

Lot 12
455.99m²
Lot 11
603.90m²

Real Property Description
Subdivision of Lots 211 and 212 in DP1283787 into lots 11 and 12 (see subdivision plan)

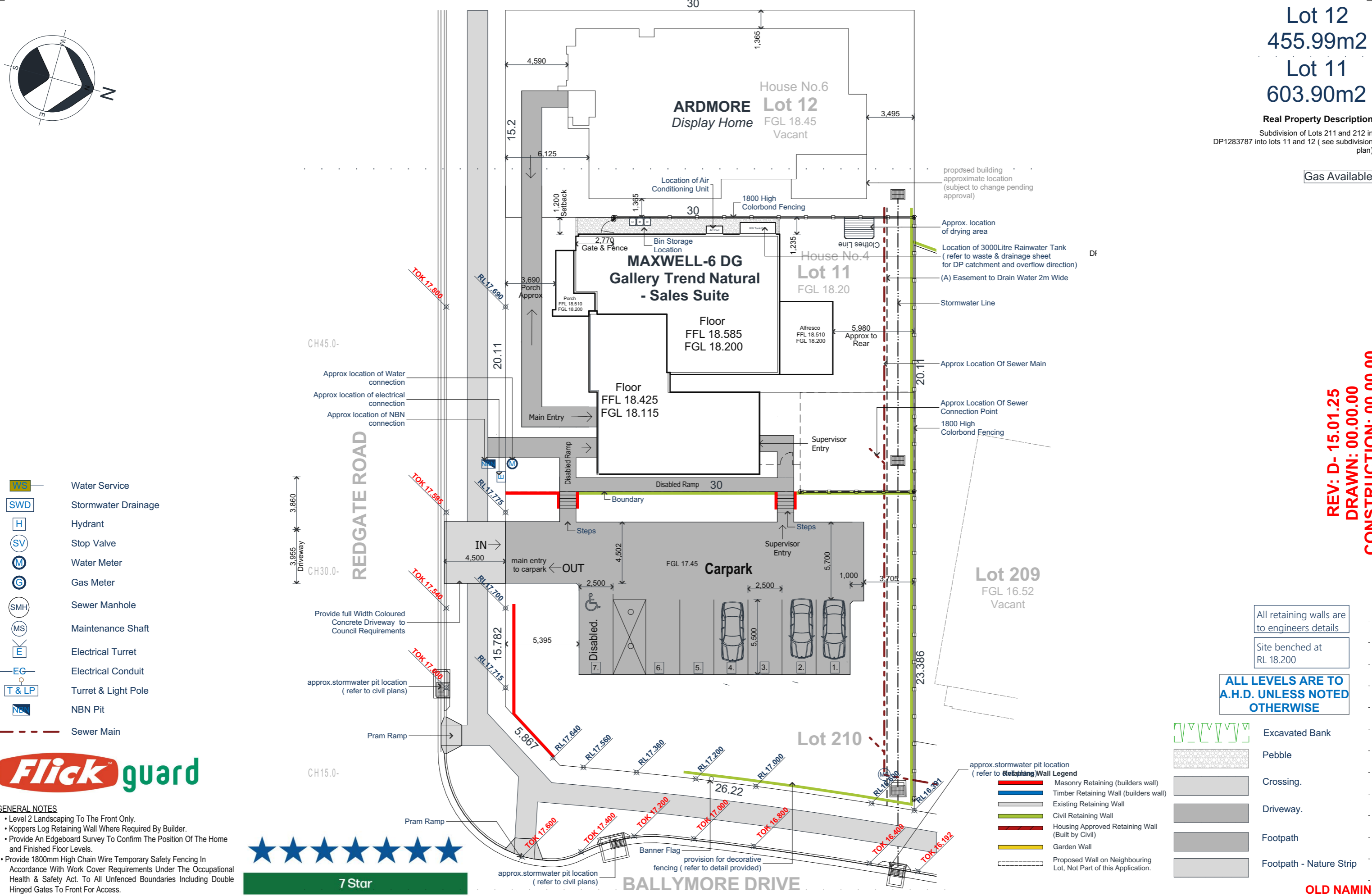
Gas Available

- Water Service
- Stormwater Drainage
- Hydrant
- Stop Valve
- Water Meter
- Gas Meter
- Sewer Manhole
- Maintenance Shaft
- Electrical Turret
- Electrical Conduit
- Turret & Light Pole
- NBN Pit
- Sewer Main



GENERAL NOTES

- Level 2 Landscaping To The Front Only.
- Koppers Log Retaining Wall Where Required By Builder.
- Provide An Edgeboard Survey To Confirm The Position Of The Home and Finished Floor Levels.
- Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act. To All Unfenced Boundaries Including Double Hinged Gates To Front For Access.



REV: D- 15.01.25
 DRAWN: 00.00.00
 CONSTRUCTION: 00.00.00

All retaining walls are to engineers details

Site benched at RL 18.200

ALL LEVELS ARE TO A.H.D. UNLESS NOTED OTHERWISE

- Excavated Bank
- Pebble
- Crossing.
- Driveway.
- Footpath
- Footpath - Nature Strip

- approx.stormwater pit location (refer to Retaining Wall Legend)
- Masonry Retaining (builders wall)
 - Timber Retaining Wall (builders wall)
 - Existing Retaining Wall
 - Civil Retaining Wall
 - Housing Approved Retaining Wall (Built by Civil)
 - Garden Wall
 - Proposed Wall on Neighbouring Lot, Not Part of this Application.

