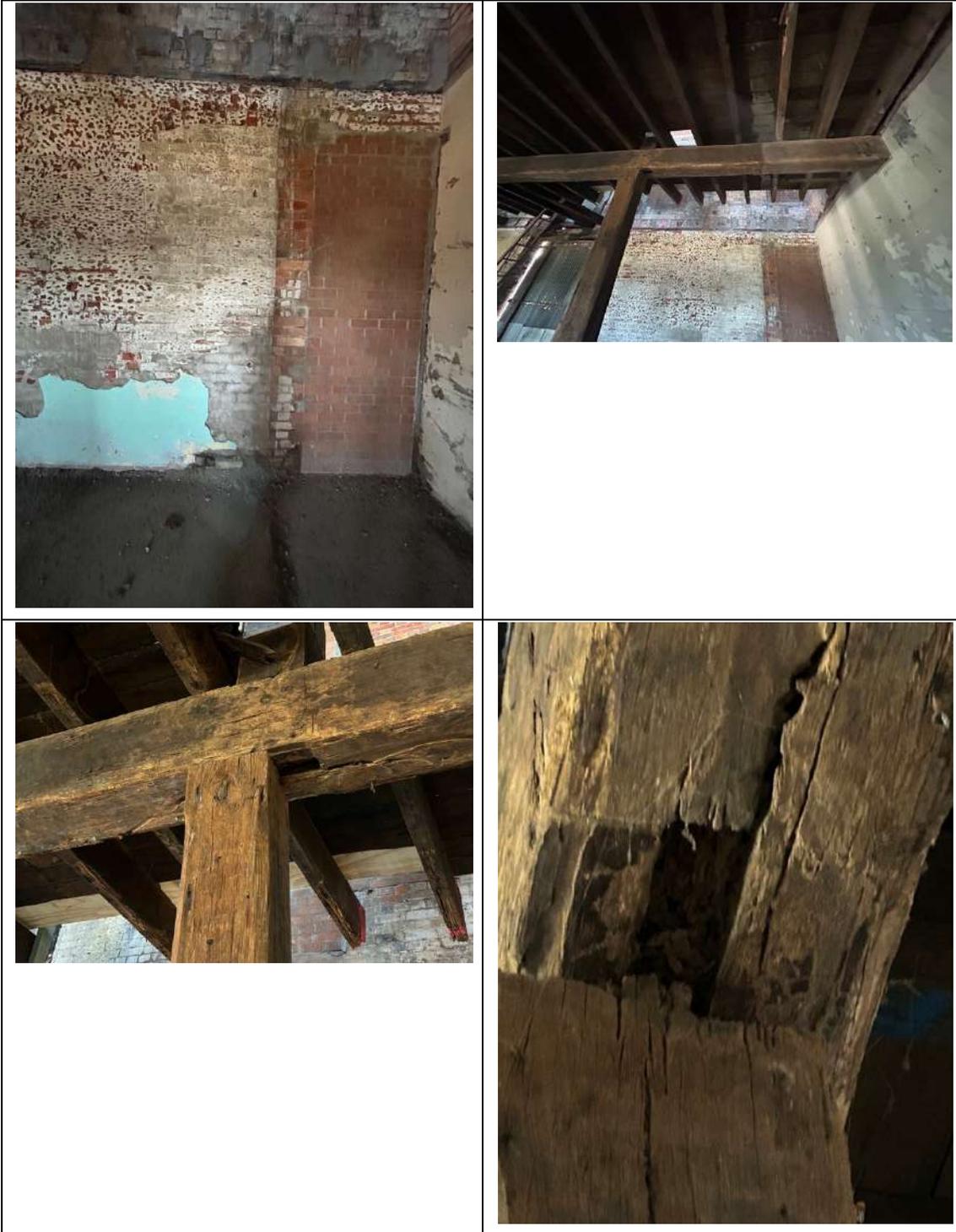
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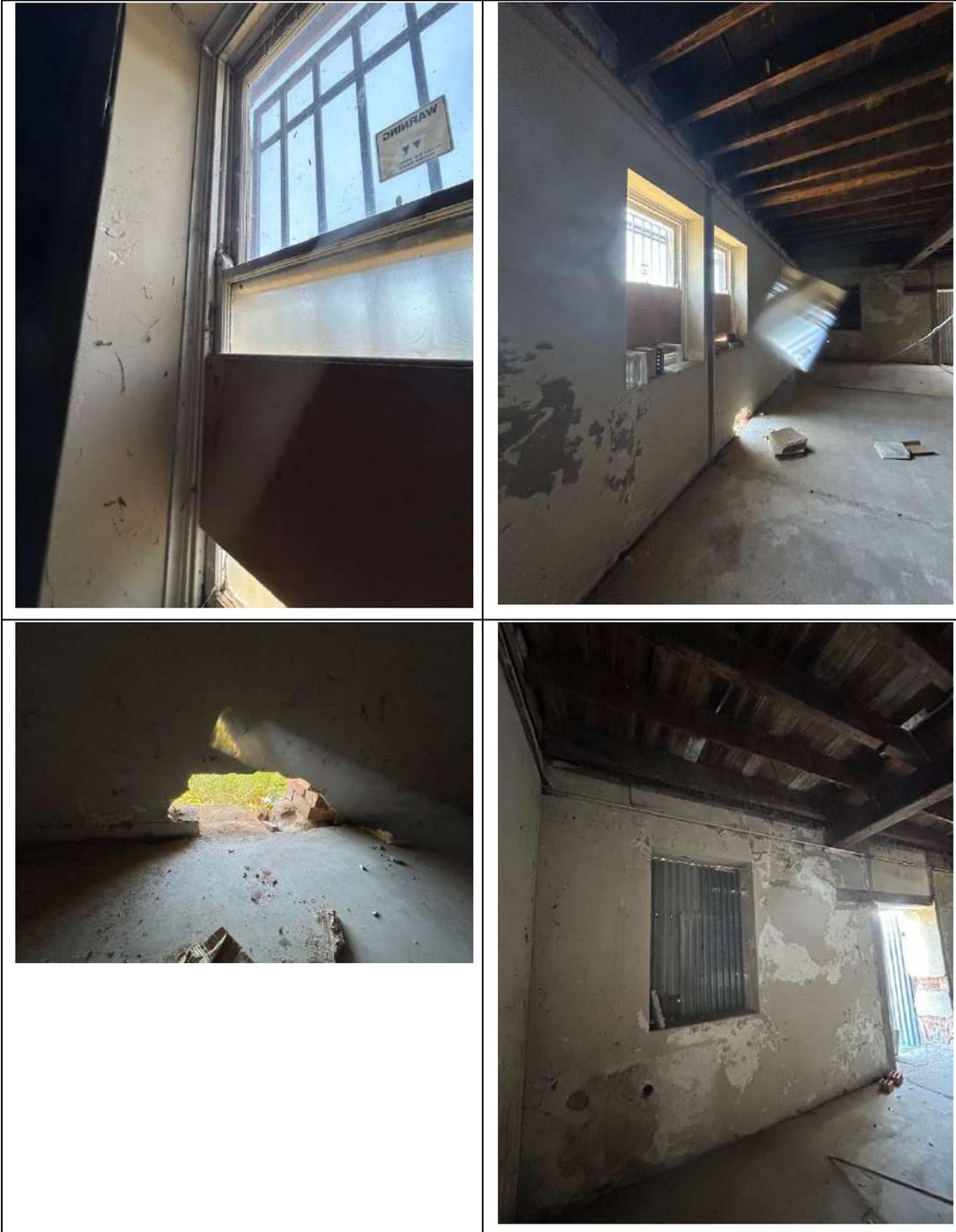
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- a. The building is in a state of severe disrepair and the extent of fire damage is exacerbating the rate of deterioration. Later structural bracing work is evident however is failing whilst a number of internal timber columns are no longer bearing load. This robust internal frame is part of the support structure of the masonry envelope and as such it is critical that rectification works are implemented in order to prevent an accelerated rate of deterioration.
- b. The upper levels are too dangerous for access and there is a risk of collapse into the ground floor level.

