

# MORPETH AGED CARE FACILITY

PROPOSED LOT PART 3 ON DP272740  
MORPETH, NSW 2321

## ARCHITECTURAL DRAWINGS - DEVELOPMENT APPLICATION

### ARCHITECTURAL DRAWING LIST

SHEET NUMBER	SHEET NAME
000-00	COVER SHEET
000-01	LOCALITY PLAN
000-02	SITE ANALYSIS
000-03	SITE PLAN
100-00	DEMOLITION PLAN - SHEET 1
100-01	DEMOLITION PLAN - SHEET 2
200-00	FLOOR PLAN - LOWER GROUND
201-00	FLOOR PLAN - GROUND
301-00	FLOOR PLAN - FIRST
303-00	FLOOR PLAN - ROOF
400-00	ELEVATIONS - SHEET 1
400-01	ELEVATIONS - SHEET 2
500-00	SECTIONS - SHEET 1
900-01	SHADOW DIAGRAM - SHEET 1
900-31	AREA PLANS - FSR CALCULATION (SEPP HPSD2004)
900-54	8m BUILDING HEIGHT LIMIT (SEPP HSPD 2004)

ABBREVIATIONS	FULL TEXT
AC	Airconditioning
ACCESS	Accessible
BOH	Back of House
COMMS	Communications Room
CPD	Cupboard
CW	Cold Water
EDB	Electrical Distribution Board
ELEC	Electric / Electrical
EXT	Exterior External
FFL	Finished Floor Level
FH	Fire Hydrant
FHR	Fire Hose Reel
FIP	Fire Indicator Panel
FOH	Front Of House
GRD	Ground
GRL	Ground Level
HWS	Hot Water System
m	Metres
MECH	Mechanical
MH	Manhole
MIN	Minimum
mm	millimetres
MSB	Main Switchboard
No.	Number
NTS	Not to Scale
SEW	Sewer
SRZ	Structural Root Zone
TBA	To Be Advised
TBC	To Be Confirmed
TOK	Top of Kerb
TOP	Top of Parapet
TOW	Top of Wall
TPZ	Tree Protection Zone

### AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DEVELOPMENT APPLICATION	SC	13/12/18

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CLIENT  
LEND LEASE

COVER SHEET

DATE  
12/11/15

PROJECT No.  
253824-MO-A-000-00

SCALE @ A1  
As indicated

DISCP. DRAWING No.  
1

DRAWN  
PL


ISSUE  
1

PROJECT  
AGED CARE  
MORPETH

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
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Trading as Jackson Teece  
ABN 15 083 837 290  
Nominated Architect Ian Brodie (4275)

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 BUS STOP TIMETABLES

184 - Stockland Green Hills to Morpeth via East Maitland & Tenambit  
 Edward Close Bvd after St Johns Dr  
 09:20 11:17 13:23

Tank St opposite High St

184 - Morpeth to Stockland Green Hills via East Maitland & Tenambit  
 Edward Close Bvd after St Johns Dr  
 11:49 13:22

Tank St opposite High St  
 07:02 09:22 11:19 13:26

AMENDMENTS	ISSUE	DESCRIPTION	APPROVED	DATE
1	DEVELOPMENT APPLICATION	SC		13/12/18

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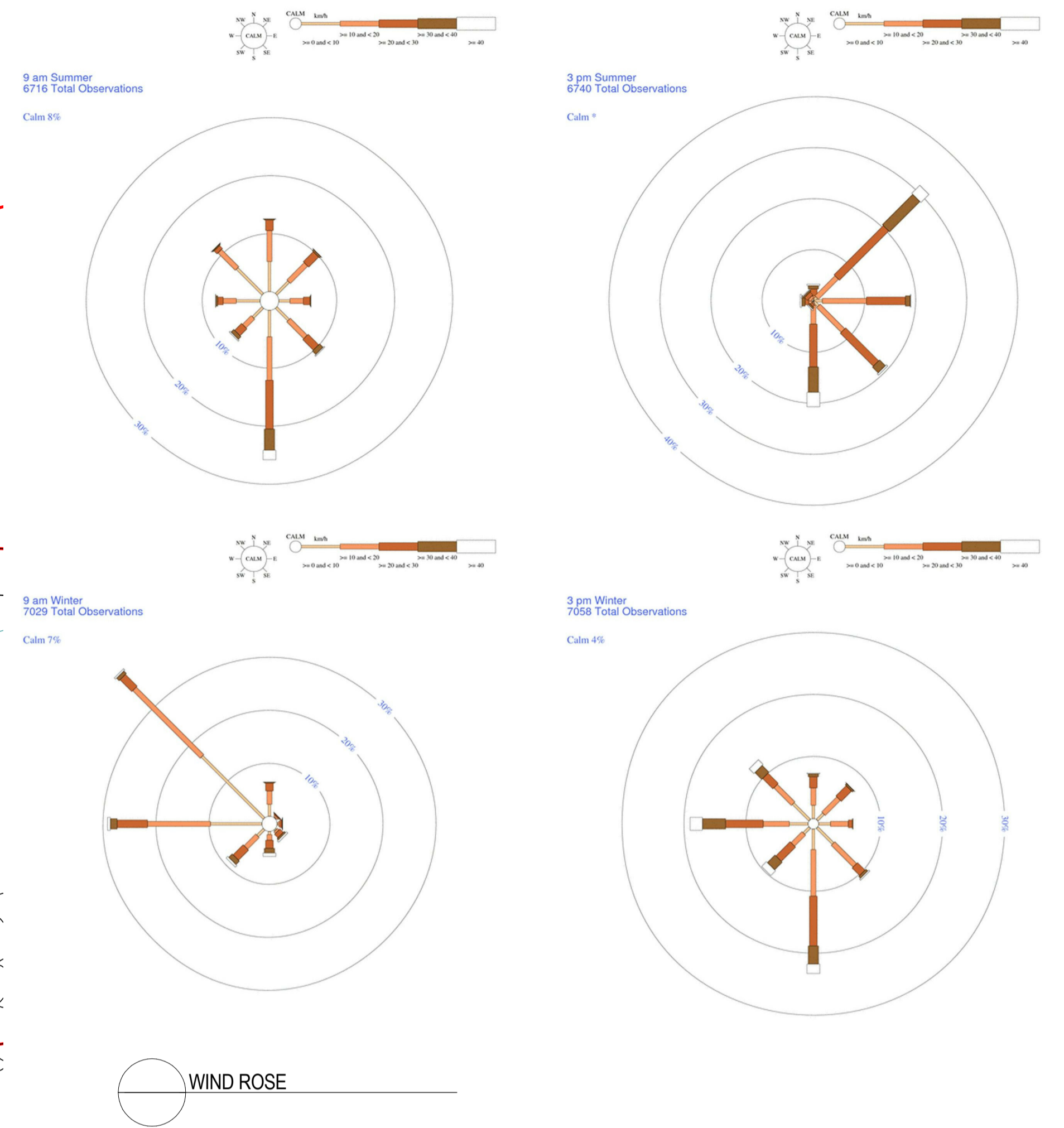
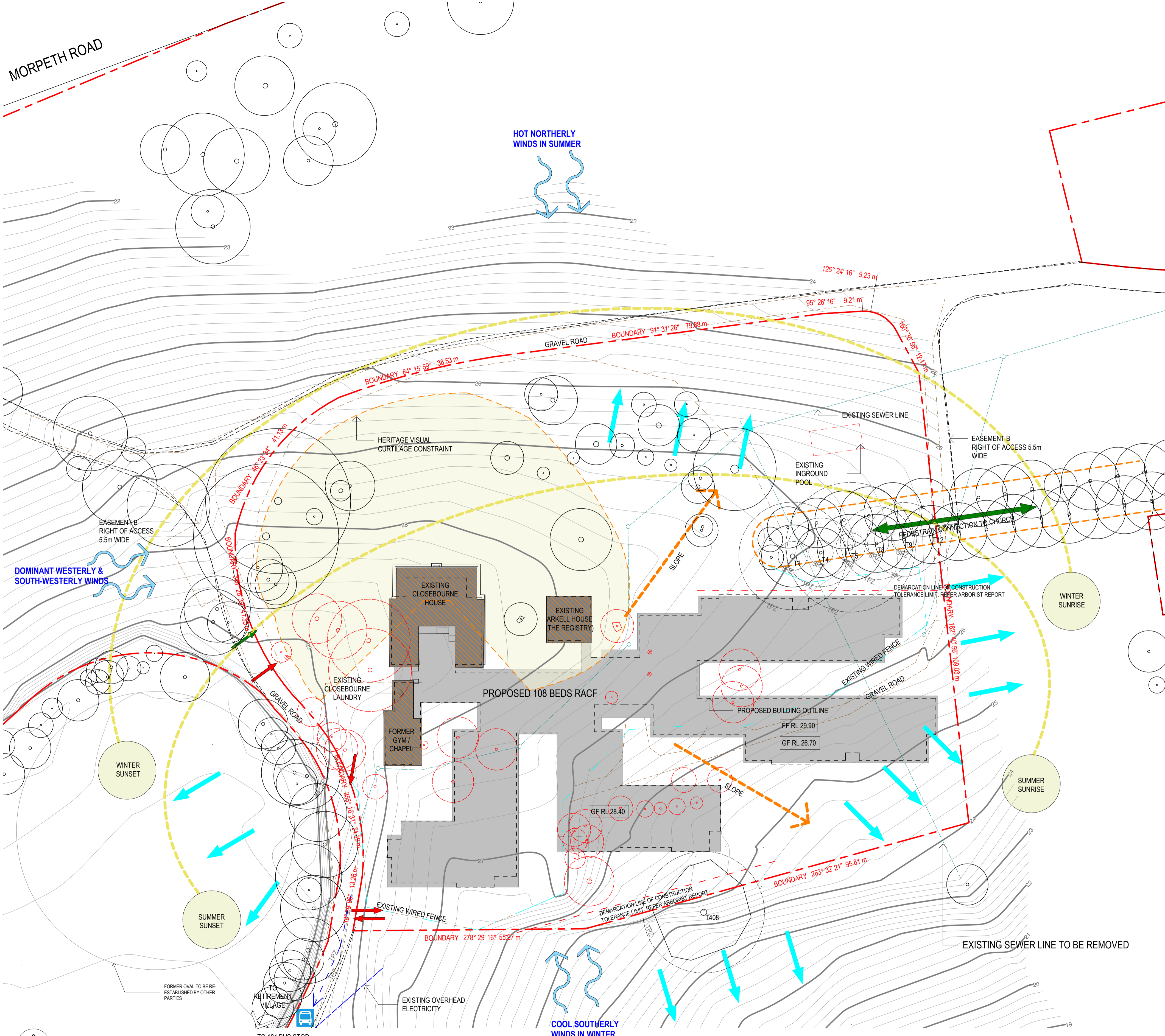
PROJECT  
 AGED CARE  
 MORPETH

