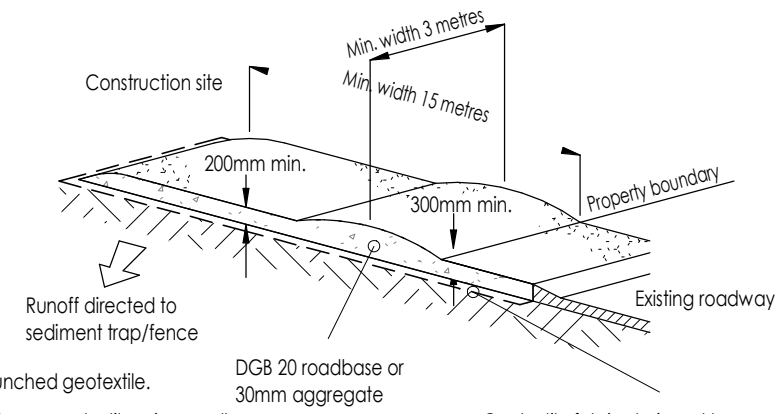
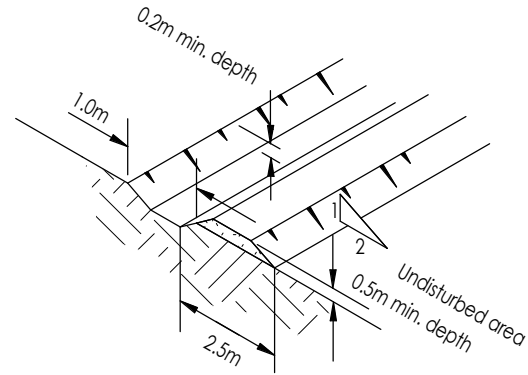


All erosion and sediment control measures required as conditions of building approval to be installed prior to any other work such as cut and fill taking place on site. These measures to be maintained throughout the course of construction and satisfactory stabilisation of the site upon completion of the works.

Control measures to be in accordance with Council's information brochure, and the Department of Conservation and Land Management.

All sediment control techniques including runoff diversion techniques, sediment trapping devices, construction of entrances/exits, buffer zones and revegetation techniques shall be constructed to prevent sediment and other debris leaving the site or entering council drainage system. All such control measures to be maintained in a sound and workable condition and shall not be removed from site until permanent rehabilitation measures have been completed.



- Construction Notes
- Strip topsoil and level site.
  - Compact subgrade.
  - Cover area with needle-punched geotextile. DGB 20 roadbase or 30mm aggregate
  - Construct 200mm thick pad over geotextile using roadbase or 300mm aggregate. Minimum length 15 metres or to building alignment. Minimum width 3 metres.
  - Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap.

Geotextile fabric designed to prevent intermixing of subgrade and base materials and to maintain good properties of the sub-base layers

Geofabric may be a woven or needle punched product with a minimum CBR burst strength (AS3706.4-90) or 2500 N.

**LEGEND**

- BOUNDARY LINE
- ADJACENT BOUNDARY
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- RETAINING WALL
- FENCE LINE
- DRAINAGE LINE
- DRAINAGE PIT
- TAP
- WATER METER
- SEWER MAN HOLE
- SEWER INSPECTION POINT
- TELSTRA PIT
- DENOTES TREE
- R - RIDGE
- G - GUTTER

**Certificate No. 0011535440**

Scan QR code or follow website link for rating details.