6. THE PROPOSAL

6.1 Introduction

- a. The proposal is for adaptive reuse with alterations and additions to the existing three storey building, with a proposal for a ground floor restaurant with outdoor seating.
- b. There are no proposed changes to the main building facing High Street and none of the proposed changes to the rear shall be visible from High Street.

6.2 Documents

This statement was prepared in conjunction with the DA drawings. It is our professional practice to review all design work before finalising the Statement of Heritage Impact and to recommend changes if required in order to make the proposal more appropriate in the heritage context.

Documents reviewed in preparation of this Heritage Impact Statement were prepared by Skelcon:

Page No	Description	Revision	Date
DD000	COVER PAGE	02	JAN 2024
DD001	3D PERSPECTIVES – SHEET 1		
DD100	SITE ANALYSIS PLAN		
DD200	EXISTING DEMOLITION FLOOR PLAN		
DD201	GROUND FLOOR PLAN		
DD202	ROOF PLAN		
DD300	ELEVATIONS – SHEET 1		
DD301	ELEVATIONS – SHEET 2		
DD400	SECTIONS – SHEET 1		
DD401	KITCHEN_INTERNAL ELEVS		
DD500	MATERIALS FINISHES BOARD		

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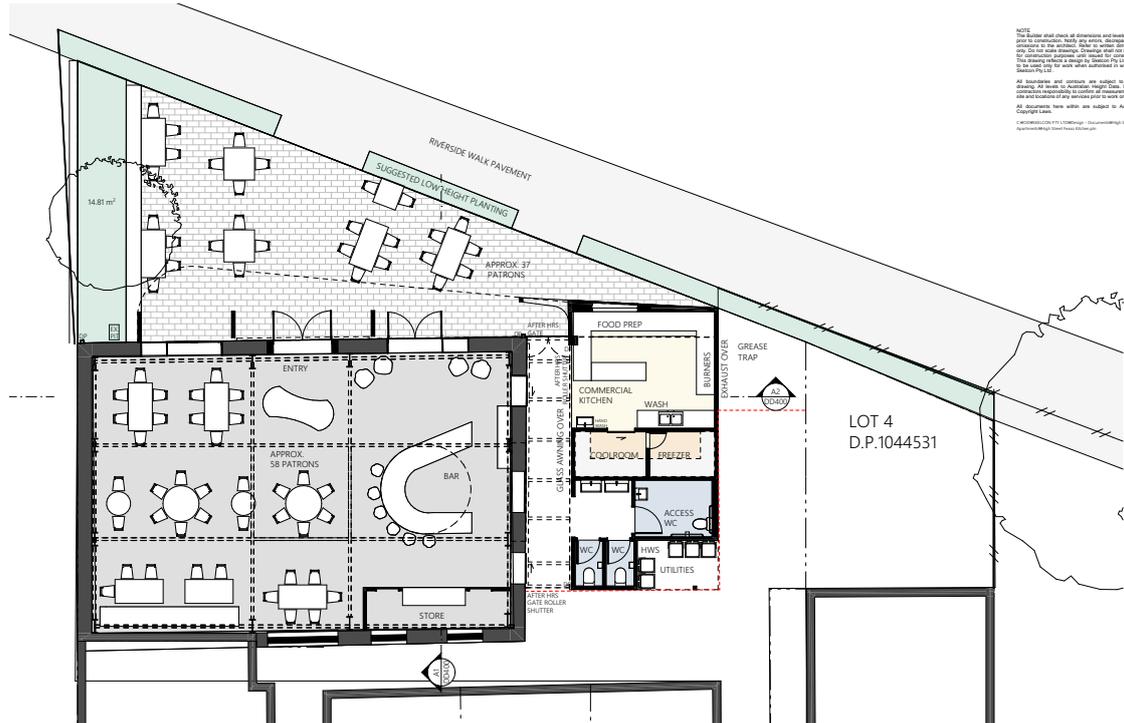


Figure 15 FLOOR PLAN
source Skelcon



Figure 16 3D PERSPECTIVE
source Skelcon

7. ASSESSMENT OF IMPACT

7.1 Identification of Impacts

- a. Potential impacts arising from the proposed development include:
 - Impact on the Heritage Conservation Area and contributory buildings in the vicinity.
 - Impact on Heritage Items in the vicinity
 - Impact on the subject building itself
- b. This Statement of Heritage Impact analyses the extent of these potential impacts and the measures taken to mitigate any negative impacts. The assessment of impact is based on the policies and guidelines of the relevant planning instruments.

7.2 Assessment of Impacts

Impact on Heritage Items in the Vicinity

- a. The proposed work is completely obscured by existing development surrounding the subject site and as such there is no negative impact on Heritage Items in the vicinity.
- b. The building is of significance in the development of Maitland and contributes to the significance of the Conservation Area, as such, its retention, rectification and adaptive reuse is considered positively.