LOCALITY PLAN

DATE	SCALE @ A1	DRAWN
11/29/17	1 : 2000	PL
PROJECT No.	DISC. DRAWING No.	ISSUE
253824-MO-A-000-01		1

Lot 1, Pier 8-9, 23 Hickson Road  
 Walsh Bay New South Wales 2000 Australia  
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 ABN 15 083 837 290  
 Nominated Architect Ian Brodie (4275)

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WIND ROSE

- LEGEND:**
- PEDESTRIAN ROUTE TO LOCAL AMENITIES (BUS STOPS)
  - SITE BOUNDARY
  - HERITAGE ITEMS. REFER TO HERITAGE REPORT
  - EXISTING BUILDING TO BE RETAINED AND ADAPTIVE REUSED. REFER TO CONSERVATION MANAGEMENT PLAN.
  - EXISTING TREES TO BE RETAINED. REFER ARBORIST AND LANDSCAPE REPORT
  - EXISTING TREES TO BE REMOVED. REFER ARBORIST AND LANDSCAPE REPORT
  - VEHICULAR ACCESS TO SITE
  - PEDESTRIAN ACCESS TO SITE
  - PRECINCT VIEWS

**NOTE:**  
THE WHOLE SITE IS THE STATE LISTED HERITAGE ITEM SHR CLOSEBOURNE ESTATE (SHR ITEM 00375)

**3 SITE ANALYSIS**  
SCALE 1 : 500

AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DEVELOPMENT APPLICATION	SC	13/12/18

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SITE ANALYSIS

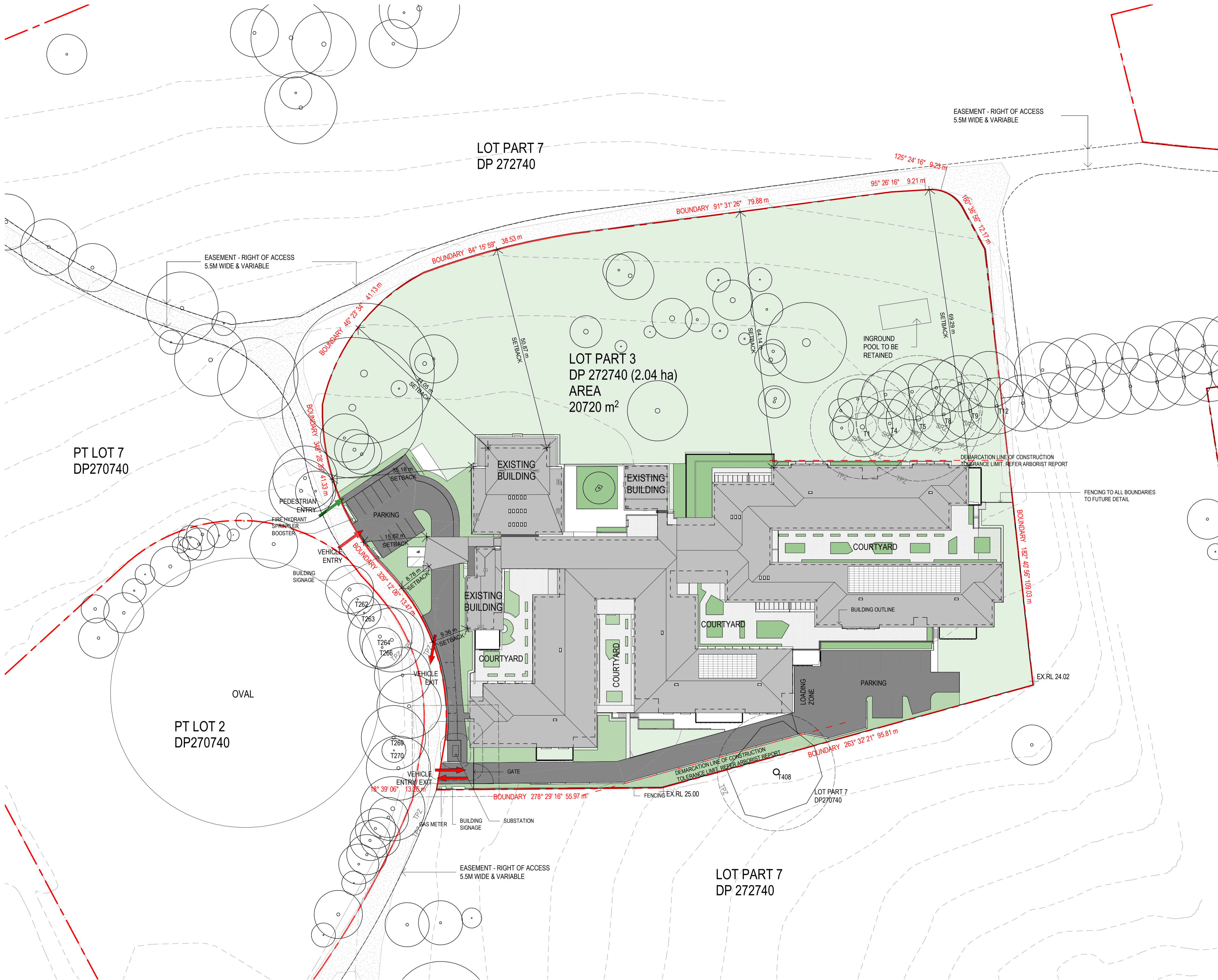
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PROJECT No: 253824-MO-A-000-02      DISCP. DRAWING No:      ISSUE: 1

PROJECT  
AGED CARE  
MORPETH

Lot 1, Pier 8-9, 23 Hickson Road  
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ABN 15 083 837 290  
Nominated Architect Ian Brodie (4275)

JACKSON TEECE



- LEGEND:**
- SITE BOUNDARY
  - EXISTING TREES NOT SHOWN IN SURVEY TO BE RETAINED. REFER ARBORIST AND LANDSCAPE REPORT
  - VEHICULAR ACCESS TO SITE
  - PEDESTRIAN ACCESS TO SITE