Assessor name: Leanne Chadban

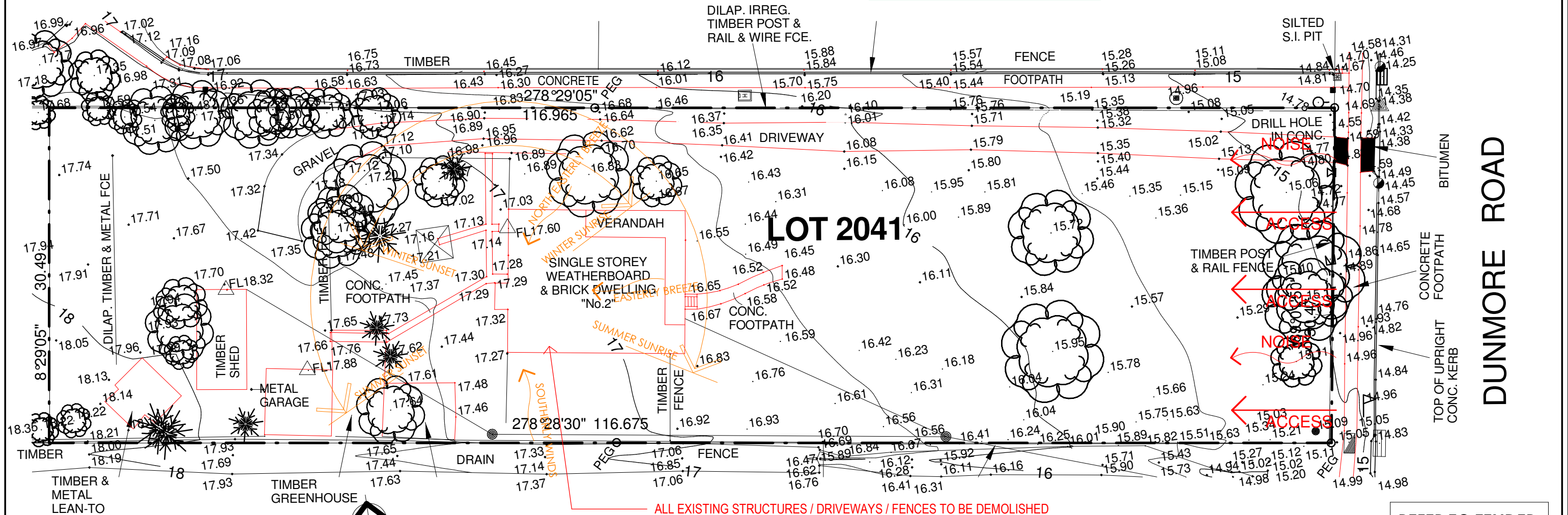
Accreditation No.: DMN/17/1819

Property Address: 2 Dunmore Street, Largs NSW, 2320

QR Code

hstar.com.au/QR/Generate?r=NipbsNcx

# EROSION CONTROL



SITE ANALYSIS & DEMOLITION PLAN  
1: 350

REFER TO TENDER

STRATA TITLE SUBDIVISION

**VALLEY HOMES**  
SINCE 1971

MAMBARE PTY LTD T/A VALLEY HOMES  
A.C.N. 000 939 980  
www.valleyhomes.com.au

457 HIGH STREET, MAITLAND, 2320  
PHONE: (02) 49341400  
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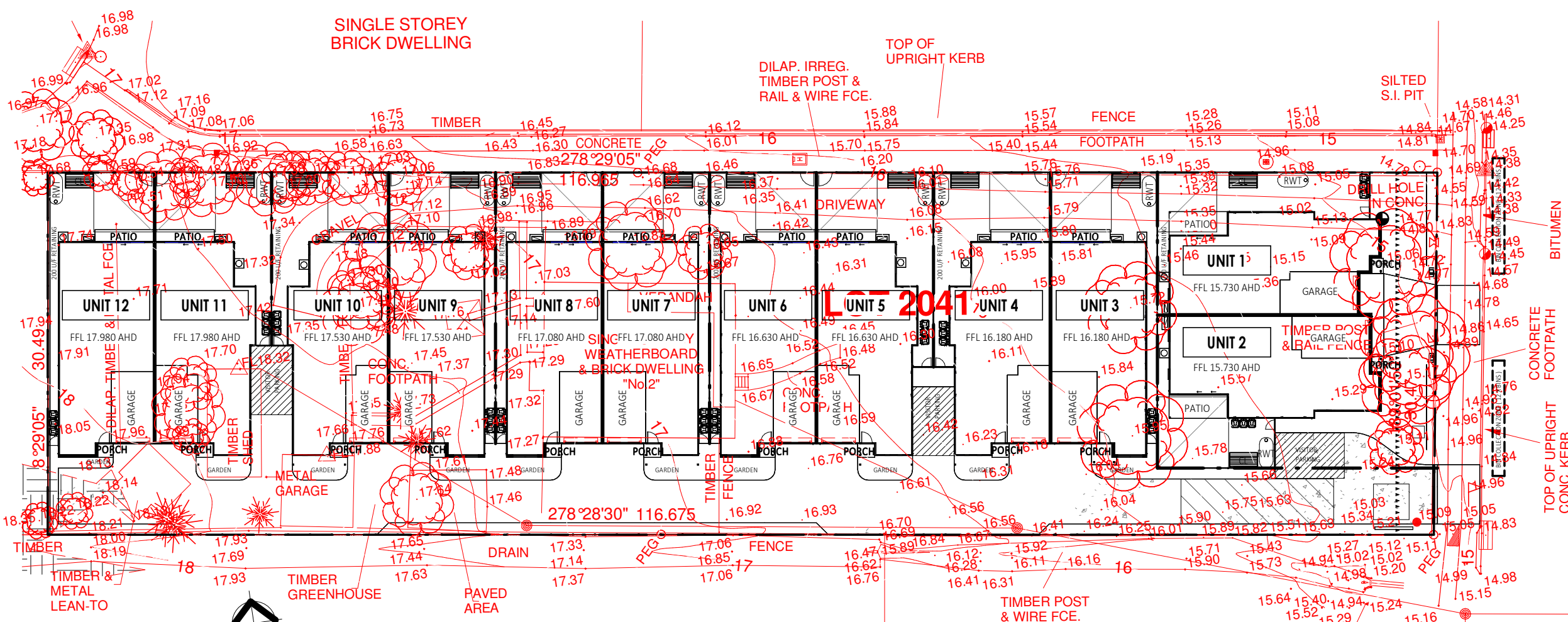
No.	Date	Description	Drn
A	30.08.24	ISSUED FOR DA APPLICATION	GR
B	15.01.25	ISSUED FOR DA APPLICATION	GR

FOR: **LARGS PROPERTY PTY LTD**

AT: **LOT 2041 / DP 1308508  
2 DUNMORE ROAD  
LARGS  
NSW 2320**

Sheet Title: **SITE ANALYSIS, EROSION CONTROL**

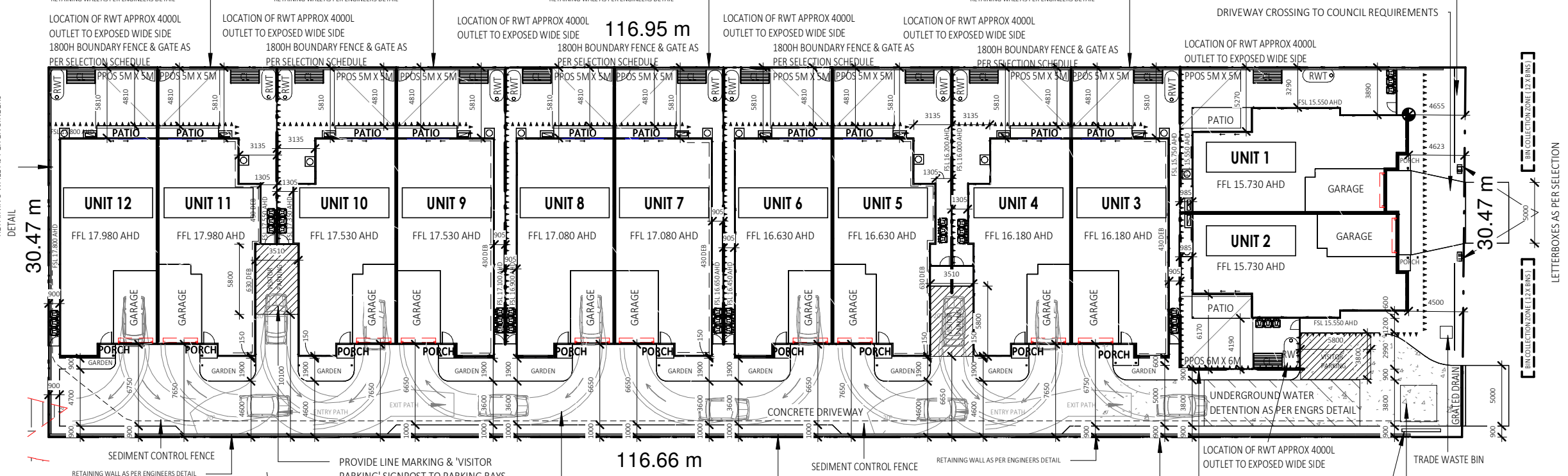
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Drawn by	GR	Checked	GR	Design
Checked by Owner	Date	Signed by Builder	Drawing No.	24013
				Rev B
				A10.0.1



**LEGEND**

- BOUNDARY LINE
- ADJACENT BOUNDARY
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- RETAINING WALL
- FENCE LINE
- DRAINAGE LINE
- DRAINAGE PIT
- TAP
- WATER METER
- SEWER MAN HOLE
- SEWER INSPECTION POINT
- TELSTRA PIT
- DENOTES TREE
- R - RIDGE
- G - GUTTER

**BULK EARTHWORKS**  
1 : 400



**SITE SETOUT PLAN**  
1 : 400

**HARDSTAND - UNIT 1 - 12**

HARDSTAND	2479.74 m <sup>2</sup>	70%
PERMEABLE	1084.17 m <sup>2</sup>	30%
<b>SITE AREA</b>	<b>3563.91 m<sup>2</sup></b>	

**LEGEND - KEYNOTES ( REFER SPECIFICATIONS )**

CL	CLOTHES LINE AS SELECTED
RWT	RAINWATER TANK

**PRIVATE OPEN SPACE( 40m2 REQ/UNIT)**

POS UNIT 1	56.09 m <sup>2</sup>
POS UNIT 2	48.39 m <sup>2</sup>
POS UNIT 3	52.29 m <sup>2</sup>
POS UNIT 4	57.22 m <sup>2</sup>
POS UNIT 5	57.22 m <sup>2</sup>
POS UNIT 6	52.29 m <sup>2</sup>
POS UNIT 7	52.29 m <sup>2</sup>
POS UNIT 8	52.29 m <sup>2</sup>
POS UNIT 9	52.26 m <sup>2</sup>
POS UNIT 10	57.25 m <sup>2</sup>
POS UNIT 11	57.20 m <sup>2</sup>
POS UNIT 12	52.32 m <sup>2</sup>
<b>TOTAL POS</b>	<b>647.10 m<sup>2</sup></b>

**REFER TO TENDER**

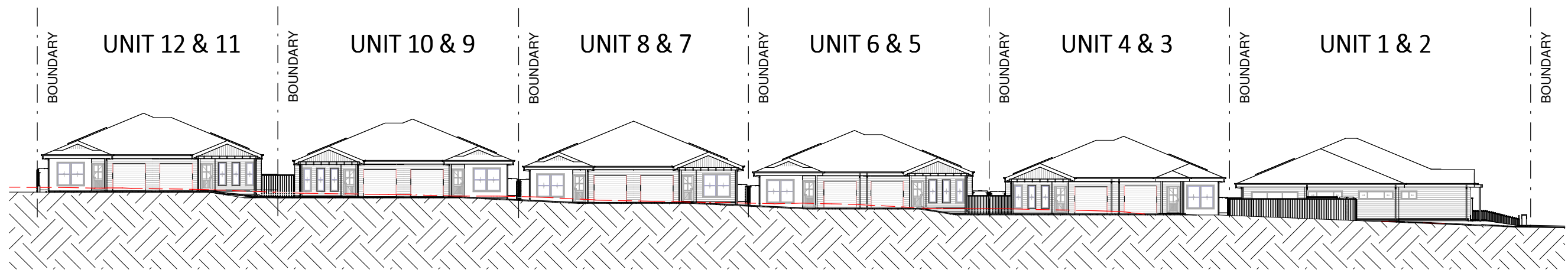
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No.	Date	Description	Drn
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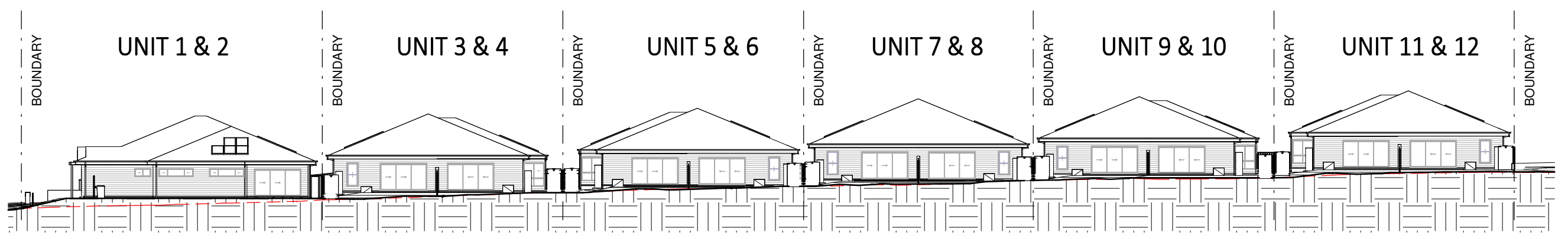
**Certificate No. 0011535440**  
 Scan QR code or follow website link for rating details.  
 Assessor name Leanne Chadban  
 Accreditation No. DMN/17/1819  
 Property Address 2 Dunmore Street, Largs  
 NSW, 2320  
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LEGEND - KEYNOTES ( REFER SPECIFICATION...