Impact on the building itself and the Heritage Conservation Area

Adaptive Reuse

- c. The proposed adaptive reuse is compatible with the existing building and wider context and will contribute to the activation of the Hunter River lifestyle precinct, supplementing existing elements that offer a riverside frontage.
- d. The proposed adaptive reuse as a restaurant and bar requires minimal alteration to the existing building allowing the retention of the majority of existing, sound fabric, with new and potentially more invasive elements accommodated within a pavilion style side addition.

Existing Structure

- e. The existing building shall be retained rather than demolished as proposed within the previous Development Application for the site. This positive change will result in essential repairs, rectification and ongoing maintenance work to the building.
- f. The structure as a whole requires intervention in order to make it structurally sound before any other work can be undertaken. The proposal is to install a steel portal frame within the building in order to provide a robust skeleton to scaffold existing original fabric. This conservation approach limits the need to remove original fabric and provides a clear method for interpretation of the building, allowing clear identification between modern intervention and original fabric.

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- g. As recommended, a concept structural design is provided to support the Development Application in order to demonstrate the likely extent of new structural work, allowing for final detailing to be completed at Construction Certificate stage.
- h. The existing structure is otherwise generally to be made good to match existing in all aspects and as per the following advice. As further, detailed, investigation work is required to ascertain the condition and conservation methods most appropriate for each element, a preferred action has been identified along with a possible alternative action if necessary to meet current building codes or because a preferred action proves to be cost prohibitive:

Element	Preferred Action	Alternative Action
Sandstone Footings	Existing sandstone footings appear in sound condition and should be retained as is.	
Concrete slab floors	Concrete slab floors are not original and should be removed and replaced. New concrete floors should take care to prevent disruption to existing timber columns and should be provided with a suitable flexible joint around the perimeter to prevent damage to sandstone footings.	
Brick Walls	Existing brickwork and mortar should be tested for salts and mortar analysed to provide an appropriate lime based mortar mix for repairs. Repairs should be made to match existing in all aspects and should use existing brickwork located from within the site wherever possible. It may be necessary to source matching bricks from elsewhere however these should match existing in all aspects. Existing cement based mortar repairs should be carefully removed using an oscillating mortar saw and replaced with a more suitable lime based mortar.	Alternative actions are not suitable. Failure to test for salt and a suitable mortar composition could result in further damage or failure of rectification works.
Render	Existing renders should be sampled and analysed in order to determine a suitable mix for repairs. Render repairs should be limited to those elements already rendered and should not extend to existing brickwork that is not already rendered. Existing cement	As for brickwork.

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	based renders should be investigated and monitored to ensure they are not causing damage or deterioration of existing brickwork. Where necessary, these rendered sections should be carefully removed and replaced with a more suitable lime based render.	
Timber Columns and Beams	<p>Timber columns and beams should be retained in situ wherever possible. Traditional carpentry methods can usually be employed to repair timber in situ and where necessary, supplementary structural elements can be introduced to support members that are no longer fit for purpose.</p> <p>Retention of existing structural timber in situ is not possible in this instance - there is evidence of substantial fire damage and extensive termite damage.</p>	<p>Removal and reuse elsewhere within the building or furniture is considered reasonable in this instance as it allows the reuse of material that is no longer fit for purpose rather than total loss.</p> <p>As a measure of last resort, a timber element could be removed entirely if its condition is so poor as to result in the diminishment of the significance of the place.</p>
Timber Intermediate Floors	Timber intermediate floors and floor structures appear beyond repair and are likely to result in damage or hamper the conservation of other elements and as such should be removed.	The interpretation of intermediate floors has been considered in the layout of the new structural steel portal. This can be supported by feature lighting and through careful presentation of remnant features (ie. embedded floor joist sections) following removal of original floors.
Windows	Existing windows are not original. New timber framed windows should be introduced with reference to the historic image of the property (Figure 14), being generally double hung windows consisting of two, 6 pane, sashes.	
Doors	There are no original doors. There are no images of original doors however new doors should be interpretable as	