AMENDMENTS	ISSUE	DESCRIPTION	APPROVED	DATE
1	1	DEVELOPMENT APPLICATION	SC	13/12/18

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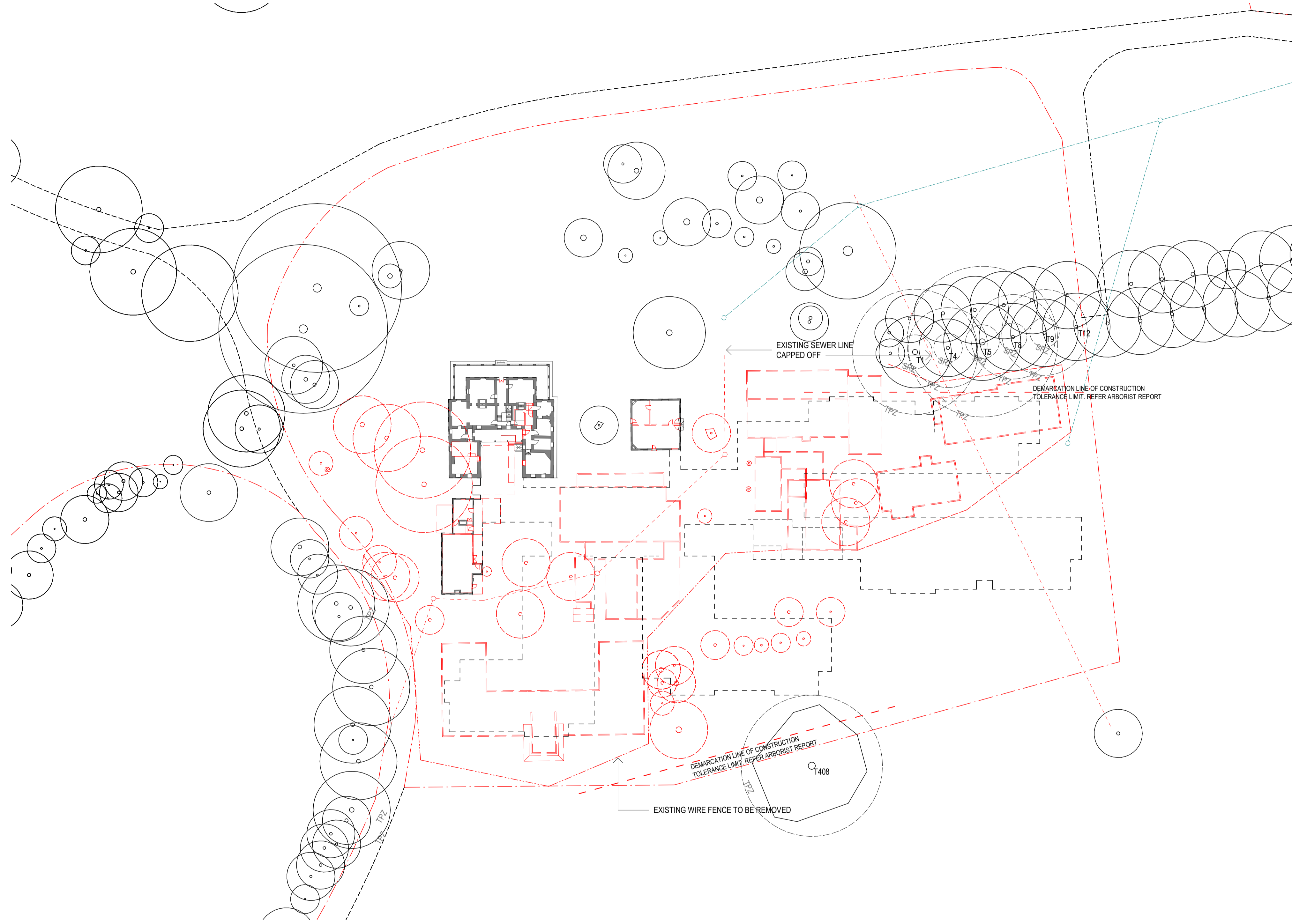
SITE PLAN

DATE: 06/02/16  
 SCALE @ A1: As indicated  
 DRAWN: PL  
 PROJECT No: 253824-MO-A-000-03  
 DISCP. DRAWING No: 1  
 ISSUE: 1

PROJECT  
AGED CARE  
MORPETH

Lot 1, Pier 8-9, 23 Hickson Road  
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 ABN 15 083 837 290  
 Nominated Architect Ian Brodie (4275)

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1 DEMOLITION PLAN - SITE  
SCALE 1 : 500

- LEGEND:**
- - - SITE BOUNDARY
  - - - EXISTING SITE OR BUILDING ELEMENTS TO BE REMOVED. REFER TO HERITAGE REPORT.
  - EXISTING BUILDING TO BE RETAINED AND ADAPTIVE REUSED. REFER TO CONSERVATION MANAGEMENT PLAN.
  - EXISTING TREES TO BE RETAINED. REFER ARBORIST AND LANDSCAPE REPORT
  - EXISTING TREES TO BE REMOVED. REFER ARBORIST AND LANDSCAPE REPORT

AMENDMENTS	ISSUE	DESCRIPTION	APPROVED	DATE
1	DEVELOPMENT APPLICATION	SC		13/12/18

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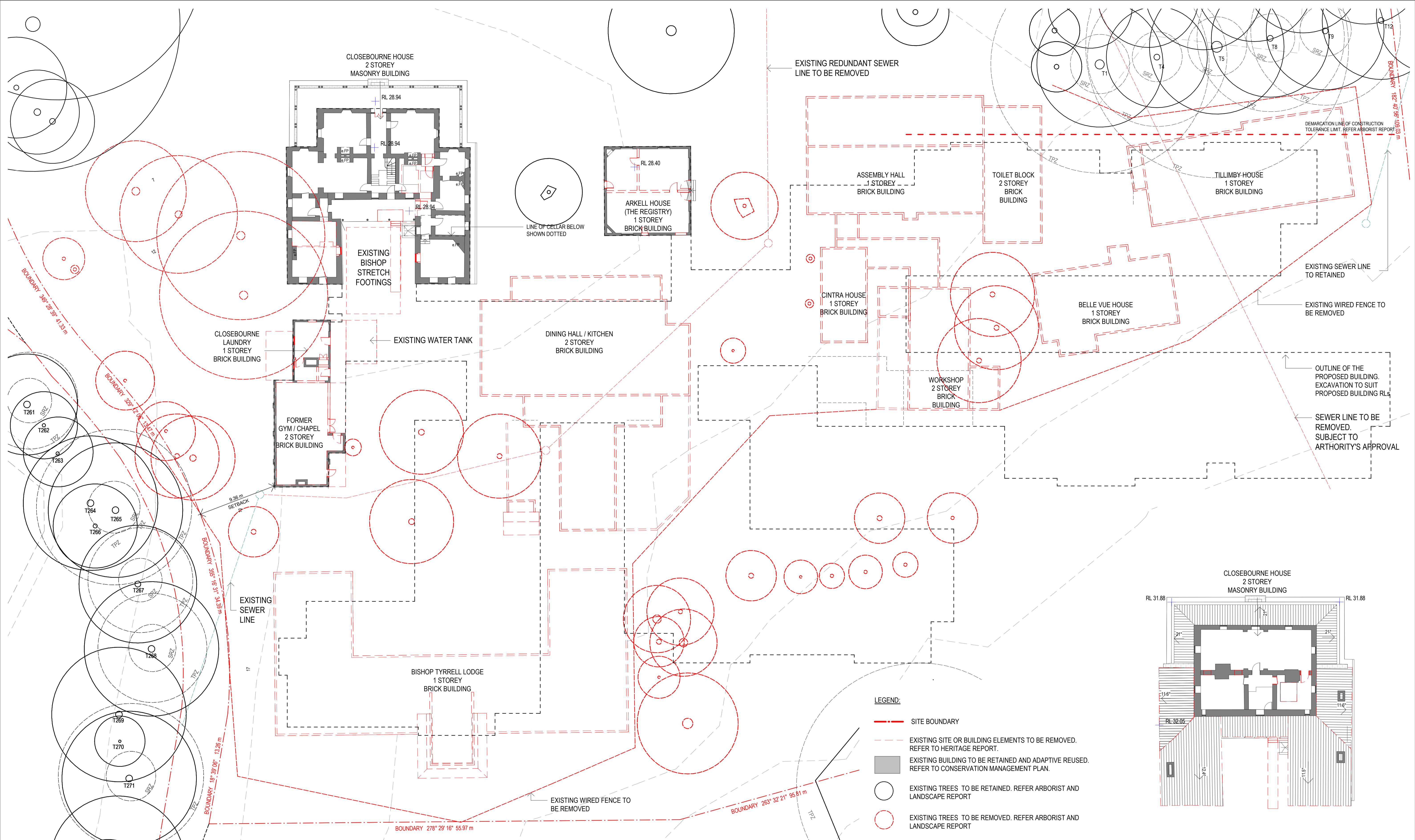
PROJECT  
AGED CARE  
MORPETH

DEMOLITION PLAN - SHEET 1

DATE: 06/08/18  
SCALE @ A1: As indicated  
DRAWN: PL  
PROJECT No: 253824-MO-A-100-00  
DISCIP. DRAWING No. 1  
ISSUE 1

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Nominated Architect Ian Brodie (4275)

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1 DEMOLITION PLAN - GROUND FLOOR  
SCALE 1 : 200

2 CLOSEBOURNE HOUSE - FIRST LEVEL FLOOR PLAN  
SCALE 1 : 200

- LEGEND:**
- SITE BOUNDARY
  - - - EXISTING SITE OR BUILDING ELEMENTS TO BE REMOVED. REFER TO HERITAGE REPORT.
  - EXISTING BUILDING TO BE RETAINED AND ADAPTIVE REUSED. REFER TO CONSERVATION MANAGEMENT PLAN.
  - EXISTING TREES TO BE RETAINED. REFER ARBORIST AND LANDSCAPE REPORT
  - EXISTING TREES TO BE REMOVED. REFER ARBORIST AND LANDSCAPE REPORT