FRONT ELEVATION / DRIVEWAY PROFILE  
 1 : 350



REAR ELEVATION  
 1 : 350

**REFER TO TENDER**

**STRATA TITLE SUBDIVISION**



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FOR: **LARGS PROPERTY PTY LTD**  
 AT: LOT 2041 / DP 1308508  
 2 DUNMORE ROAD  
 LARGS  
 NSW 2320

Sheet Title  
**DRIVEWAY ELEVATIONS**

Date	16.08.23	Scale	As indicated	@ A3
Drawn by	GR	Checked	GR	Design
Checked by Owner	Date	Signed by Builder	Drawing No.	24013
				Rev B
				A18.0.1



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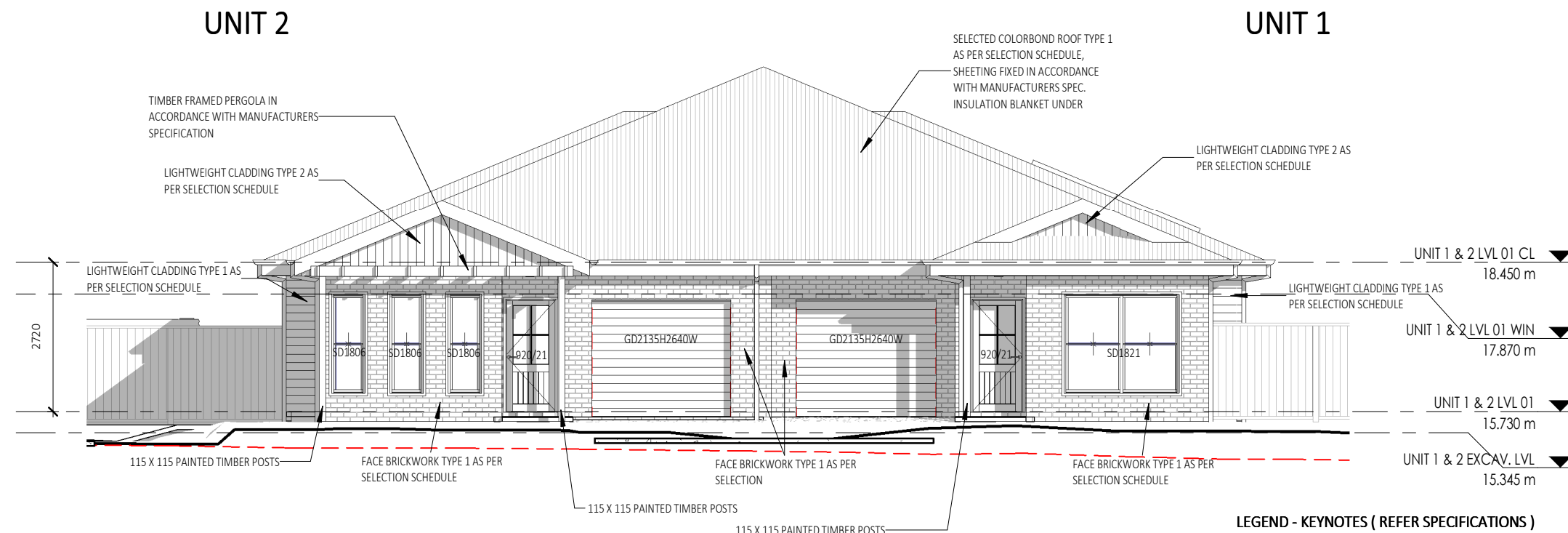
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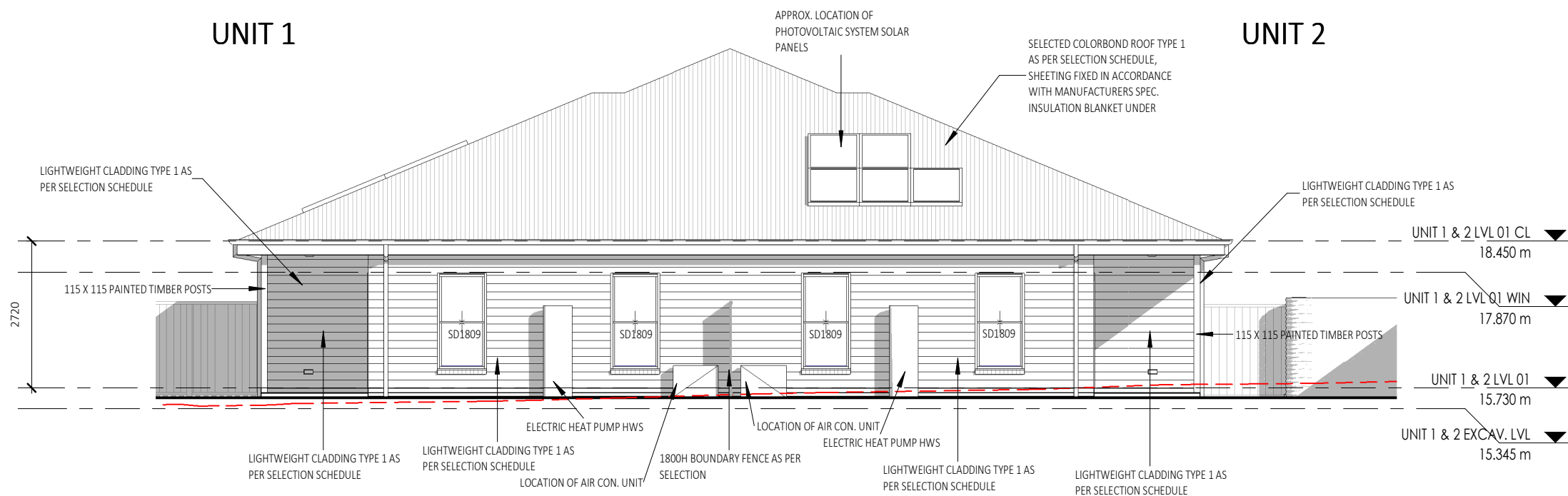
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LEGEND - KEYNOTES ( REFER SPECIFICATIONS )

FRONT ELEVATION - UNIT 1 & 2

1 : 100



REAR ELEVATION - UNIT 1 & 2

1 : 100

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 Assessor name Leanne Chadban  
 Accreditation No. DMN/17/1819  
 Property Address 2 Dunmore Street, Largs NSW, 2320  
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**STRATA TITLE SUBDIVISION**

FOR:  
**LARGS PROPERTY PTY LTD**

AT:  
LOT 2041 / DP 1308508  
2 DUNMORE ROAD  
LARGS  
NSW 2320

Sheet Title  
ELEVATIONS - UNIT 1 & 2

Date 16.08.23

Drawn by GR Checked GR

Checked by Owner Date Signed by Builder

Scale 1 : 100 @ A3

Design CUSTOM Rev B

Drawing No. 24013 S. 24013 A30.0.1



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FOR:  
**LARGS PROPERTY PTY LTD**