	such and complement the warehouse aesthetic of the original structure.	
Roof Frame	The roof frame should be inspected and supported by supplementary structure as may be necessary. Inspection was limited to ground level however there is no apparent sagging or deformation and as such it is expected that the roof frame will be relatively sound.	Existing structure should be retained and supplemented with new structure rather than replaced.
Roof Covering	As with roof framing, inspection was limited to ground level however appears sound. Repairs and or replacement as may be necessary should be in simple galvanised iron to match the original as best as possible.	
Redundant Structural Support	Redundant structural bracing, steel channels and ties should be reviewed by the structural engineer and removed if possible and following new structural stability works.	If necessary, redundant structural bracing elements could be retained in situ if they are not resulting in the deterioration of other elements.
Rainwater Goods	Existing rainwater goods are failing and should be replaced with new galvanised steel to match the original and discharge via an engineer designed system away from the building and site.	
Timber Lintels	Three timber lintels at ground floor level are evident. One above each of the eastern and southern door openings and one above the central pair of ground floor windows. These should be retained and incorporated into the proposed design in order to integrate interpretation measures into the proposal.	Operable doorways need not be provided below retained timber lintels though simple empty openings or timber doors to suit the warehouse style of the building could be fixed in place and treated as wall elements. Timber door elements are evident in similar building types of a similar age and use and should be referenced in the selection of replacement components. An example is provided within the colours

		and materials section of this report.
Bricked in Windows	To be retained as is as these are typically to the southern elevation and provide necessary fire separation from adjacent buildings. Repairs and rectification works as per brickwork.	
Stone Sills and Lintels	Stone sills and window heads should be retained and monitored. Deterioration evident on some stone elements is unlikely to result in damage of adjacent elements however some stone repairs may be required to ensure that the building is sound.	Repairs to existing stone elements is preferable to replacements. A suitably qualified and experienced stone mason should be engaged to determine a suitable conservation methodology of existing stone. If replacement is required it should match the original in all aspects.
Steel Burglar Guards	Retention in situ or removal are suitable options. Retained guards could be repaired and repainted to match the scheme. If guards are removed then the affected brickwork or mortar should be made good.	
BCA Upgrades	BCA upgrades required should be managed with as little impact as possible. It appears that windows within the southern elevation may result in fire separation issues. Preference is for a suitably designed sprinkler system to be confirmed by a fire engineer as an alternative solution to compliance with current NCC requirements.	As necessary, due to sprinklers or fire rated glazing proving cost prohibitive, windows within the southern elevation are to be bricked in, in a similar fashion to existing bricked in windows within this elevation. New brickwork should be inset to retain the shape of the original window and should allow the retention of existing stone window sills and heads. It is not expected that this will be necessary.

- i. The rectification and restoration works to the building are of high value and will enable the ongoing use, care and conservation of the building as a whole. The conservation of the building will be facilitated by granting consent for the proposed adaptive reuse.

New Interventions and Additions

- j. The proposal consists of the construction of a steel portal frame within the building in order to return structural integrity and to provide more suitable bracing to the external walls. The existing anchor plates, ties and bracing are no longer fit for purpose and could be removed.
- k. As advised by the project Contractors, Architects and Engineer, existing timber columns and beams cannot be retained and supported by new steel structure and as such shall be reused within the proposal as building or furniture elements.
- l. Other than the removal of fire or termite damaged material that cannot be kept in situ, the interior of the existing structure is to remain relatively unaltered. New restaurant and bar furniture is to be introduced however the majority of this is simple, reversible work which is positive. Consideration is to be given to the reuse of existing, sound, timber material in new restaurant fit out works. Some salvaged material from within the building may also be suitable for external furniture and features which could be explored. The retention of existing material in situ is preferred wherever possible and reused elsewhere where retention is not possible.
- m. As the suitability for retention or reuse may not be known until works are in progress, drawings make reference to this report and the table provided at page 39 to enable contractors to reference preferred actions.
- n. The proposal includes adjustments to existing openings within the northern elevation and facing Hunter River. These openings are certainly old but do not appear original, they are out of alignment with the upper levels and display the proportions of the upper level windows which have been partially bricked in and reduced in height. The ground floor window detailing does not match the other windows in the building, using simple rendered brick window heads and rendered brick sills rather than the stone used on upper levels.
- o. The central pair of windows are positioned beneath a timber lintel that appears original and matches the timber lintels visible over the eastern and southern doors. It is very likely that there was once a door in this position and whilst both sides are rendered which obscures legibility, the position and direction cracking and damage appears to support this understanding. There was previously a single storey shed structure on the northern side of the building and internal access between the two would have been facilitated by a door in this position.
- p. The introduction of three doors within the ground floor of the building is supported. These doors provide activation of the riverside and encourage people to access and appreciate this contributory element within the Conservation Area.
- q. As recommended, the central door set has been reduced in width and sized with reference to the southern and eastern openings and to sit beneath the existing timber lintel. The two door sets to either side are wider, however align centrally with the upper level windows which is positive. Bricks salvaged from these openings should be cleaned and reused in repair works elsewhere.