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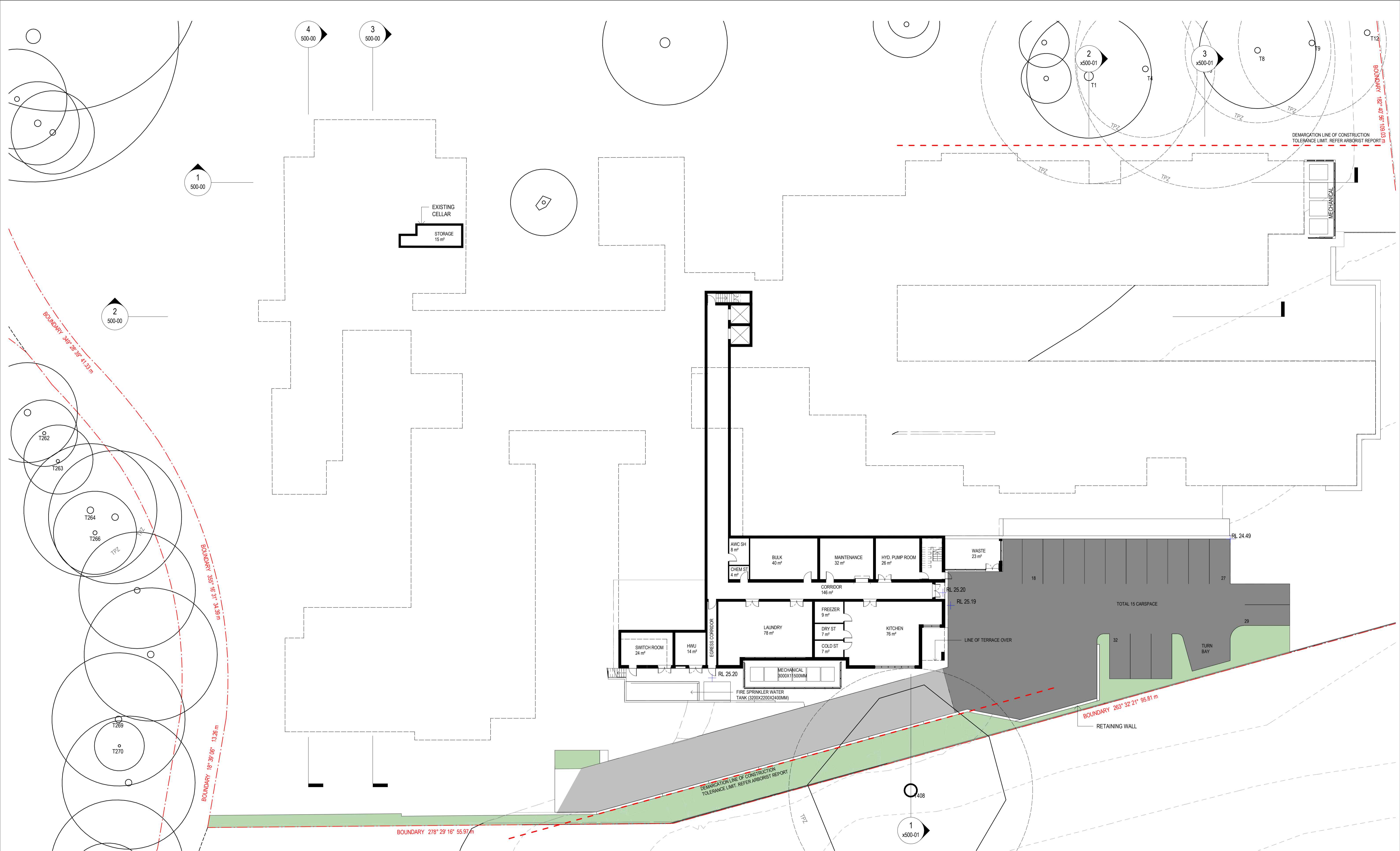
PROJECT  
AGED CARE  
MORPETH

DEMOLITION PLAN - SHEET 2

DATE: 06/08/18  
SCALE @ A1: 1 : 200  
DRAWN: JL  
PROJECT No: 253824-MO-A-100-01  
DISCP. DRAWING No: 1  
ISSUE: 1

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PROJECT  
 AGED CARE  
 MORPETH

FLOOR PLAN - LOWER  
 GROUND

DATE: 03/20/18  
 SCALE @ A1: 1:200  
 DRAWN: PL

PROJECT No: 253824-MO-A-200-00  
 DISCP. DRAWING No. 1  
 ISSUE 1

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 Jackson Teece Chesterman Willis Pty Ltd  
 Trading as Jackson Teece  
 ABN 15 083 837 290  
 Nominated Architect Ian Brodie (4275)

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- LEGEND:**
- SITE BOUNDARY
  - CONSOLIDATED SURVEY TREE LEGEND (SURVEY DATED 08/06/2018)**
  - EXISTING TREES NOT SHOWN IN SURVEY TO BE RETAINED. REFER ARBORIST AND LANDSCAPE REPORT
  - OVERHEAD SKYLIGHTS

**AMENDMENTS**

ISSUE	DESCRIPTION	APPROVED DATE
1	DEVELOPMENT APPLICATION	SC 13/12/18

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LEND LEASE

FLOOR PLAN - GROUND

DATE: 06/02/16      SCALE @ A1: 1:200      DRAWN: PL

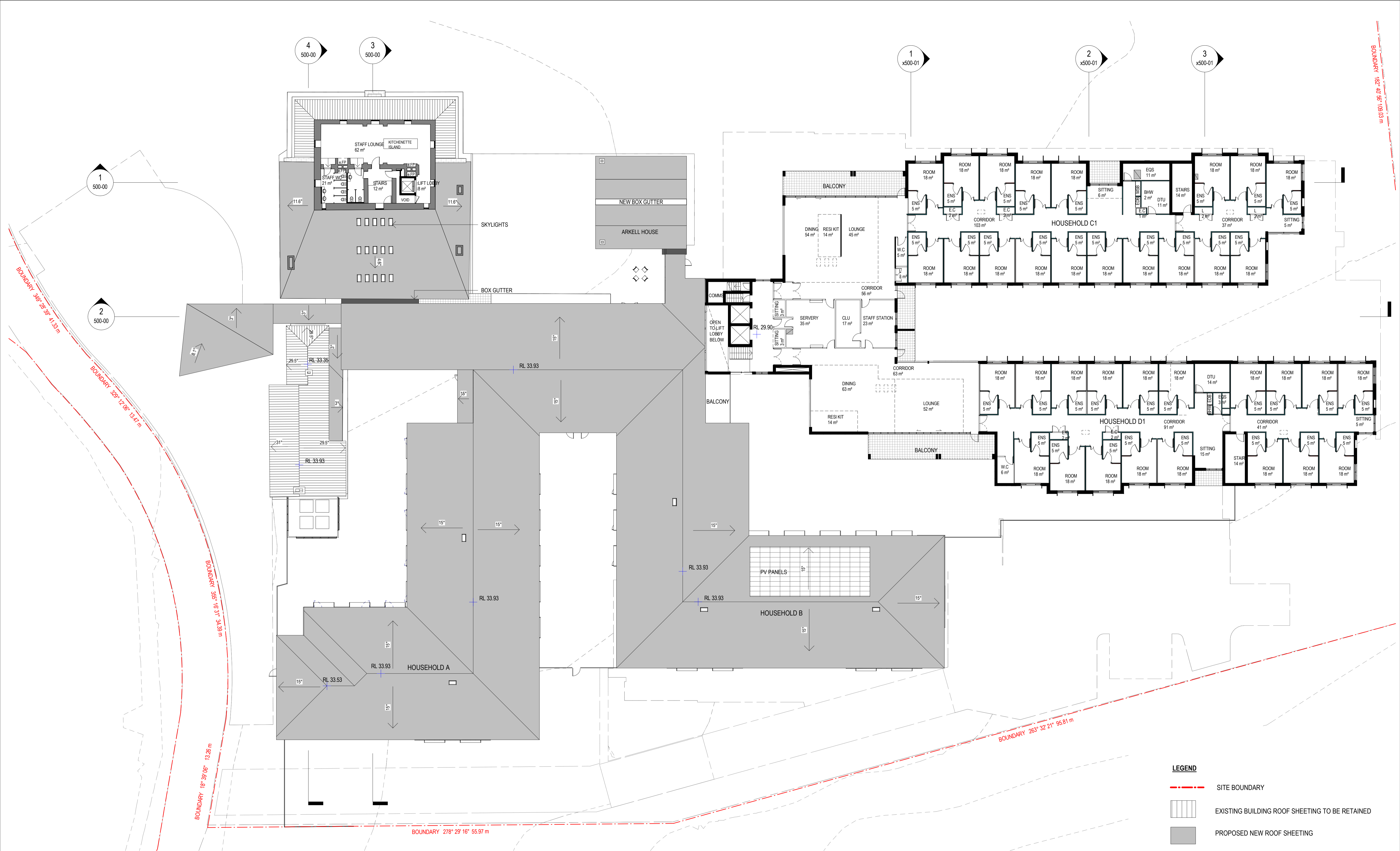
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PROJECT  
AGED CARE  
MORPETH

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
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Trading as Jackson Teece  
ABN 15 083 837 290  
Nominated Architect Ian Brodie (4275)

**JACKSON TEECE**





- LEGEND**
- SITE BOUNDARY
  - EXISTING BUILDING ROOF SHEETING TO BE RETAINED
  - PROPOSED NEW ROOF SHEETING
  - SKYLIGHTS ABOVE