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960



Allam Homes Pty Limited
Level 3, 11 Brookhollow Ave.
Norwest 2153, NSW
ACN 003 798 883 ABN 33 003 798 883
Ph 02 47322422 Fx 02 47211811
www.allam.com.au

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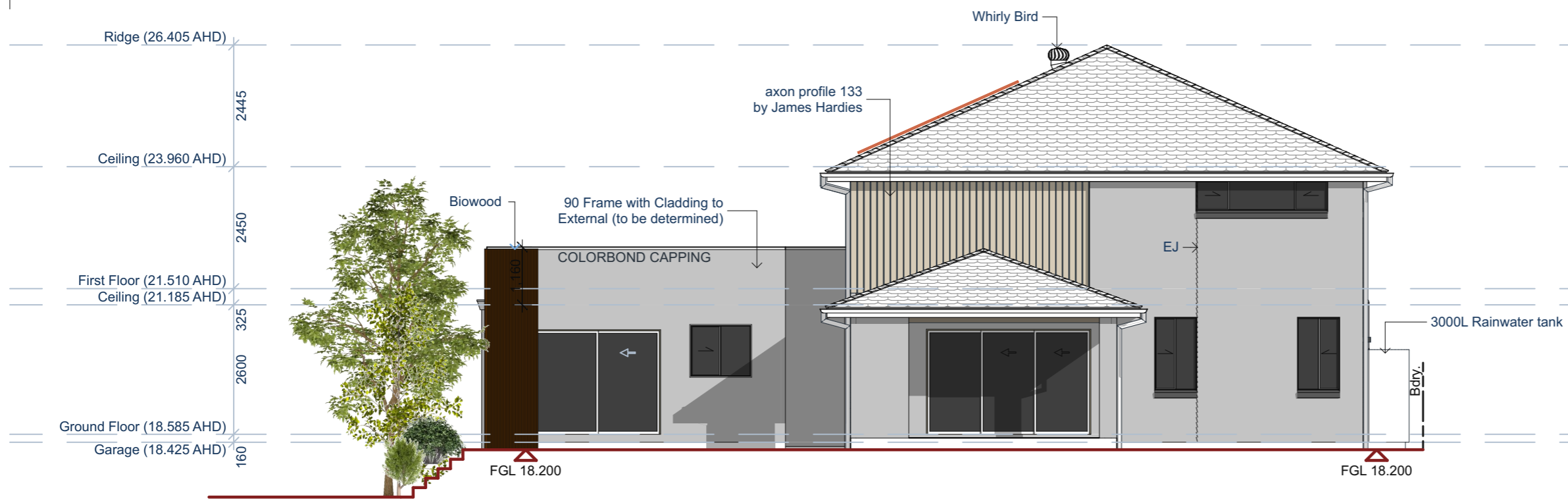
MAXWELL-6 DG
Gallery Trend Natural

Site Address
Allam Homes Pty Ltd
Lot 11 & 12 Redgate Road
Sophia Waters (Chisholm), NSW

SITE INSTRUCTIONS		Site - Sales Suite		Last Amended	Scale
GENERAL:	0	09.03.22	Revision/Date/Version	RS/FO	1:200
HOUSE:	0	09.03.22	D- 15.01.25.v22	Job No	Sheet
			2MX6129800	54506	01.04

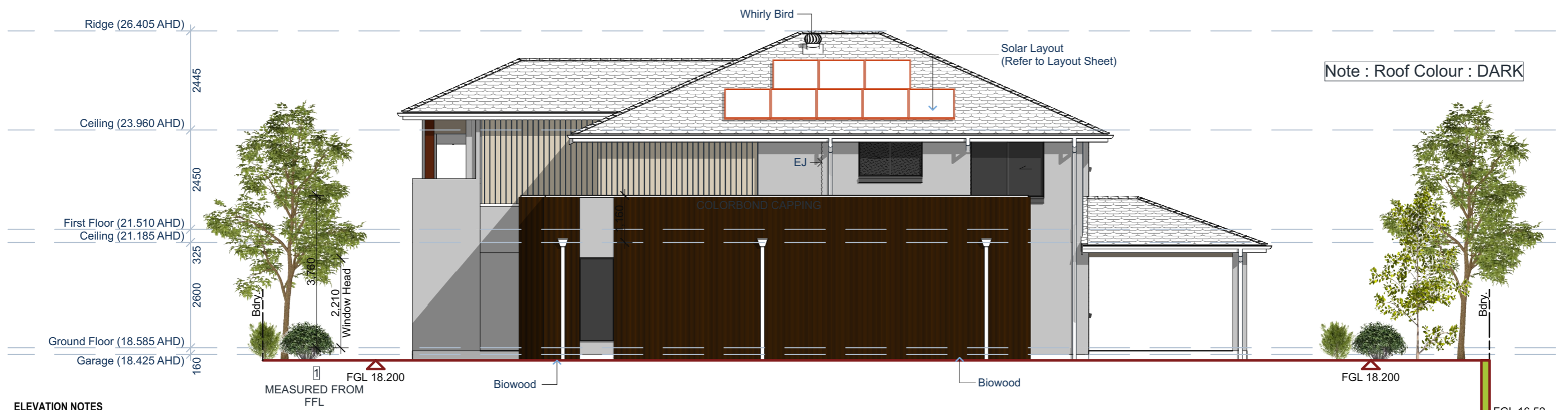
OLD NAMING

To Provide 138 on Reveals
Battens At 35mm



Note : Roof Colour : DARK

North Elevation (A)



Note : Roof Colour : DARK

East Elevation (B)

- ELEVATION NOTES**
- Indicates Obscure Glazing (To be read in conjunction with floor plans)
 - * Locate expansion joints in accordance with Clause 5.6.8 of NCC and located behind downpipes where possible.
 - * All verges 200mm unless otherwise noted
 - * Provide brick threshold and cover strip to head of sliding aluminium doors.
 - * Provide cover strips around entry doors
 - * Refer To Floor Plans for restricted window openings.
 - * Wall wrap to be in accordance with Clause 10.8.1 of the NCC and AS4200.1 and installed to comply with AS4200.2
 - * Lightweight cladding to be installed over 35mm battens to timber frame

REV: D- 15.01.25
DRAWN: 00.00.00
CONSTRUCTION: 00.00.00



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	Allam Homes Pty Limited Level 3, 11 Brookhollow Ave. Norwest 2153, NSW ACN 003 798 883 ABN 33 003 798 883 Ph 02 47322422 Fx 02 47211811 www.allam.com.au	ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.	MAXWELL-6 DG <i>Gallery Trend Natural</i>		Site Address Allam Homes Pty Ltd Lot 11 No.4 Redgate Road Sophia Waters (Chisholm), NSW		SITE INSTRUCTIONS Elevation A/B - Sales Suite		Last Amended RS/FO		Scale 1:100			
					GENERAL: 0 09.03.22		Revision/Date/Version D- 15.01.25.v22		Serial 2MX6129800		Job No 54506		Sheet 01.09	
					HOUSE: 0 09.03.22									