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- r. On the eastern elevation it appears that the two central windows may be original and that these openings should be retained with new timber windows installed. The two windows towards the northern corner appear to be later interventions and could be bricked in.
- s. The windows on the southern elevation should be retained if possible or treated as described in the previous table as may be required to meet present day construction codes, particularly for fire separation.
- t. The timber lintel and door opening at ground level on the eastern and southern elevations should be retained. The eastern opening should have suitable replacement doors installed, refer to the Colours and Materials section of this report for style, these could be fixed shut and used as a feature element behind the bar area but should remain legible as viewed from each side. The southern opening may need to be bricked in for fire separation however this brickwork should be inset to allow interpretation of the original opening or a similar door set made and fixed shut in place internally.
- u. The proposal includes new single storey addition to the east of the building. This allows the introduction of more invasive use elements with minimal impact on the original building which is positive. The proposed new pavilion is sympathetic to the original building, utilising a contrasting but complementary colour and materials palette and style that responds to the historic warehouse typology of the building suitably.
- v. The addition is diminutive and whilst elements wrap around the riverside frontage of the building, suitable articulating elements, combined with a much reduced scale ensure that the proposal doesn't detract from or diminish the significance of the original building.
- w. The awning that extends across the northern elevation ties the scheme together in a simple manner, whilst allowing a clear interpretation of the original volume.
- x. All newly introduced material, including structural portal framing internally, should be readily identifiable as such. This is apparent within the current drawings but should not be lost in the detailed design phases.
- y. The proposed development, if suitably detailed and managed in the manner presented and described within the current drawings and within this report will enable a high quality and holistic interpretation of the building that does not necessarily need the use of introduced explanatory material. The treatment of existing fabric and the detailing of altered elements and new material will provide a clear legibility that should be considered positively.
- z. Simple interpretative signage or use of 'The Bond Store' within the new use of the building could be considered in order to bolster the interpretation of the building.
- aa. It is recommended that lighting is installed within the upper levels to enable appreciation of the original volume and identify the position of intermediate floors that may no longer be evident.
- bb. The introduced steel portal frame and any retained original frame should provide a means for access to the upper levels for maintenance.
- cc. An internal ceiling to the ground floor level is not described but could be left open, or could include open joists, mesh, transparent coverings or a combination.

7.3 Views and Settings



Looking from within the eastern yard toward the property in a westerly direction.



Looking from adjacent to the eastern building line in a southern direction.



Looking from the eastern building line in an easterly direction.

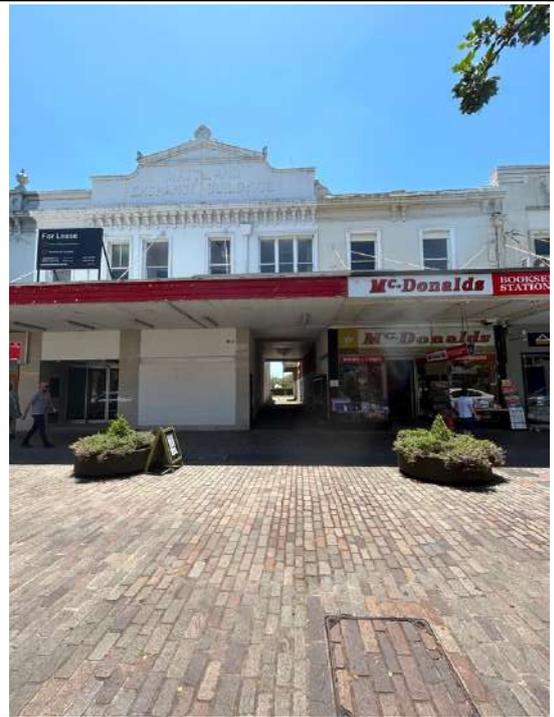


Looking from adjace to the eastern building line in a northern direction.