**AMENDMENTS**

ISSUE	DESCRIPTION	APPROVED	DATE
1	DEVELOPMENT APPLICATION	SC	13/12/18

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LEND LEASE

PROJECT  
AGED CARE  
MORPETH

FLOOR PLAN - FIRST

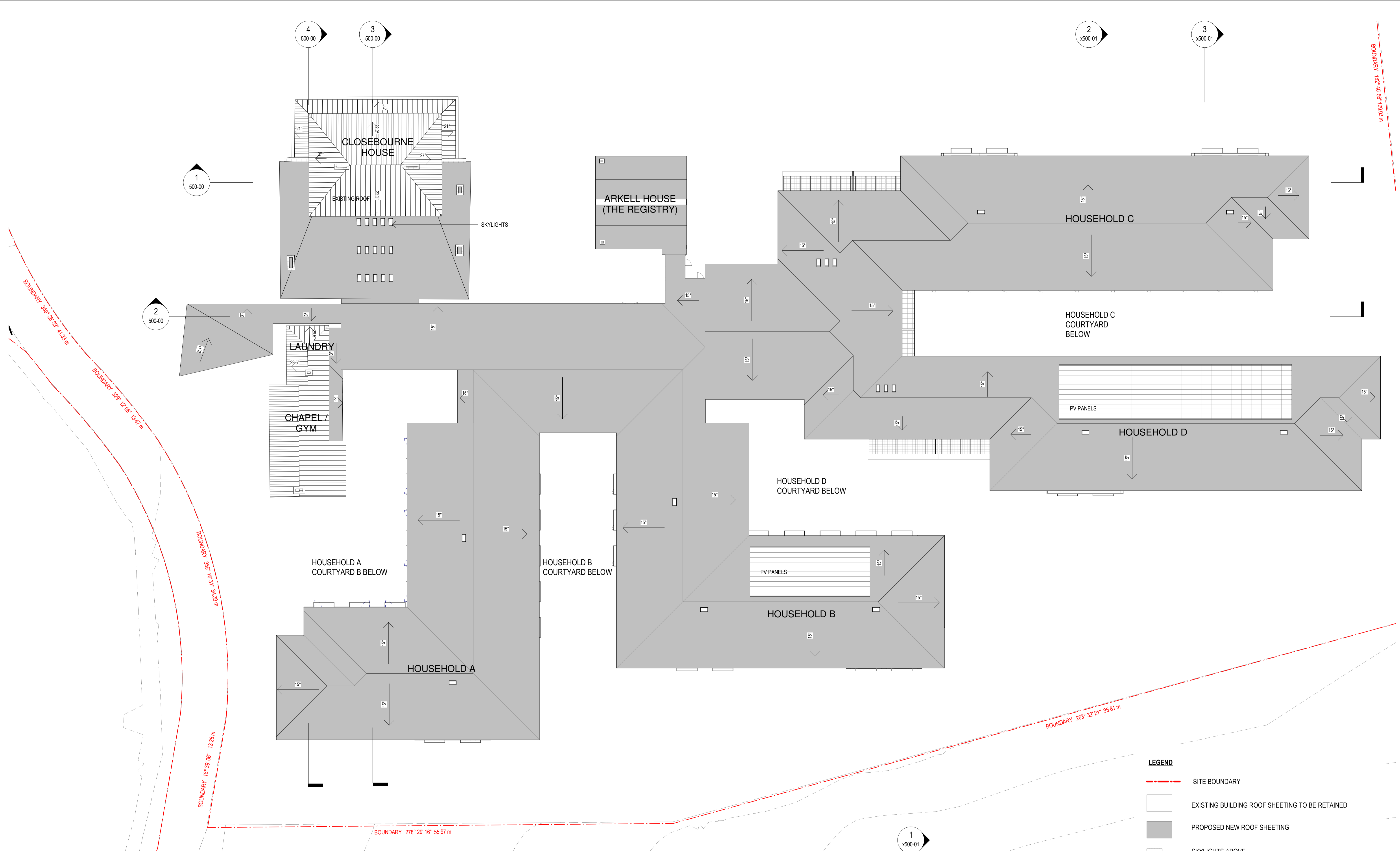
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PROJECT No: 253824-MO-A-301-00

DRAWN: PL  
ISSUE: 1

DISCP. DRAWING No.

Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
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CLIENT  
LEND LEASE

FLOOR PLAN - ROOF

DATE  
06/02/16

SCALE @ A1  
1 : 200

DISCIP. DRAWING No.  
253824-MO-A-303-00

DRAWN  
PL

ISSUE  
1

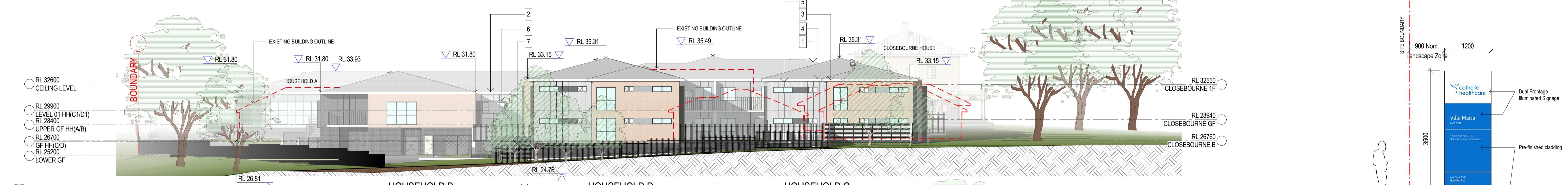
PROJECT  
AGED CARE  
MORPETH

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
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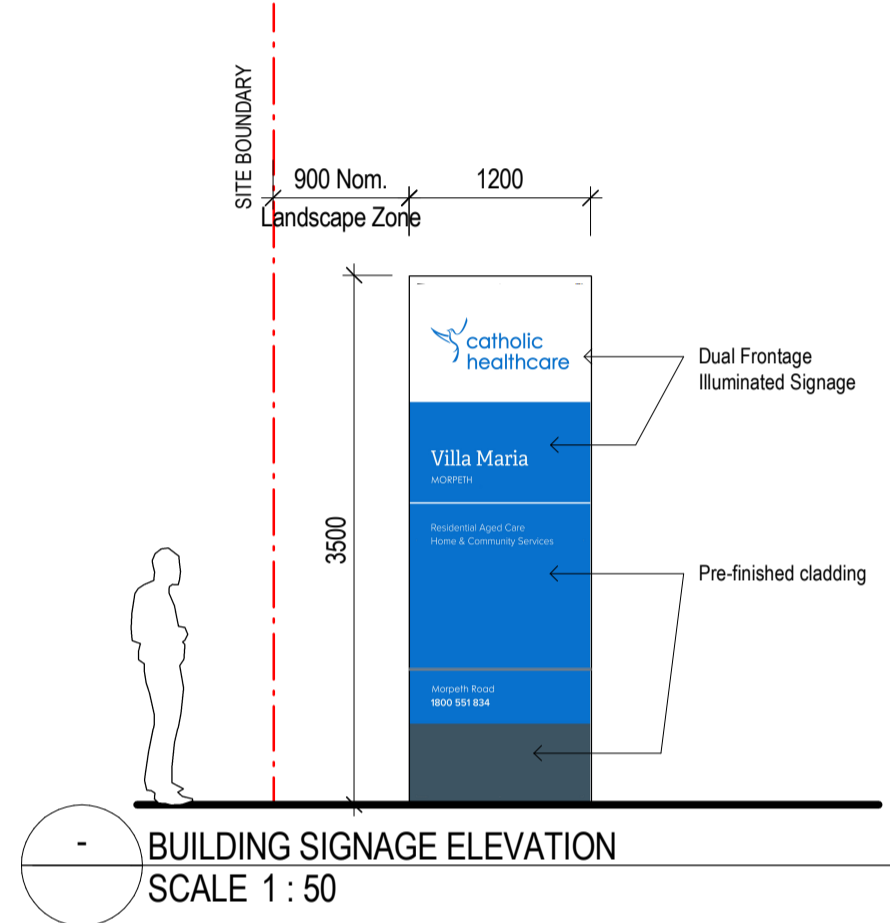
**JACKSON TEECE**