AT:  
LOT 2041 / DP 1308508  
2 DUNMORE ROAD  
LARGS  
NSW 2320

Sheet Title  
ELEVATIONS - UNIT 1 & 2

Date 16.08.23

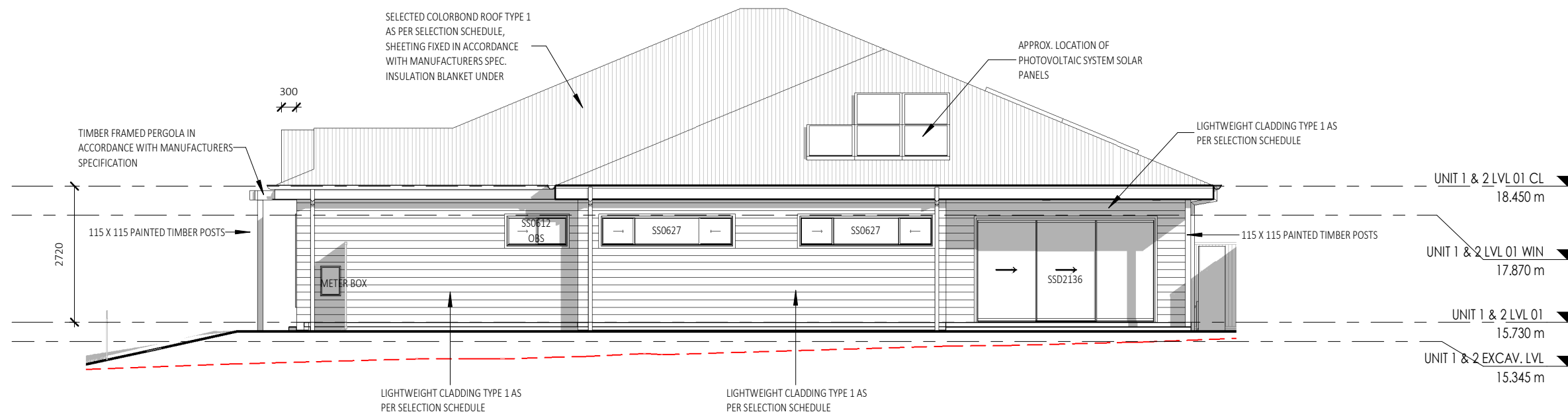
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Design CUSTOM Rev B

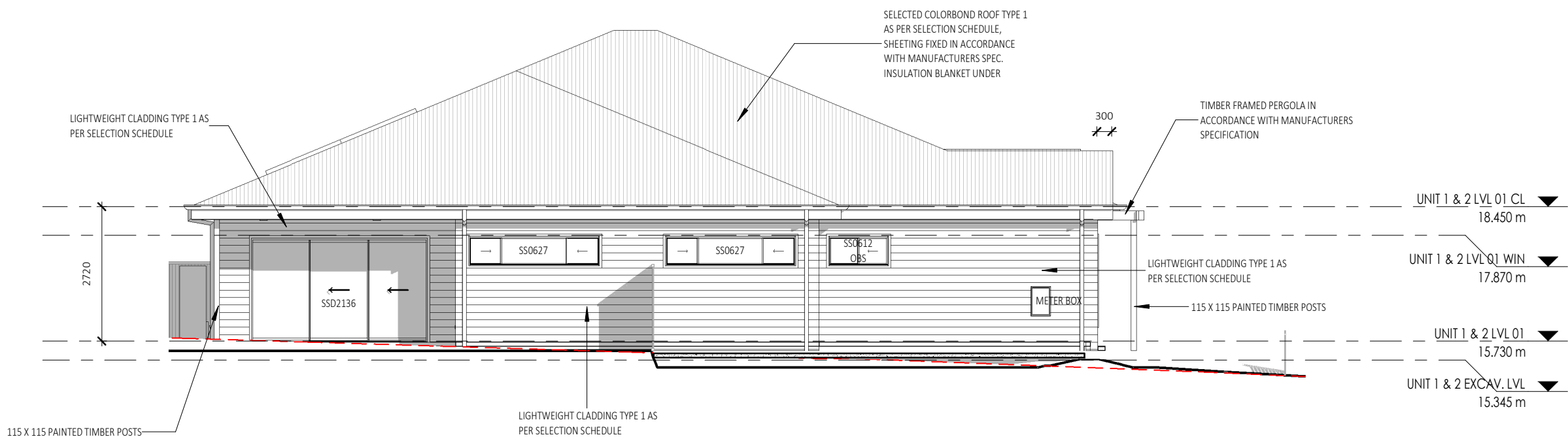
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SIDE ELEVATION - UNIT 1

1 : 100

**LEGEND - KEYNOTES ( REFER SPECIFICATIONS )**



SIDE ELEVATION - UNIT 2

1 : 100

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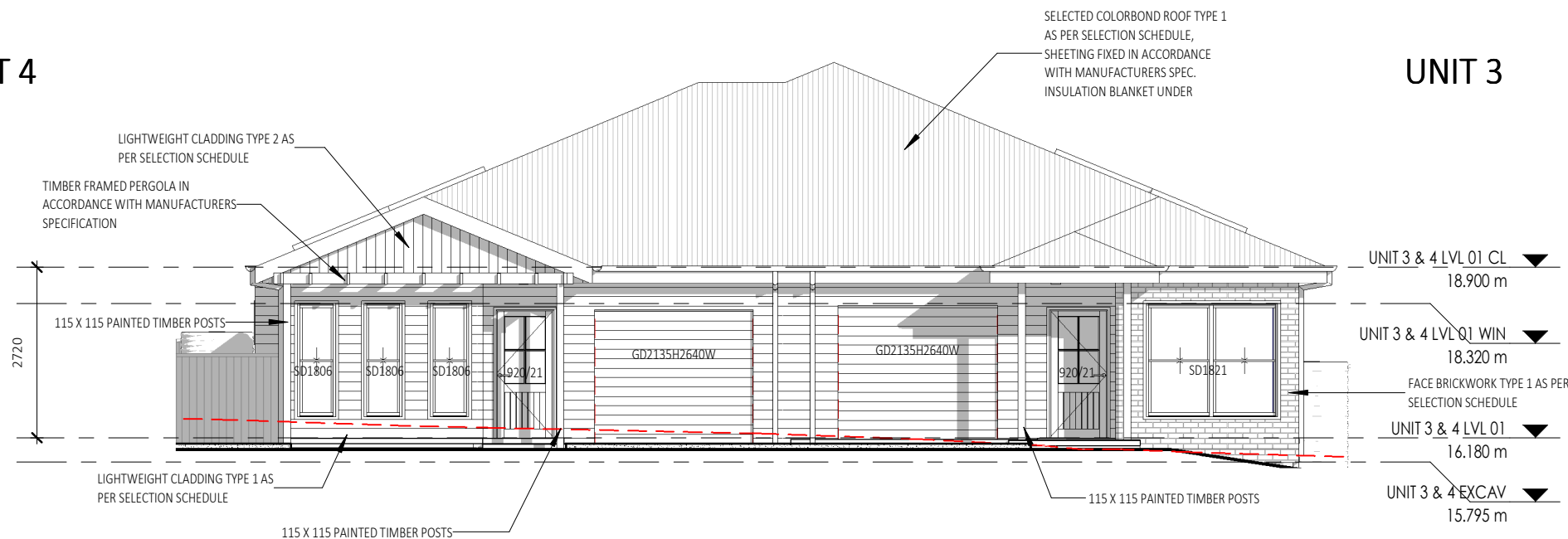
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UNIT 4