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Looking from the driveway access/carrageway access toward the property in a north westerly direction.



Looking from the High Street toward the driveway/carrageway access in a northerly direction.



Looking from the High Street toward the driveway/carrageway access in a northerly direction.



Looking from the intersection of Stillbury Lane and The Riverside Walk footpath, which runs behind the property in a south easterly direction.

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<p>Looking from the rear of 420 High Street, Maitland toward the property in a south easterly direction.</p>	<p>Looking toward the property from The Riverside Walk footpath in a southern direction.</p>
	
<p>Looking toward the property from The Riverside Walk footpath in a westerly direction.</p>	<p>Looking toward the property from The Riverside Walk footpath in a westerly direction.</p>
	
<p>Looking from the adjacent to the Hunter River toward the property in a southern direction.</p>	<p>Looking from adjacent to the Hunter River toward the neighbouring properties in a south easterly direction.</p>

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<p>Looking from the adjacent to the Hunter River toward the property in a south westerly direction.</p>	<p>Looking from the adjacent to the Hunter River toward the property in a south westerly direction.</p>
<p>Looking from the rear boundary along The Riverside Walk in a westerly direction.</p>	<p>Looking from the rear boundary in a north westerly direction.</p>
<p>Looking from the rear boundary in a northerly direction.</p>	<p>Looking from the rear boundary along The Riverside Walk in a south easterly direction.</p>

- a. The significance of the property or the neighbouring properties within the Conservation Area site will not be diminished as a result of the proposed development.
- b. The proposed development will not diminish the views to and from or the significance of the place, making a positive contribution to the river frontage.

7.4 Materials and Colours

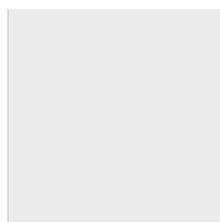
- a. The material and colour selections for the proposed additions will complement the host building whilst maintaining legibility.
- b. The proposed materials are of a contemporary design that complements the original architectural features by referencing the warehouse typology of the building whilst without detracting or mimicking the original fabric.
- c. New windows within the existing building should be timber framed with reference to the historic image provided within this report and painted a natural white colour.
- d. New windows and doors in the addition could be timber framed, steel or aluminium and coloured to match the scheme. A clear differentiation between existing and new work will assist in interpretation of the building.
- e. The following door is within the Former Cooperative Store building in Weston and is of a similar age and typology as the subject building. A similar door style, perhaps presented in two leaves rather than one should be provided to the eastern and southern door openings, whether operable or fixed shut.



- f. The following colours and materials, or similar are considered to be complementary to the surrounding urban fabric and consistent with the aims of the DCP:



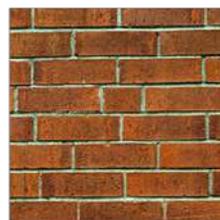
NATURAL TIMBER
TIMBER FEATURE ELEMENTS



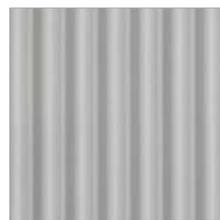
DULUX NATURAL WHITE
RENDERED ELEMENTS



CONCRETE
HARDSTAND
INTERNAL FLOOR SLAB



EXISTING BRICK
TO BE RETAINED AND
RESTORED



EXISTING ROOF
TO BE RETAINED AND
RESTORED



COR-TEN STEEL
PROPOSED NEW ADDITION

8. RECOMMENDATIONS AND CONCLUSIONS

The following conclusions are made based on the assessment of heritage impact:

- a. The proposal is sympathetic to the character of the Central Maitland Heritage Conservation Area.
- b. The proposal will not reduce the significance of the Conservation Area or the contribution that the site makes to it but will rather facilitate conservation of the building and enhance its contribution within the Conservation Area.
- c. The design meets the objectives of the DCP and will sit well within the Central Maitland Heritage Conservation Area.
- d. A number of recommendations and advice items have been provided within the report and should be referenced within the final design for Development Approval and reviewed in the development of Construction Certificate documentation.
- e. This report shall be read in conjunction with the final development application drawings and Statement of Environmental Effects.
- f. The final assessment is that based on the considerations within this Statement of Heritage Impact, the proposal should be approved.



Jason Penhall
CONTEMPORARY HERITAGE



Jadine Penhall

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