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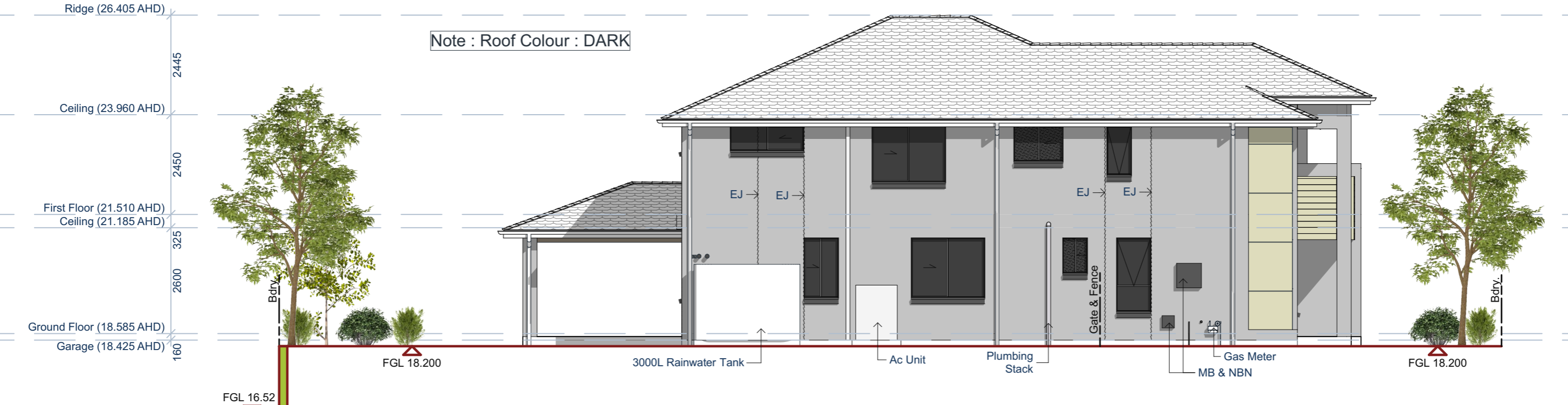
To Provide 138 on Reveals
Battens At 35mm

Note : Roof Colour : DARK



South Elevation (C)

Note : Roof Colour : DARK



West Elevation (D)

ELEVATION NOTES

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REV: D- 15.01.25
DRAWN: 00.00.00
CONSTRUCTION: 00.00.00



7 Star

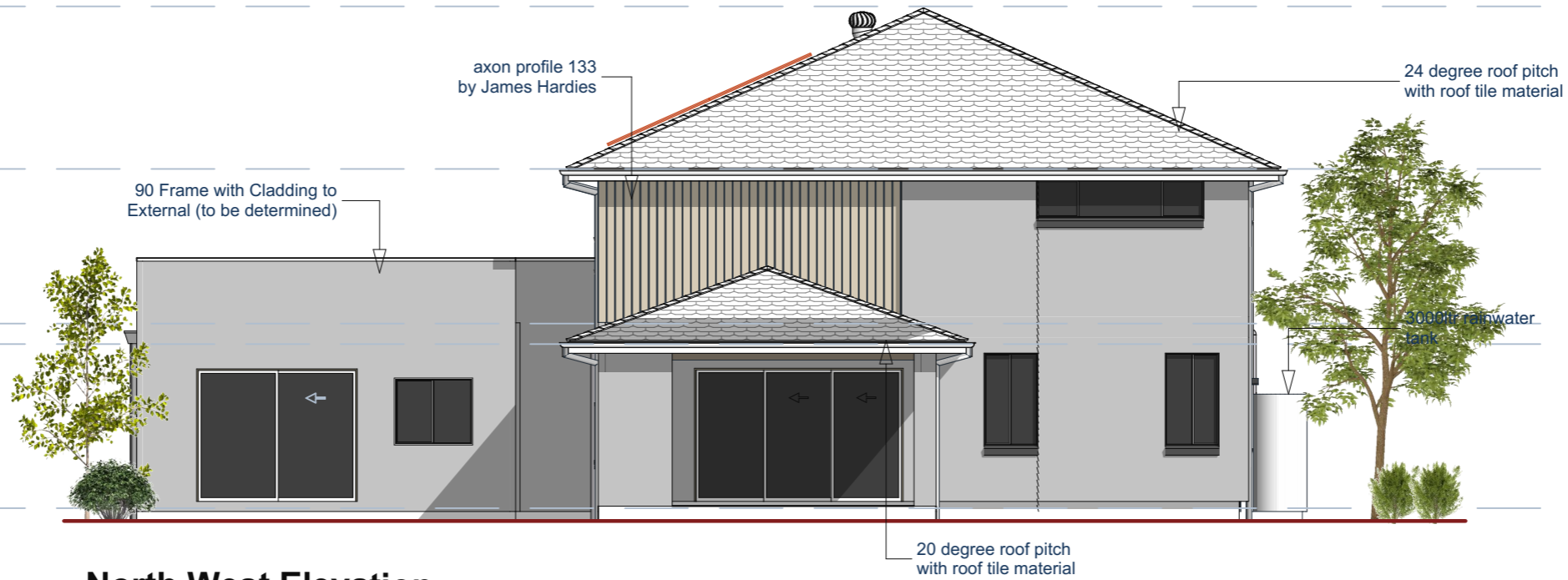
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					GENERAL: 0 09.03.22	Revision/Date/Version D- 15.01.25.v22	Serial 2MX6129800	Job No 54506		
					HOUSE: 0 09.03.22	Revision/Date/Version D- 15.01.25.v22	Serial 2MX6129800	Job No 54506		