UNIT 3



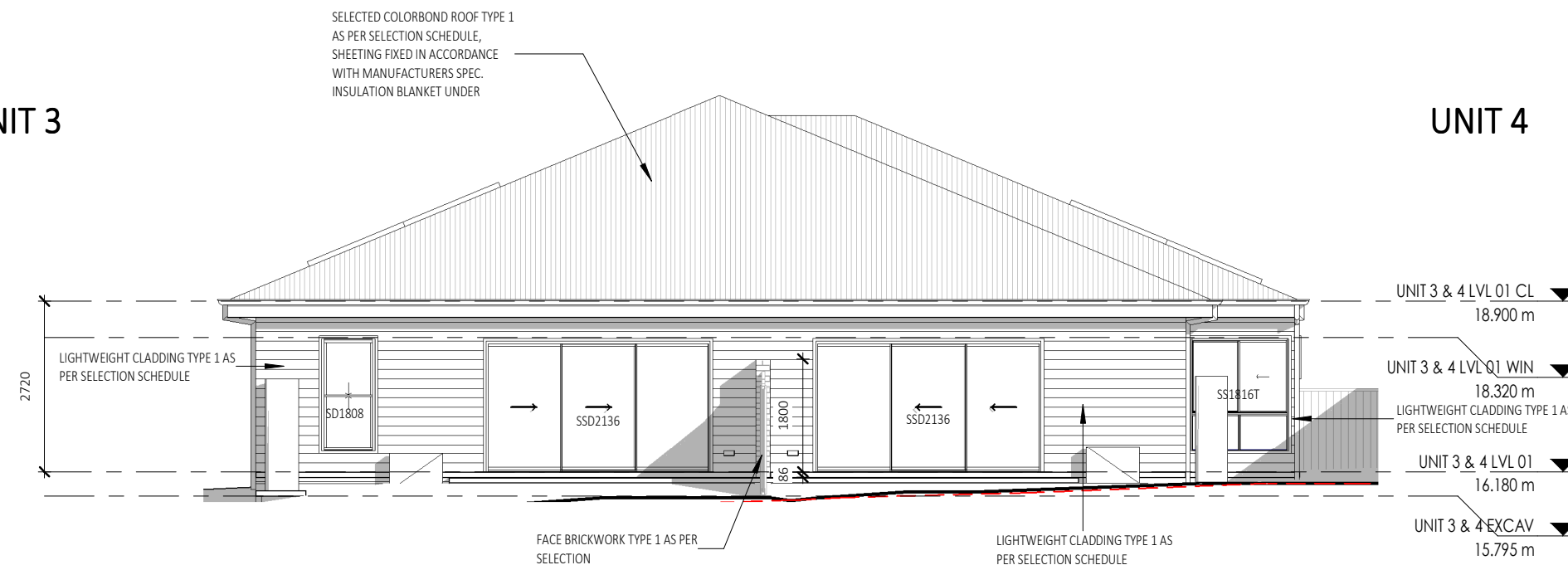
FRONT ELEVATION - UNIT 4 & 3

1 : 100

LEGEND - KEYNOTES ( REFER SPECIFICATIONS )

UNIT 3

UNIT 4



REAR ELEVATION - UNIT 3 & 4

1 : 100

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UNIT 3 TO BE CONSTRUCTED IN ACCORDANCE WITH AS4299 - ADAPTABLE HOUSING STANDARDS

REFER TO TENDER

STRATA TITLE SUBDIVISION

FOR:  
**LARGS PROPERTY PTY LTD**

AT:  
LOT 2041 / DP 1308508  
2 DUNMORE ROAD  
LARGS  
NSW 2320

Sheet Title  
ELEVATIONS - UNIT 3 & 4

Date 16.08.23

Drawn by GR Checked GR

Checked by Owner Date Signed by Builder

Scale 1 : 100 @ A3

Design CUSTOM Rev B

Drawing No. 24013 Status B30.0.1



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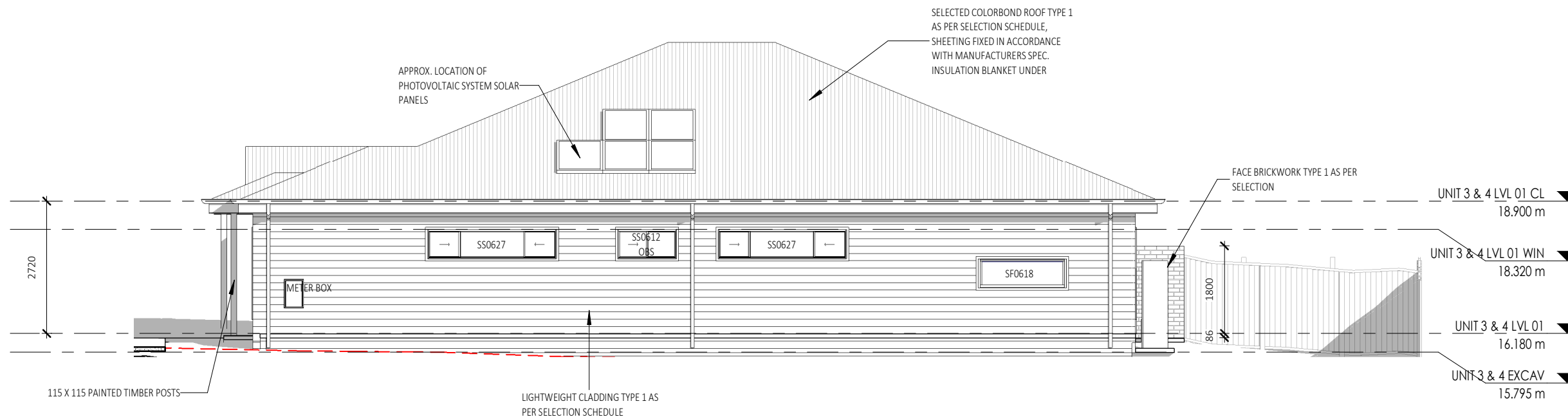
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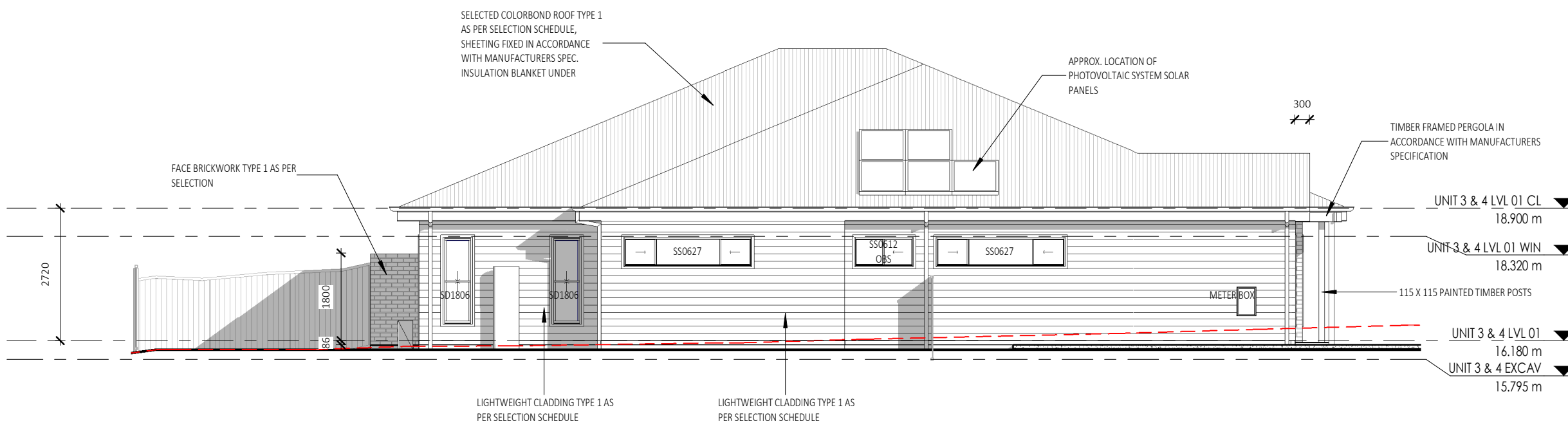
No.	Date	Description	Drn
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**SIDE ELEVATION - UNIT 3**

1 : 100

LEGEND - KEYNOTES ( REFER SPECIFICATIONS )



**SIDE ELEVATION - UNIT 4**

1 : 100

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**UNIT 3 TO BE CONSTRUCTED IN ACCORDANCE WITH AS4299 - ADAPTABLE HOUSING STANDARDS**

**REFER TO TENDER**

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**LARGS PROPERTY PTY LTD**

AT:  
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LARGS  
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Sheet Title  
ELEVATIONS - UNIT 3 & 4