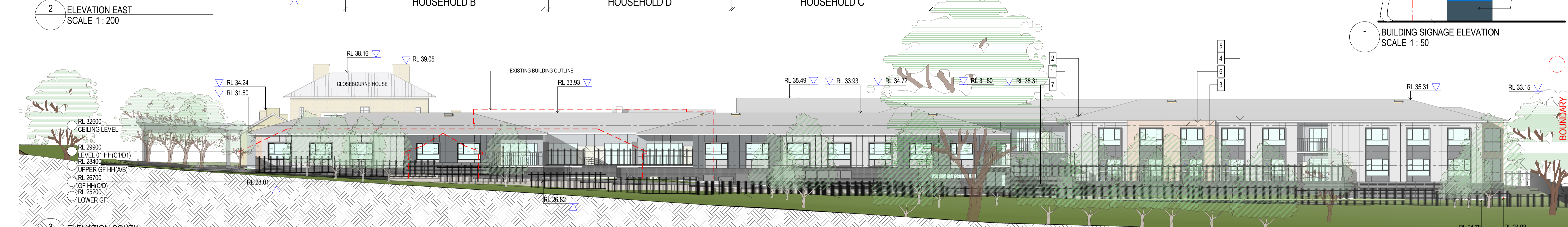
1 NORTH ELEVATION  
SCALE 1 : 200



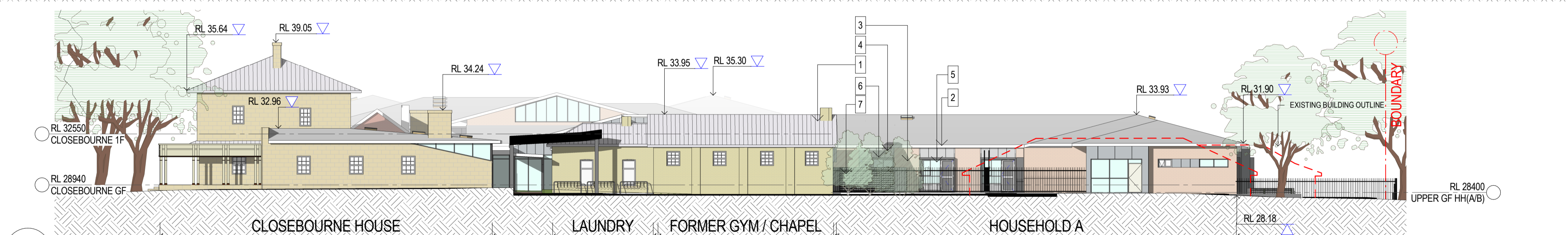
2 ELEVATION EAST  
SCALE 1 : 200



BUILDING SIGNAGE ELEVATION  
SCALE 1 : 50

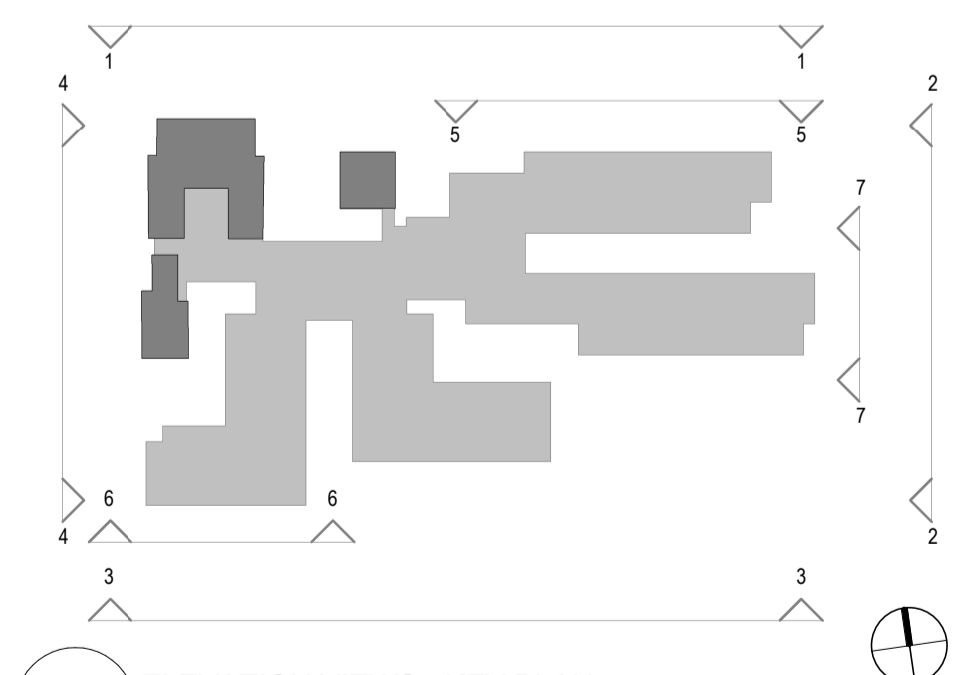


3 ELEVATION SOUTH  
SCALE 1 : 200



4 ELEVATION WEST  
SCALE 1 : 200

- LEGEND**
1. METAL ROOFING
  2. METAL GUTTERS, EAVES, DOWNPIPES
  3. MASONRY
  4. CLADDING
  5. ALUMINIUM WINDOWS
  6. SHADING ELEMENT - VARIABLE SIZES SUBJECT TO BCA SECTION J REQUIREMENTS
  7. METAL LOUVERS
  8. FEATURE CLADDING



ELEVATION VIEWS - KEY PLAN  
ELEVATIONS 5-7 IN SHEET 400-01

**AMENDMENTS**

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CLIENT  
LEND LEASE

ELEVATIONS - SHEET 1

PROJECT  
AGED CARE  
MORPETH

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
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Trading as Jackson Teece  
ABN 15 083 837 290  
Nominated Architect Ian Brodie (4275)