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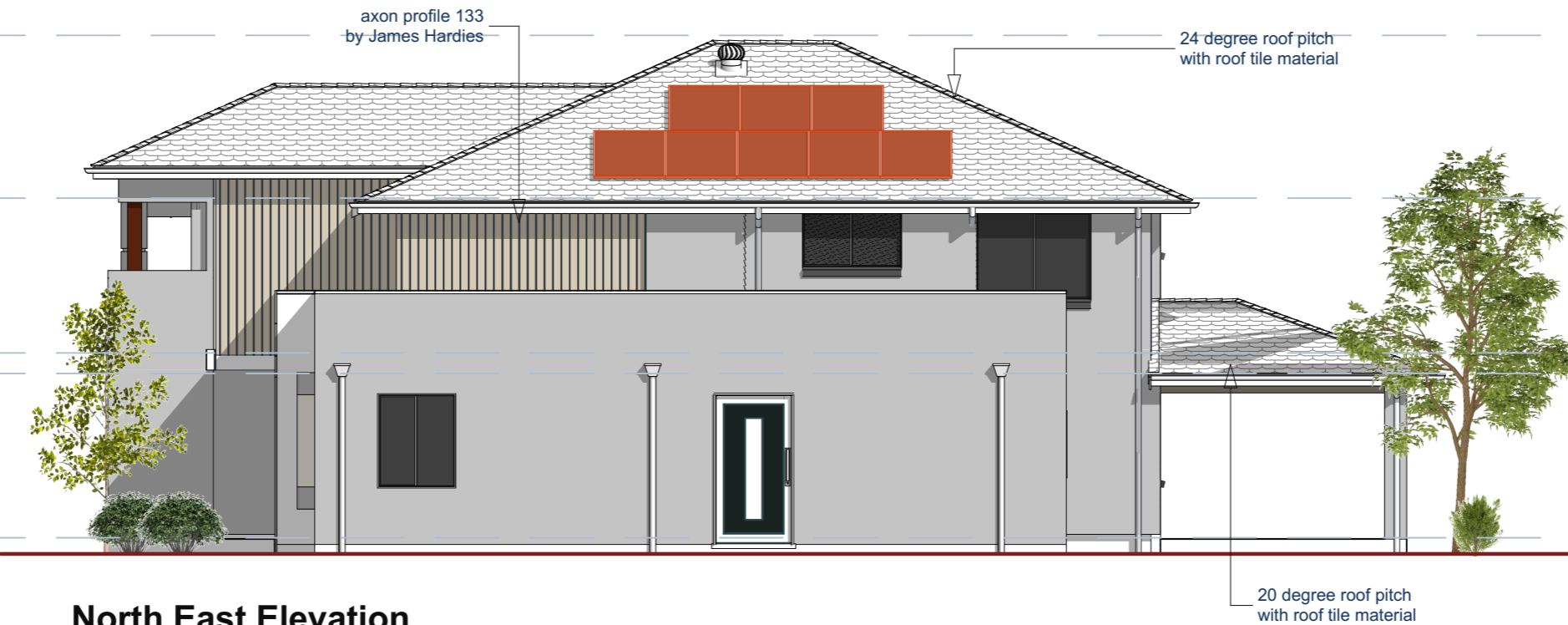
Lot 211 - Granny Flat design:
Standard SG Glazing: Default Generic
 • Throughout:- Aluminium Framed // Single Glazed // Clear or Obscure
 • Front Entry Door:- Timber Framed // Single Glazed // Glazing insert over 25%

Ridge (26.536 AHD)
 2576
 Ceiling (23.960 AHD)
 2450
 First Floor (21.510 AHD)
 Ceiling (21.185 AHD)
 325
 2600
 Ground Floor (18.585 AHD)



North West Elevation

Ridge (26.536 AHD)
 2576
 Ceiling (23.960 AHD)
 2450
 First Floor (21.510 AHD)
 Ceiling (21.185 AHD)
 325
 2600
 Ground Floor (18.585 AHD)



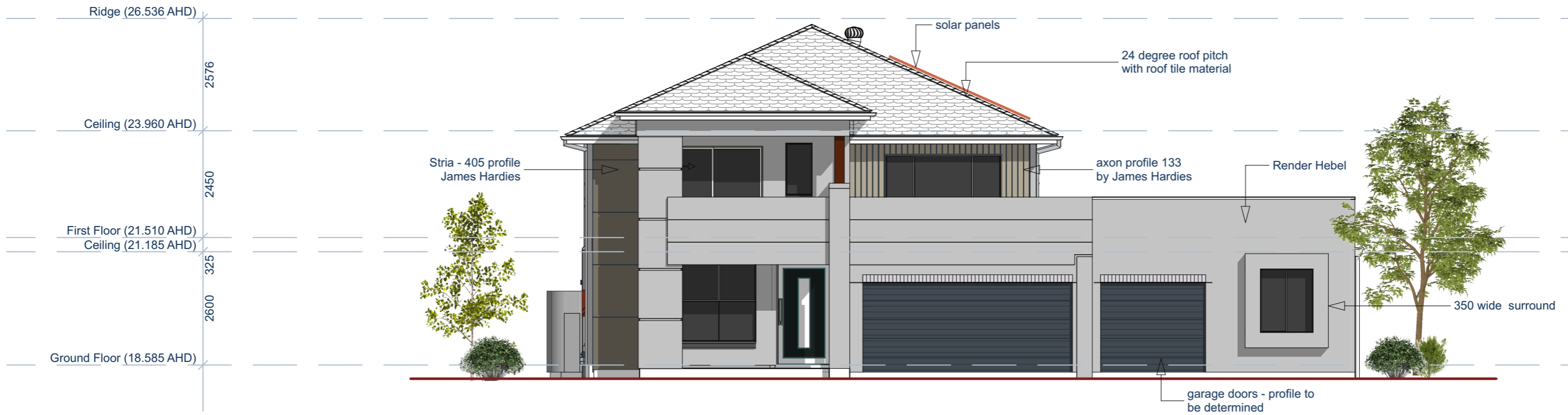
North East Elevation

- ELEVATION NOTES**
- Indicates Obscure Glazing (To be read in conjunction with floor plans)
 - * Locate expansion joints in accordance with Clause 5.6.8 of NCC and located behind downpipes where possible.
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 - * Provide cover strips around entry doors
 - * Refer To Floor Plans for restricted window openings.
 - * Wall wrap to be in accordance with Clause 10.8.1 of the NCC and AS4200.1 and installed to comply with AS4200.2
 - * Lightweight cladding to be installed over 35mm battens to timber frame