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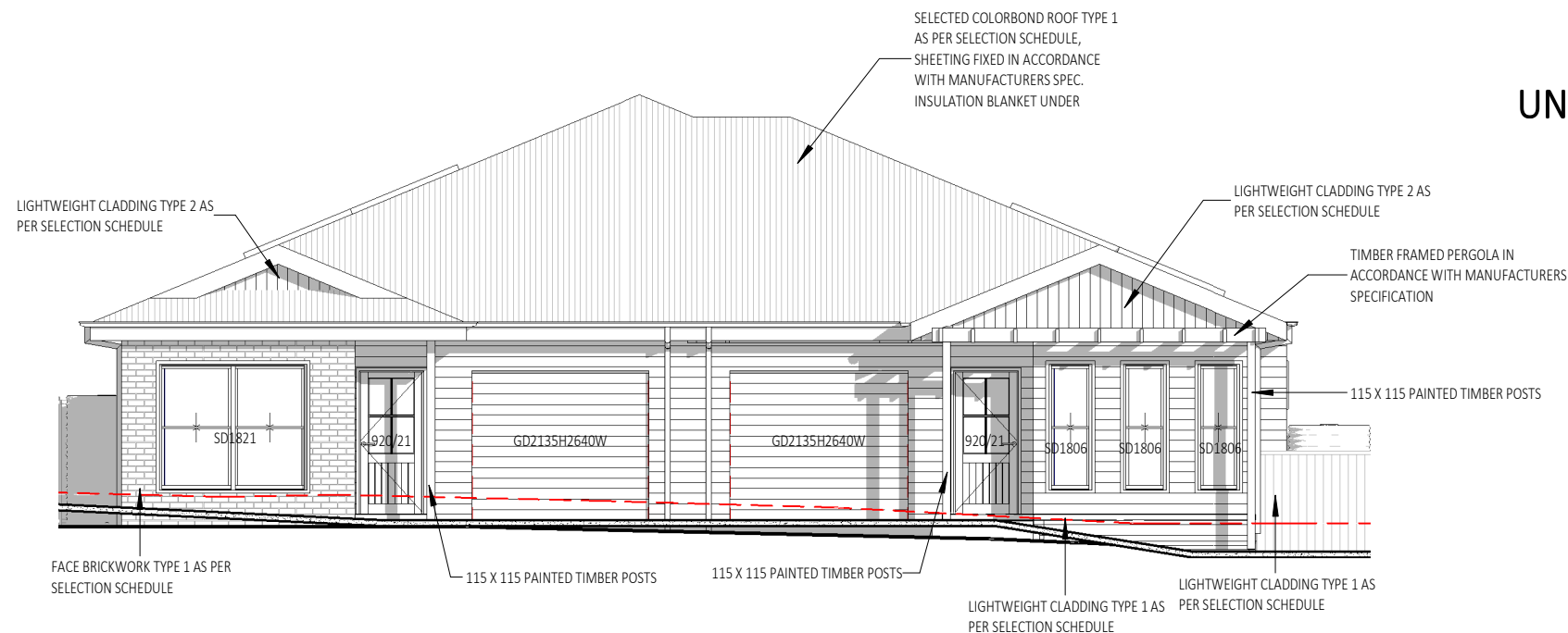
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UNIT 6

UNIT 5



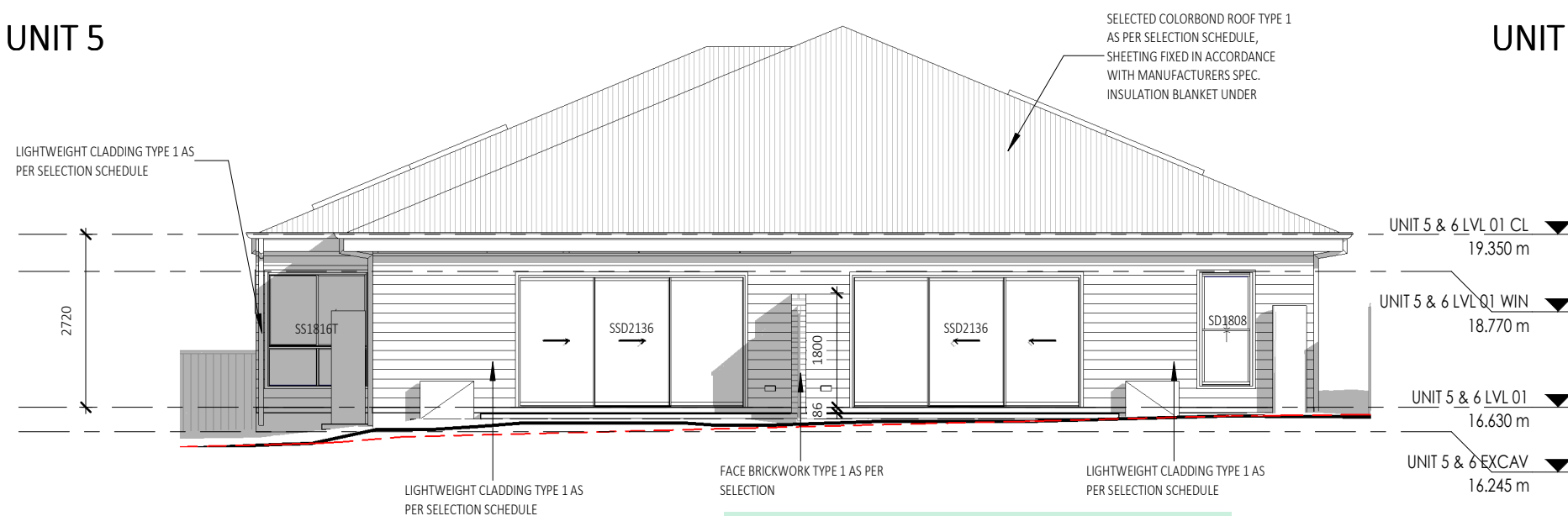
FRONT ELEVATION - UNIT 6 & 5

1 : 100

LEGEND - KEYNOTES ( REFER SPECIFICATIONS )

UNIT 5

UNIT 6



REAR ELEVATION - UNIT 5 & 6

1 : 100

**Certificate No. 0011535440**


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Assessor name: Leanne Chadban

Accreditation No.: DMN/17/1819

Property Address: 2 Dunmore Street, Largs NSW, 2320

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LARGS  
NSW 2320

Sheet Title  
ELEVATIONS - UNIT 5 & 6

Date: 16.08.23

Drawn by: GR Checked: GR

Checked by Owner: Date Signed by Builder

Scale: 1 : 100 @ A3

Design: CUSTOM Rev: B

Drawing No.: 24013 Status: C30.0.1







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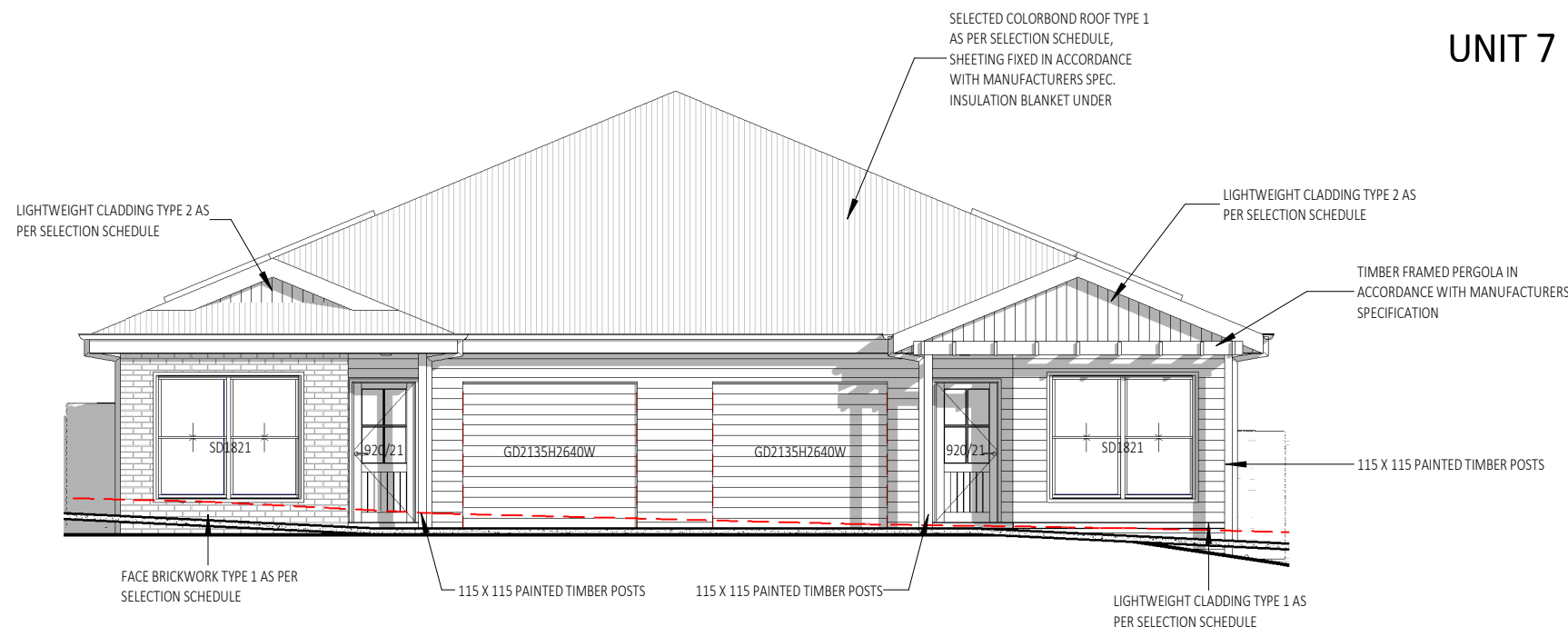
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UNIT 8