DATE  
06/02/16

SCALE @ A1  
As indicated

DRAWN  
PL

PROJECT No.  
253824-MO-A-400-00

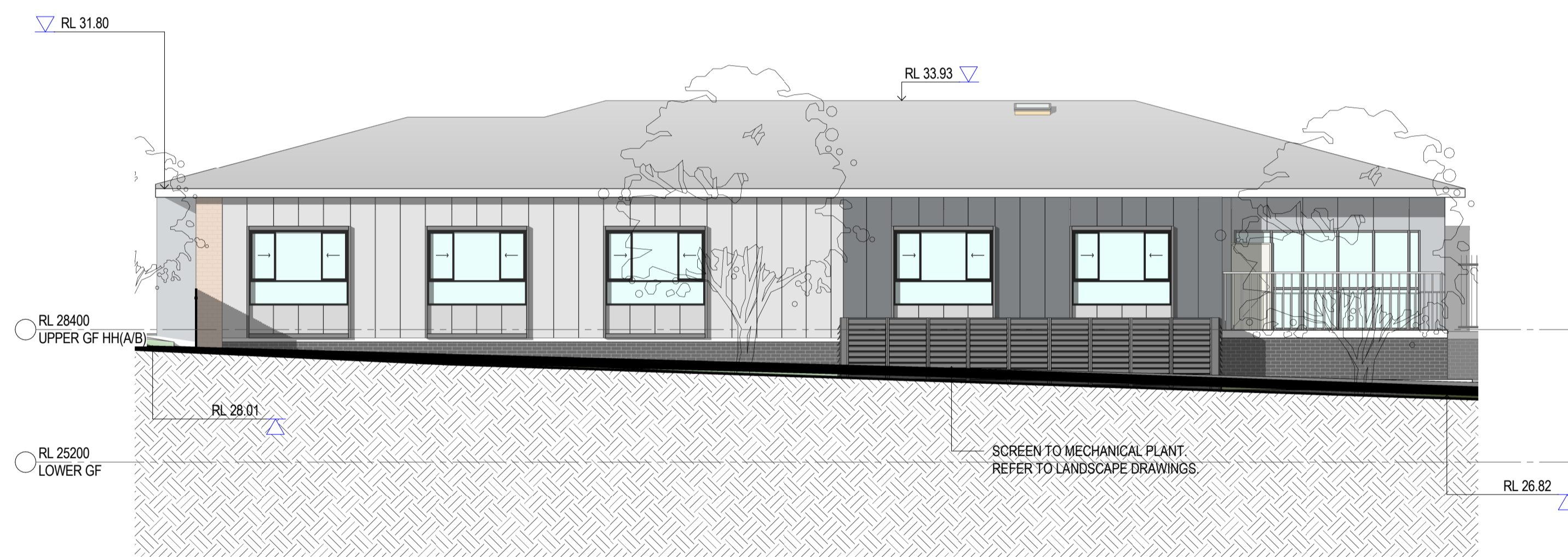
DISC. DRAWING No.  
1

ISSUE  
1

**JACKSON TEECE**



5 PART ELEVATION - NORTH OF HOUSEHOLD C  
SCALE 1 : 100



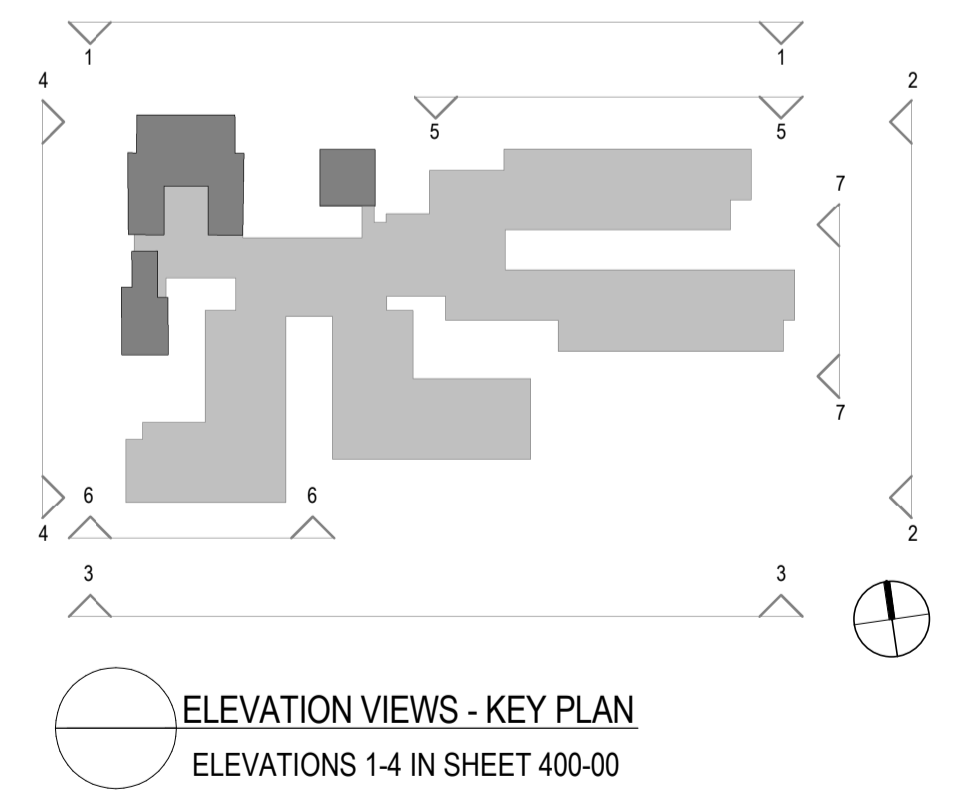
6 PART ELEVATION - SOUTH OF HOUSEHOLD A  
SCALE 1 : 100



7 PART ELEVATION - EAST OF HOUSEHOLD D  
SCALE 1 : 100



- LEGEND**
- METAL ROOFING
  - METAL GUTTERS, EAVES, DOWNPIPES
  - MASONRY
  - CLADDING
  - ALUMINIUM WINDOWS
  - SHADING ELEMENT - VARIABLE SIZES SUBJECT TO BCA SECTION J REQUIREMENTS
  - METAL LOUVERS
  - FEATURE CLADDING



AMENDMENTS

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ELEVATIONS - SHEET 2

DATE  
28/06/18

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As indicated

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253824-MO-A-400-01

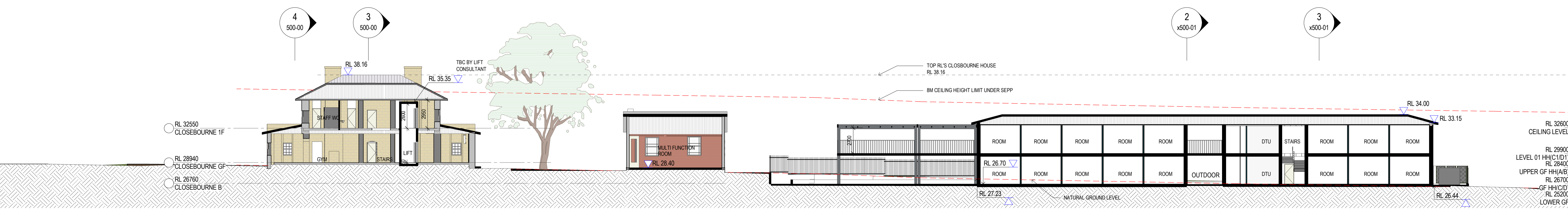
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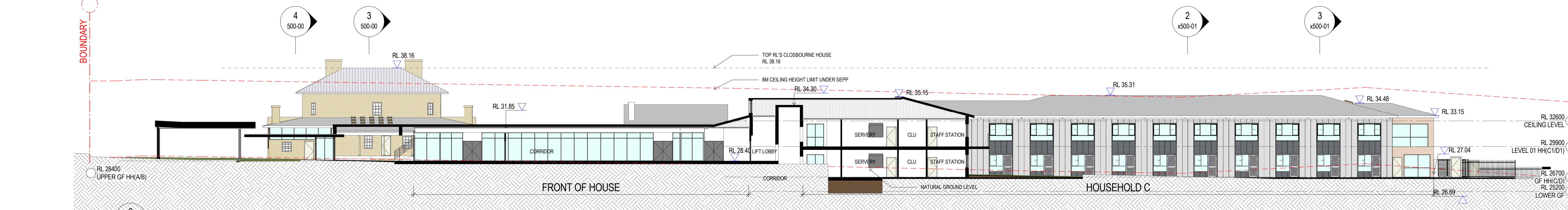
PROJECT  
AGED CARE  
MORPETH

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Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 290  
Nominated Architect Ian Brodie (4275)

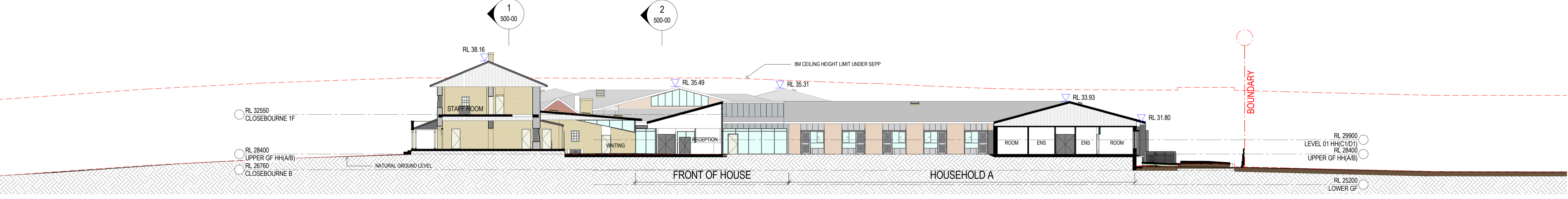
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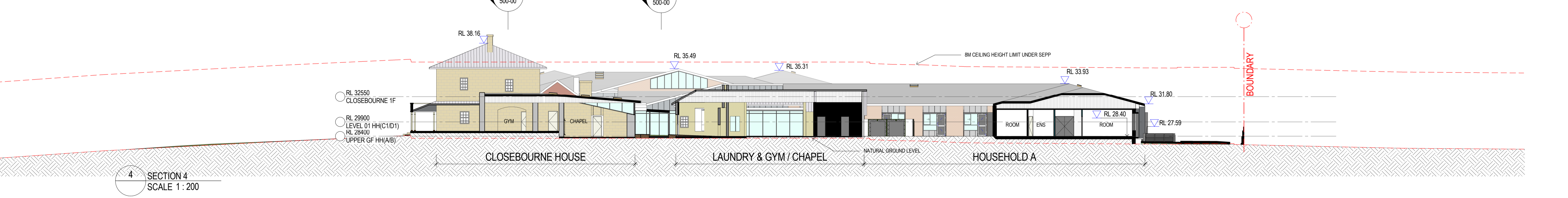
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2 SECTION 2  
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3 SECTION 3  
SCALE 1 : 200