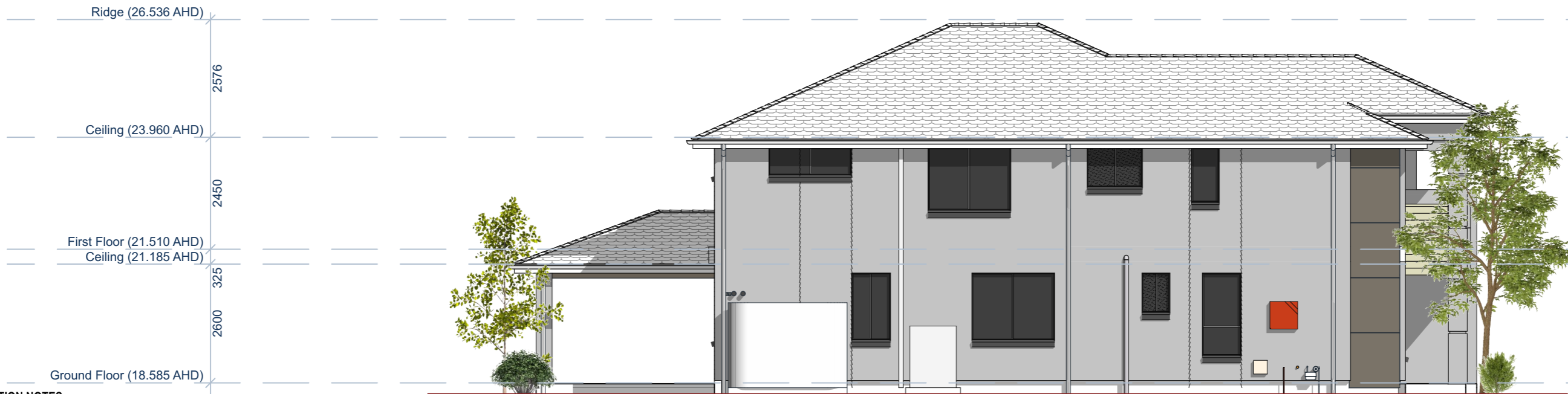
REV: D- 15.01.25
 DRAWN: 00.00.00
 CONSTRUCTION: 00.00.00



Lot 211 - Granny Flat design:
Standard SG Glazing: Default Generic
 • Throughout:- Aluminium Framed // Single Glazed // Clear or Obscure
 • Front Entry Door:- Timber Framed // Single Glazed // Glazing insert over 25%



South East Elevation



South West Elevation

ELEVATION NOTES

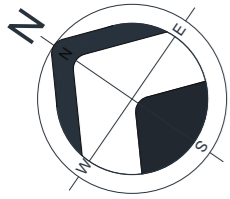
- ▣ Indicates Obscure Glazing
(To be read in conjunction with floor plans)
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REV: D- 15.01.25
DRAWN: 00.00.00
CONSTRUCTION: 00.00.00



7 Star

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	GENERAL:	0	09.03.22	Revision/Date/Version	Serial	Job No	Sheet			
	HOUSE:	0	09.03.22	D- 15.01.25.v22	2MX6129800	54506	01.18			