UNIT 7



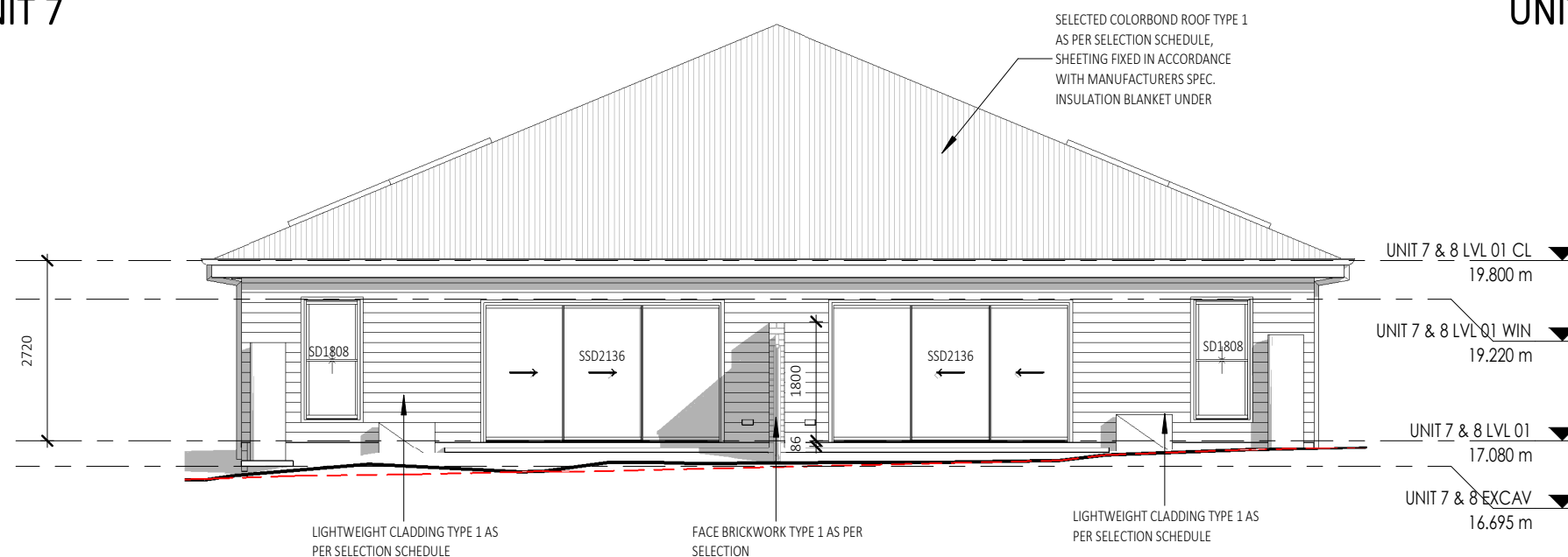
FRONT ELEVATION - UNIT 8 & 7

1 : 100

LEGEND - KEYNOTES ( REFER SPECIFICATIONS )

UNIT 7

UNIT 8



REAR ELEVATION - UNIT 7 & 8

1 : 100

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Accreditation No. DMN/17/1819  
Property Address 2 Dunmore Street, Largs NSW, 2320  
hstar.com.au/QR/Generate?p=NipbsNcxc

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**STRATA TITLE SUBDIVISION**

FOR:  
**LARGS PROPERTY PTY LTD**

AT:  
LOT 2041 / DP 1308508  
2 DUNMORE ROAD  
LARGS  
NSW 2320

Sheet Title  
ELEVATIONS - UNIT 7 & 8

Date 16.08.23

Drawn by GR Checked GR

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Scale 1 : 100 @ A3

Design CUSTOM Rev B

Drawing No. 24013 S D30.0.1







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FOR:  
**LARGS PROPERTY PTY LTD**

AT:  
LOT 2041 / DP 1308508  
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LARGS  
NSW 2320