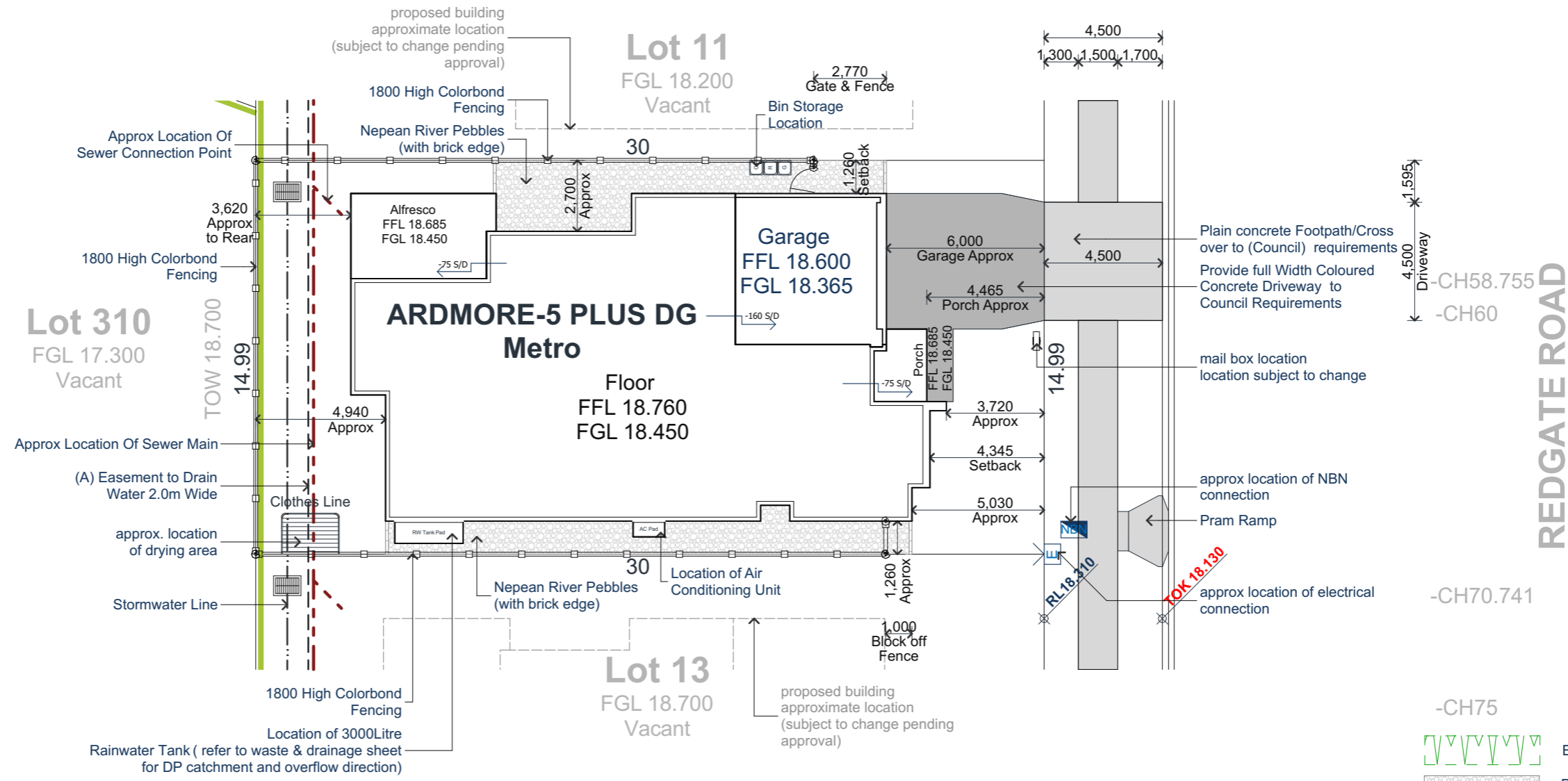
Lot 12 449.70m²

Real Property Description

Proposed Lot 12
Within Proposed Subdivision (Unregistered)
Parent Lot Details:
Lot No. 12 Within DP No.1283071

Gas Available

- Water Service
- Stormwater Drainage
- Hydrant
- Stop Valve
- Water Meter
- Gas Meter
- Sewer Manhole
- Maintenance Shaft
- Electrical Turret
- Electrical Conduit
- Turret & Light Pole
- NBN Pit
- Sewer Main



REV: B- 16.01.25
Pre-Approval

REVISION TO DRAWING
A. 26.9.24 RSA CC Drawings Complete
B 16.01.25 RSA Lot number have changed to Lot 12



- GENERAL NOTES**
- Level 2 Landscaping To The Front Only.
 - Koppers Log Retaining Wall Where Required By Builder.
 - Provide An Edgeboard Survey To Confirm The Position Of The Home and Finished Floor Levels.
 - Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act. To All Unfenced Boundaries Including Double Hinged Gates To Front For Access.



ALL LEVELS ARE TO
A.H.D. UNLESS NOTED
OTHERWISE

All retaining walls are
to engineers details
Site benched at
RL 18.450

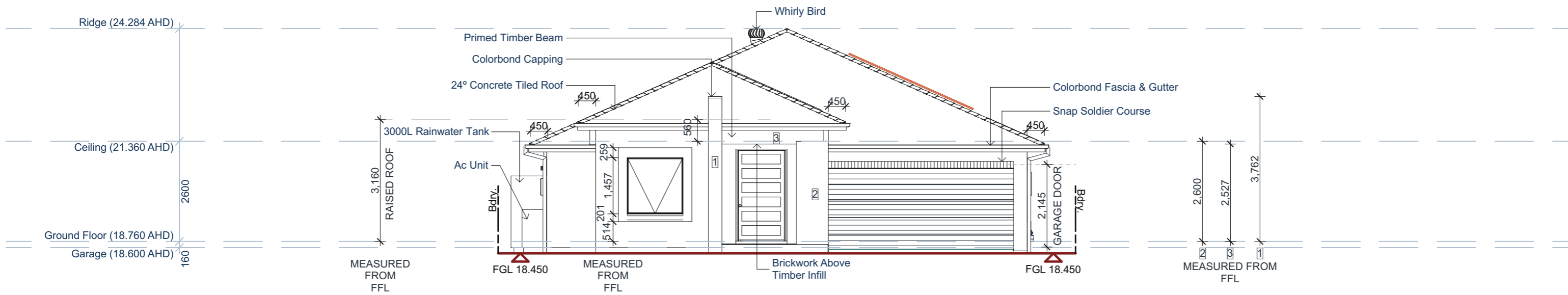
- Retaining Wall Legend**
- Masonry Retaining (builders wall)
 - Timber Retaining Wall (builders wall)
 - Existing Retaining Wall
 - Civil Retaining Wall
 - Housing Approved Retaining Wall (Built by Civil)
 - Garden Wall
 - Proposed Wall on Neighbouring Lot, Not Part of this Application.
- Excavated Bank
 - Pebble
 - Crossing.
 - Driveway.
 - Footpath
 - Footpath - Nature Strip
- NOTE: Refer to Fencing & Retaining Plan for Retaining Heights and TOW/BOW Levels

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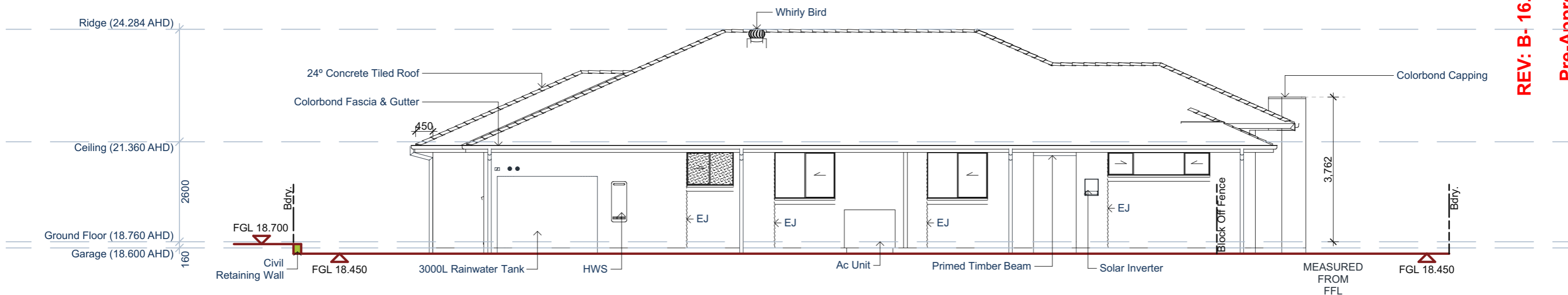
	Allam Homes Pty Ltd Level 3, Offices 36-42 11 Brookhollow Ave. Norwest 2153, NSW ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au		ARDMORE-5 PLUS DG Metro		Site Address Allam Homes Pty Ltd Lot 12 Redgate Road Chisholm (Sophia Waters), NSW		SITE INSTRUCTIONS Site		Last Amended RSA/JJC	Scale 1:200
	© 2024 Allam Homes Pty Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS		NCC 2022-OCT COMPLIANT (B)		Revision/Date/Version B- 16.01.25.v22		Serial 1A051040FA		Job No 54507	Sheet 1.2
	© 2024 Allam Homes Pty Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS		NCC 2022-OCT COMPLIANT (B)		Revision/Date/Version B- 16.01.25.v22		Serial 1A051040FA		Job No 54507	Sheet 1.2

OLD NAMING

To Provide 138 on Reveals
Battens At 35mm



South East Elevation (A)



South West Elevation (B)

ELEVATION NOTES

- Indicates Obscure Glazing (Refer floor plans/window schedule)
- * Locate expansion joints in accordance with Clause 5.6.8 of NCC and located behind downpipes where possible.
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- * Wall wrap to be in accordance with Clause 10.8.1 of the NCC and AS4200.1 and installed to comply with AS4200.2
- * Lightweight cladding to be installed over 35mm battens to timber frame

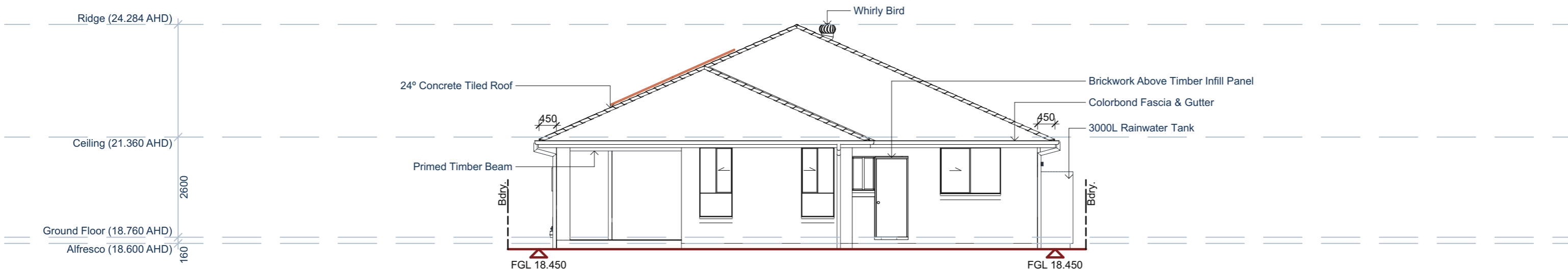
REV: B- 16.01.25
Pre-Approval



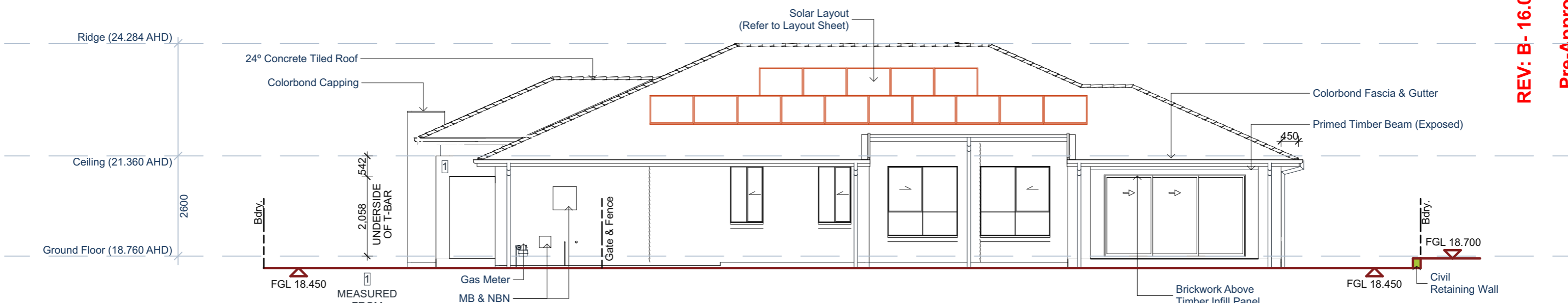
7 Star

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<p>ALLAM PROPERTY GROUP</p>	Allam Homes Pty Ltd Level 3, Offices 36-42 11 Brookhollow Ave. Norwest 2153, NSW ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au	ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.	ARDMORE-5 PLUS DG <i>Metro</i>		Site Address Allam Homes Pty Ltd Lot 12 Redgate Road Chisholm (Sophia Waters), NSW		Elevation A/B		Last Amended RSA/JJC	Scale 1:100	
			SITE INSTRUCTIONS GENERAL: F 01.08.21 HOUSE: A 07.01.22		Revision/Date/Version B- 16.01.25.v22		Serial 1AO51040FA		Job No 54507		Sheet 1.4
			© 2024 Allam Homes Pty Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS								

To Provide 138 on Reveals
Battens At 35mm



North West Elevation (C)



North East Elevation (D)