Sheet Title  
ELEVATIONS - UNIT 9 & 10

Date 16.08.23

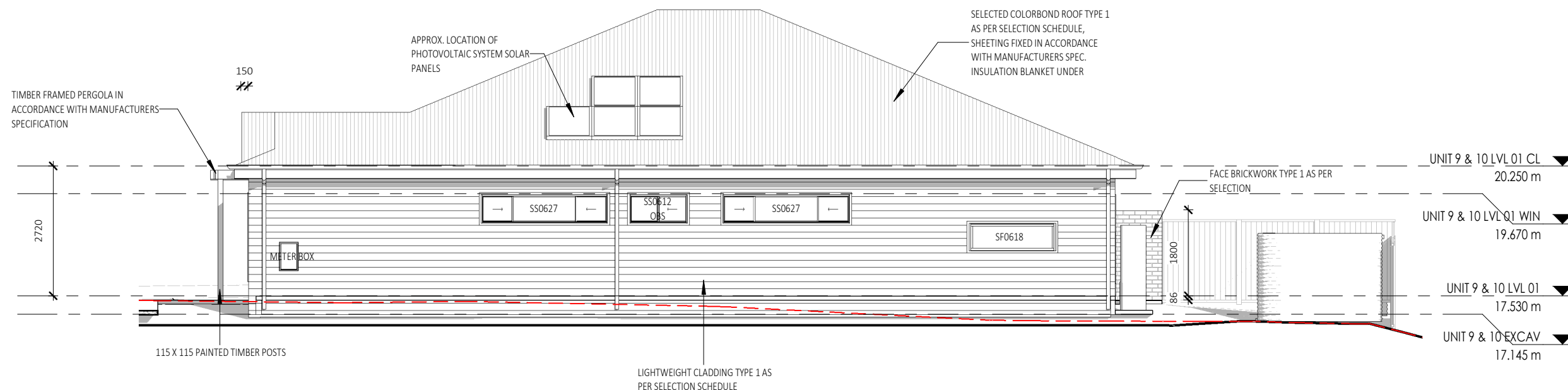
Drawn by GR Checked GR

Checked by Owner Date Signed by Builder

Scale 1 : 100 @ A3

Design CUSTOM Rev B

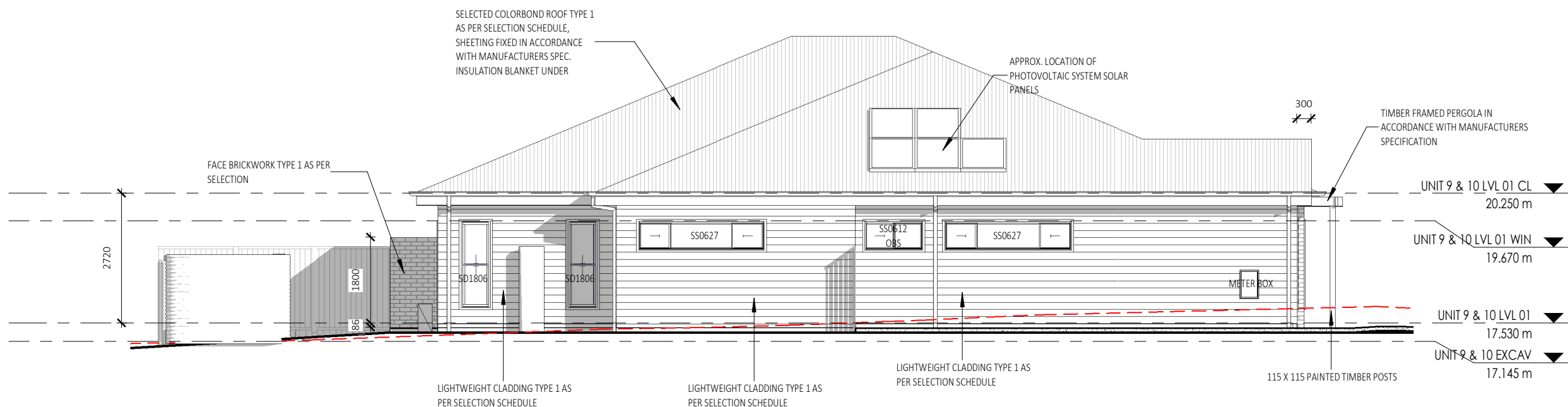
Drawing No. 24013 S E30.0.2



SIDE ELEVATION - UNIT 9

1 : 100

**LEGEND - KEYNOTES ( REFER SPECIFICATIONS )**



SIDE ELEVATION - UNIT 10

1 : 100

**Certificate No. 0011535440**  
Scan QR code or follow website link for rating details.  
Assessor name Leanne Chadban  
Accreditation No. DMN/17/1819  
Property Address 2 Dunmore Street, Largs NSW, 2320  
hstar.com.au/QR/Generate?p=NipbsNxxx

**REFER TO TENDER**

**STRATA TITLE SUBDIVISION**



MAMBARE PTY LTD T/A VALLEY HOMES  
A.C.N. 000 939 980  
www.valleyhomes.com.au

457 HIGH STREET, MAITLAND. 2320  
PHONE:(02)49341400

BUILDERS LIC. No. 5117

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No.	Date	Description	Drn
A	30.08.24	ISSUED FOR DA APPLICATION	GR
B	15.01.25	ISSUED FOR DA APPLICATION	GR

FOR:  
**LARGS PROPERTY PTY LTD**

AT:  
LOT 2041 / DP 1308508  
2 DUNMORE ROAD  
LARGS  
NSW 2320

Sheet Title  
ELEVATIONS - UNIT 11 & 12

Date 16.08.23

Drawn by GR Checked GR

Checked by Owner Date Signed by Builder

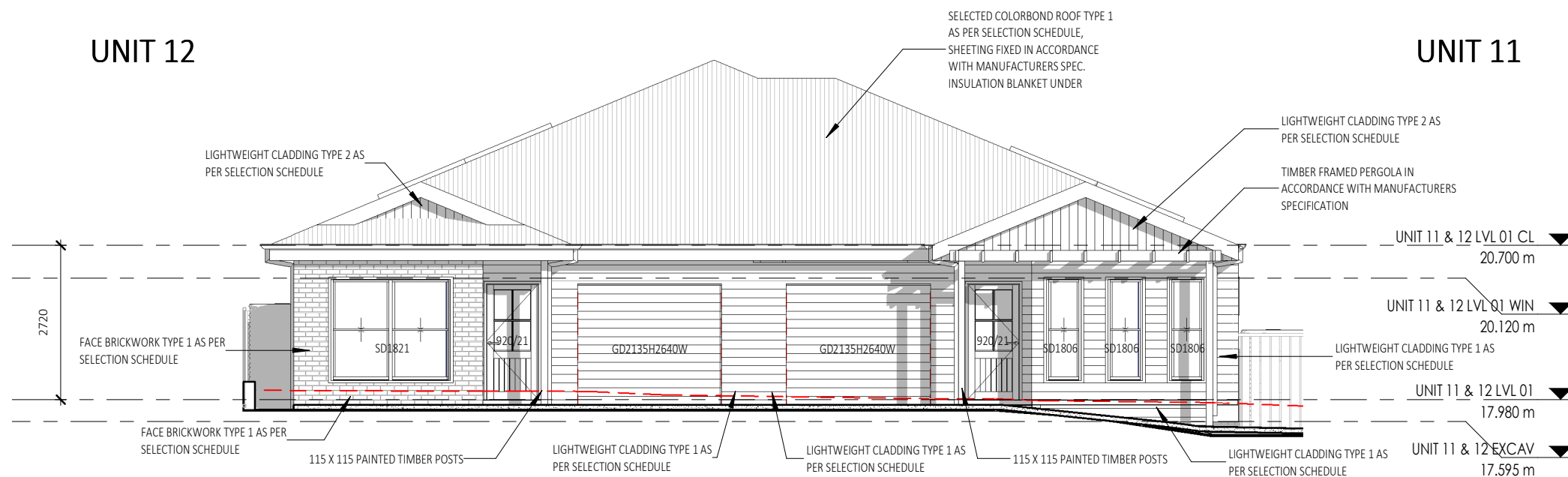
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Design CUSTOM Rev B

Drawing No. 24013 S F30.0.3

UNIT 12

UNIT 11



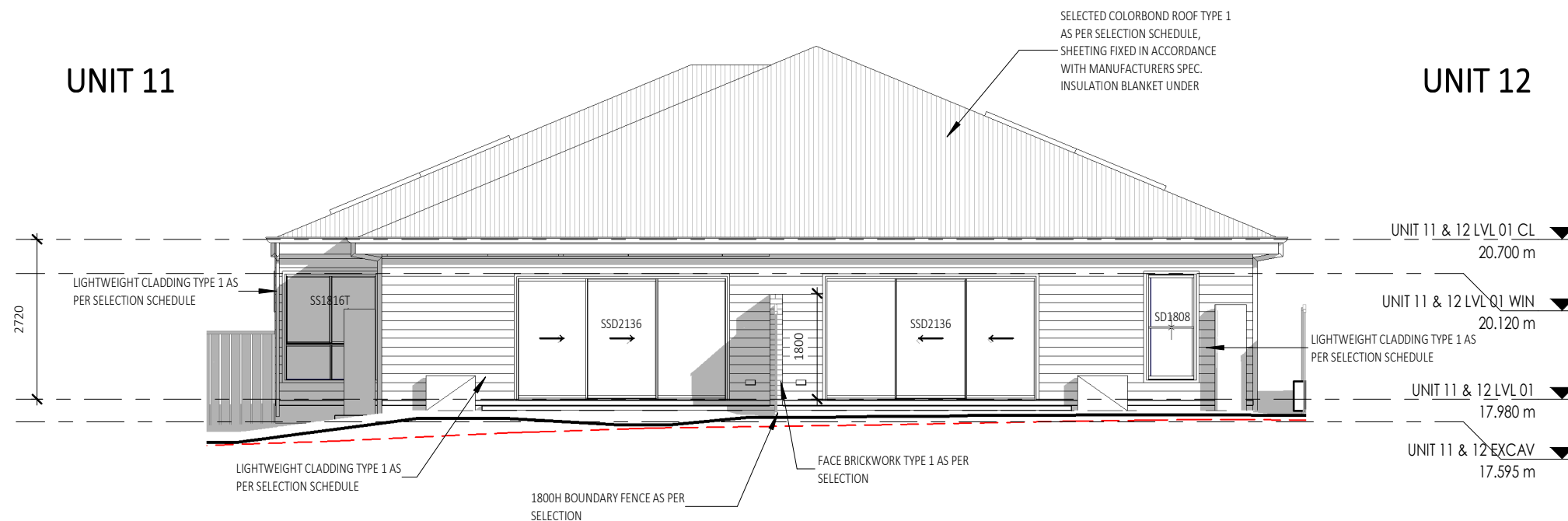
FRONT ELEVATION - UNIT 12 & 11

1 : 100

LEGEND - KEYNOTES ( REFER SPECIFICATIONS )

UNIT 11

UNIT 12



REAR ELEVATION - UNIT 11 & 12

1 : 100

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