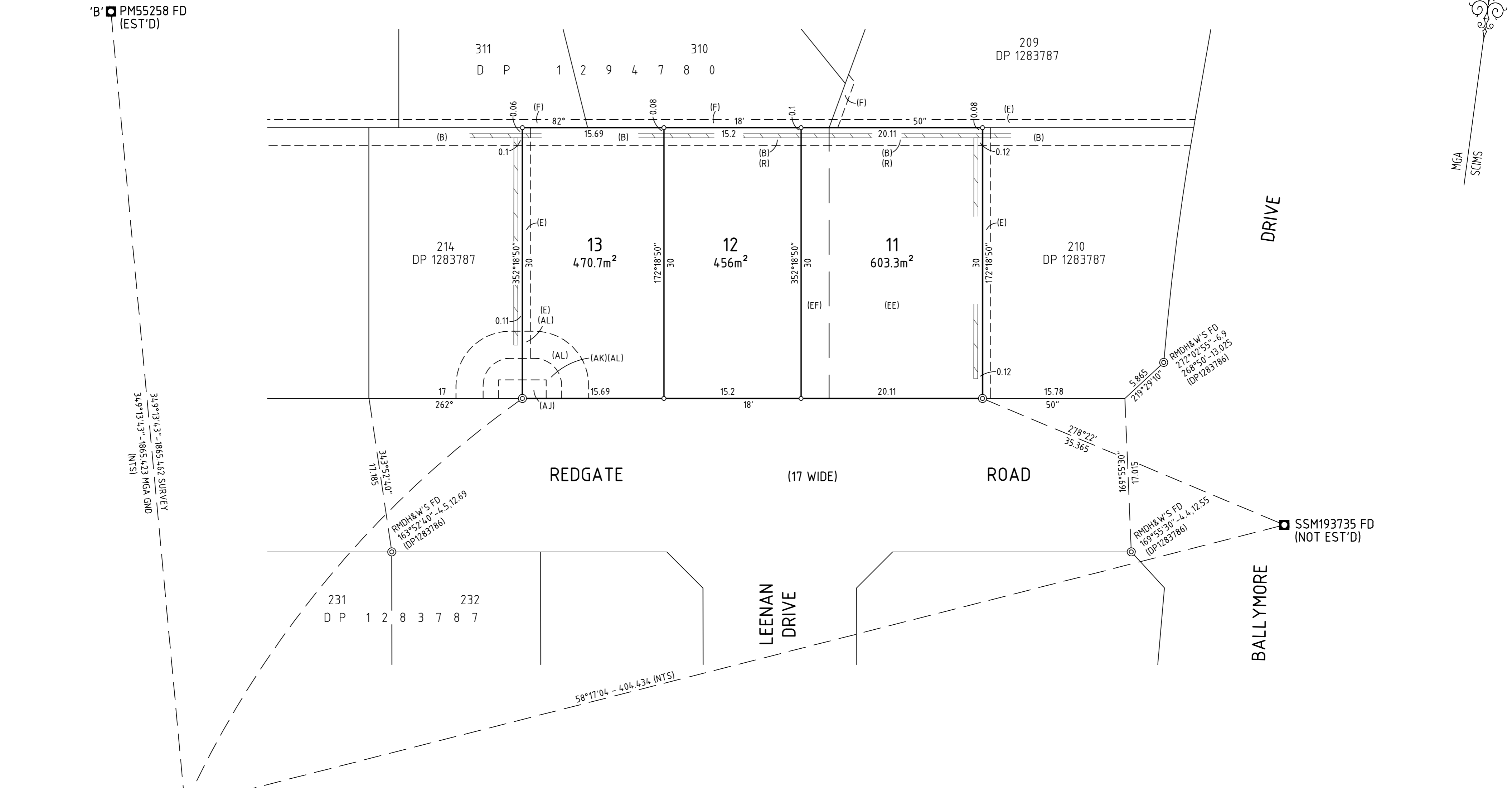
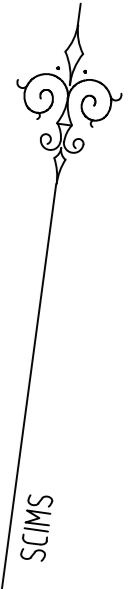
REV: B- 16.01.25
Pre-Approval

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	SITE INSTRUCTIONS		Revision/Date/Version		Serial		Job No		Sheet		1.5	
	GENERAL:	F	01.08.21	B- 16.01.25.v22		1AO51040FA		54507				
HOUSE:	A	07.01.22										



MARK	MGA CO-ORDINATES		CLASS	PU	METHOD	STATE
	EASTING	NORTHING				
PM55258	372 872.091	6 375 921.971	B	0.02	FROM SCIMS	FOUND
PM83573	373 220.645	6 374 089.798	B	0.02	FROM SCIMS	FOUND
SSM58479	372 623.871	6 374 103.797	B	0.02	FROM SCIMS	FOUND
SSM193735	373 564.26	6 374 300.99	D	-	EDM TRAVERSE	FOUND
DATE OF SCIMS COORDINATES: 18-11-2024			MGA ZONE: 56		MGA DATUM: 2020	
COMBINED SCALE FACTOR: 0.999791						

NOTE: ALL RETAINING WALLS ARE IRREGULAR CONCRETE SLEEPER RETAINING WALLS

(B) EASEMENT TO DRAIN WATER 2 WIDE (NO.2) (DP1283787)
 (E) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9 WIDE (NO.3) (DP1283787)
 (F) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9 WIDE (NO.4) (DP1283787)
 (A,J) EASEMENT FOR ELECTRICITY AND OTHER PURPOSES 5.3 WIDE (DP1283786)
 (AK) RESTRICTION ON THE USE OF LAND (No.10) (DP1283786)
 (AL) RESTRICTION ON THE USE OF LAND (No.11) (DP1283786)
 (EE) BENEFITED BY (E) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9 WIDE (No.3)(DP1283787)
 (EF) BENEFITED BY (F) EASEMENT FOR SUPPORT AND MAINTENANCE 0.9 WIDE (No.4)(DP1283787)
 (R) EASEMENT TO DRAIN WATER 2 WIDE

PRELIMINARY ONLY

THIS PLAN IS PRELIMINARY ONLY AND IS SUBJECT TO COUNCIL APPROVAL, FINAL DESIGN, CONSTRUCTION, FINAL SURVEY AND REGISTRATION AT NSW LAND REGISTRY SERVICES. EASEMENTS, POSITIVE COVENANTS AND RESTRICTIONS ON THE USE OF LAND MAY BE CREATED UPON REGISTRATION OF THE PLAN WHICH ARE NOT SHOWN IN THIS PRELIMINARY VERSION OF THE PLAN.

SURVEYOR Name: MURRAY PAUL EDWARDS Date: JANUARY 2025 (DA) Reference: 240294-DP-006-A	PLAN HEADING PLAN OF SUBDIVISION OF LOTS 211, 212 & 213 DP 1283787	L.G.A.: MAITLAND Locality: CHISHOLM Reduction Ratio 1: 300 Lengths are in metres	REGISTERED
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