4 SECTION 4  
SCALE 1 : 200

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MORPETH

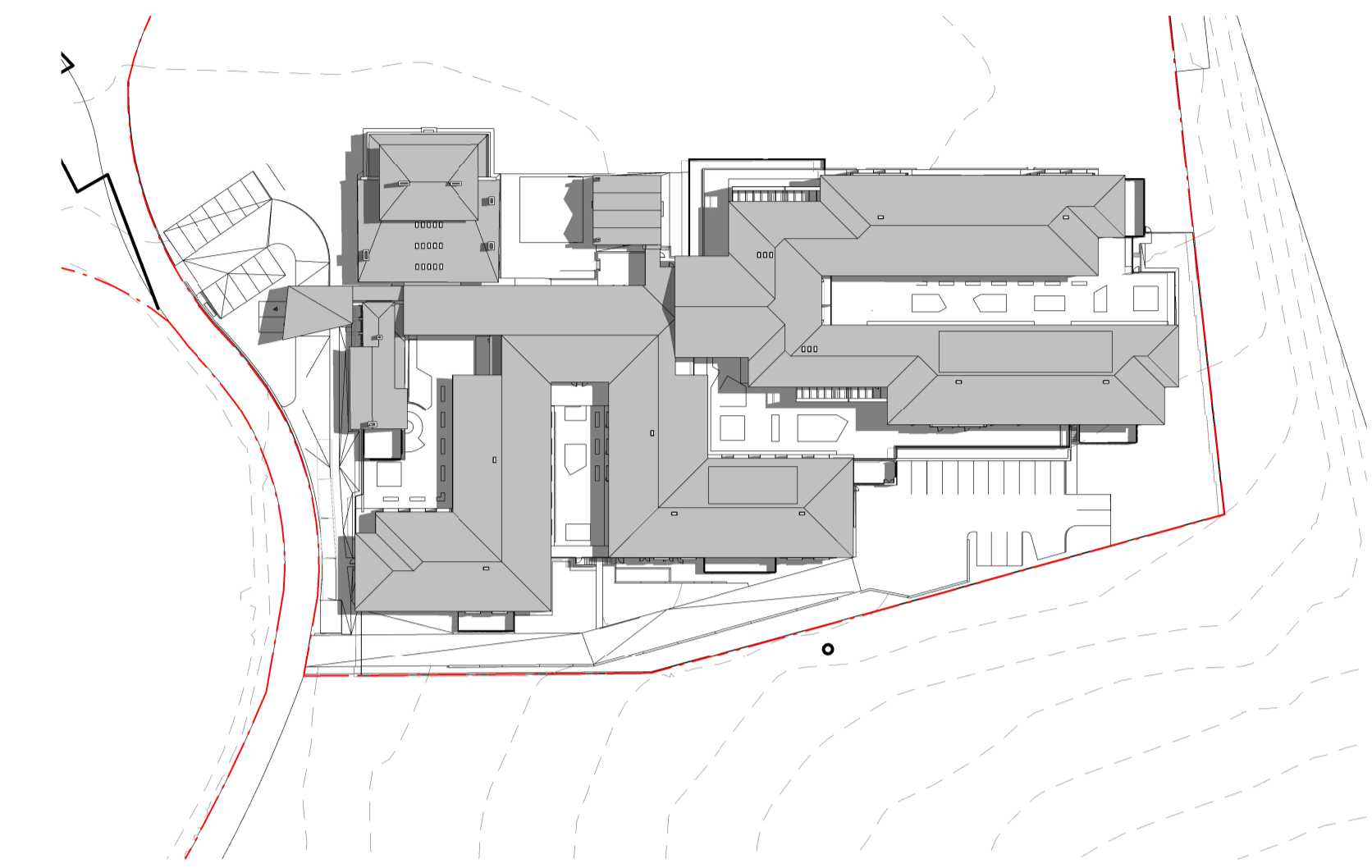
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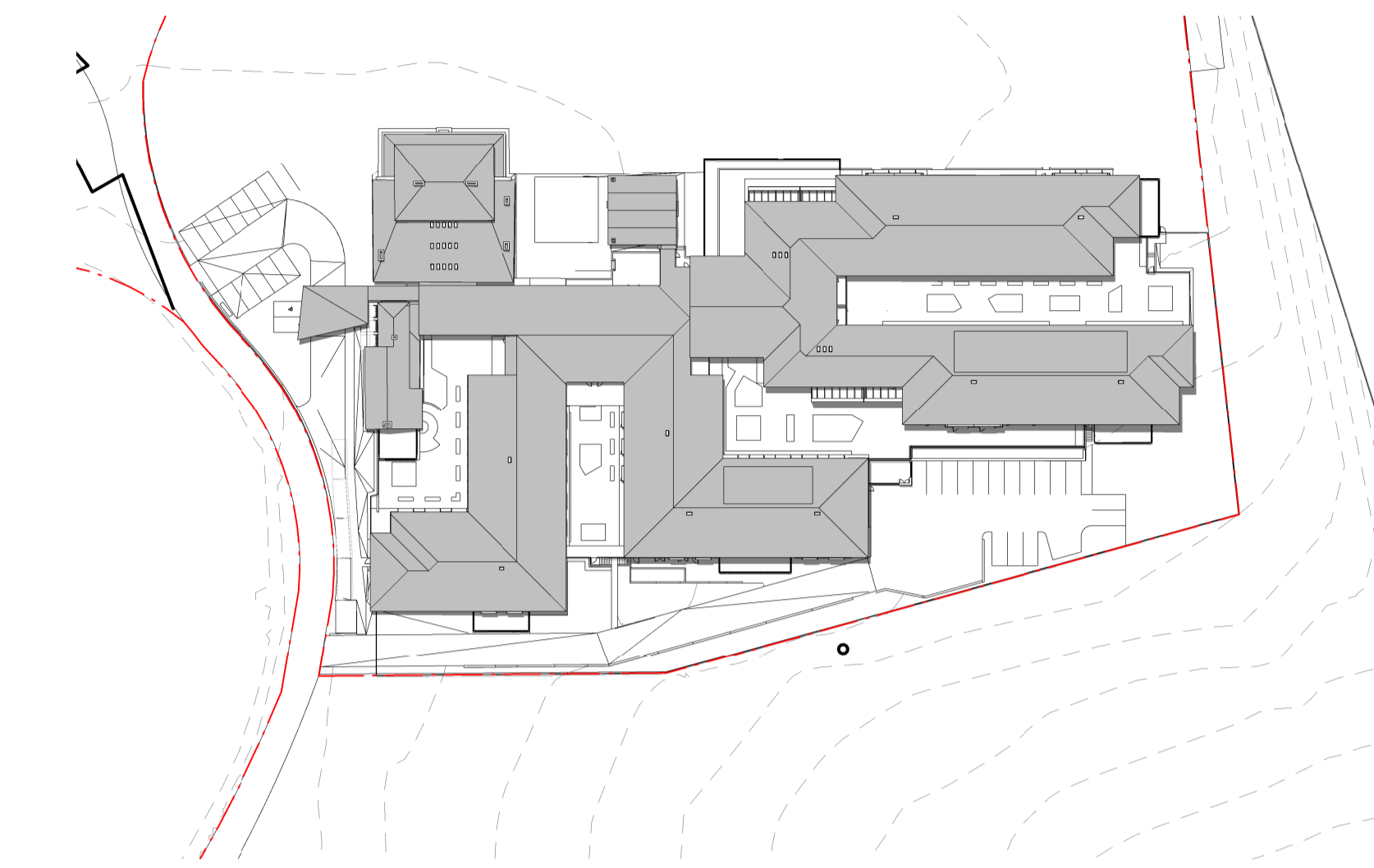
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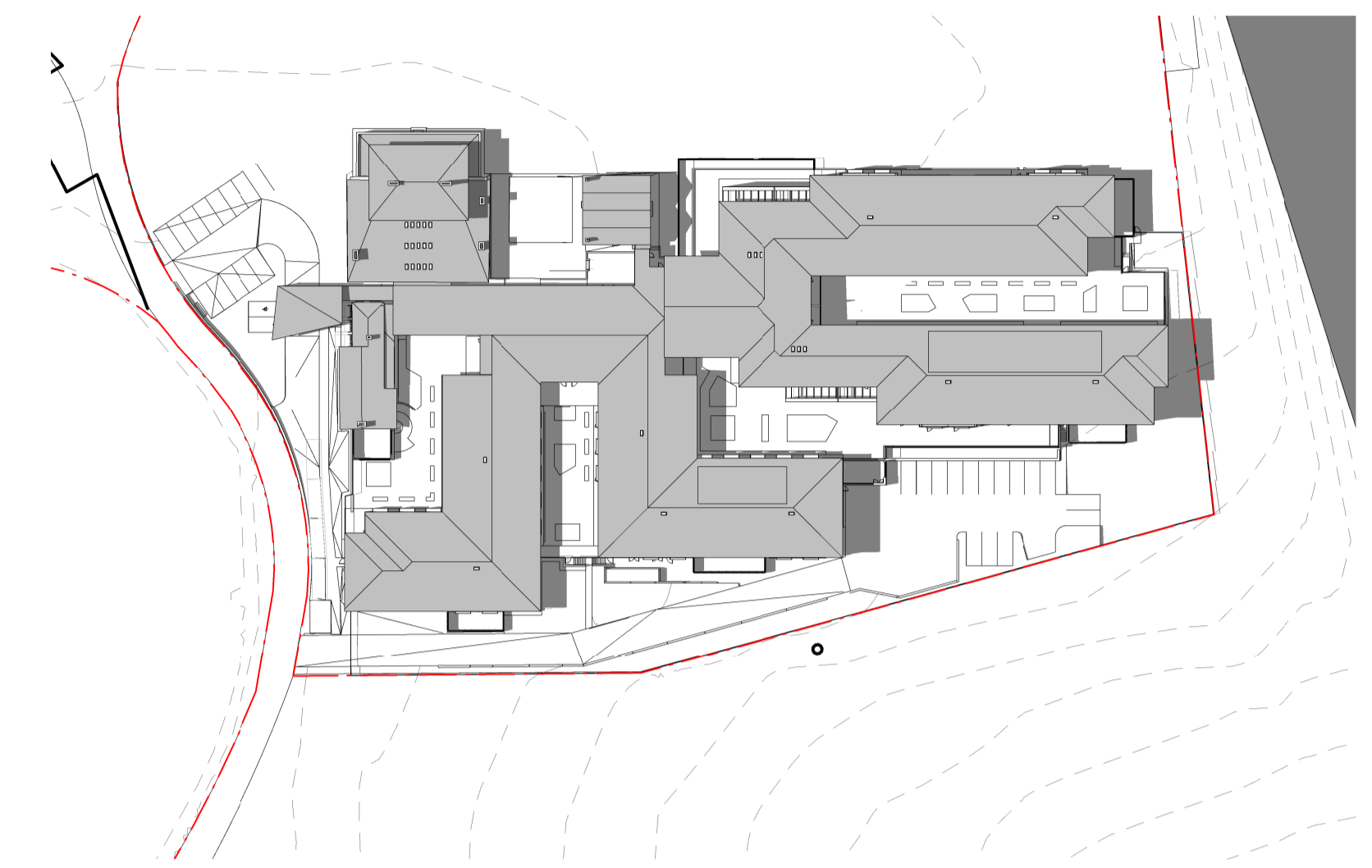
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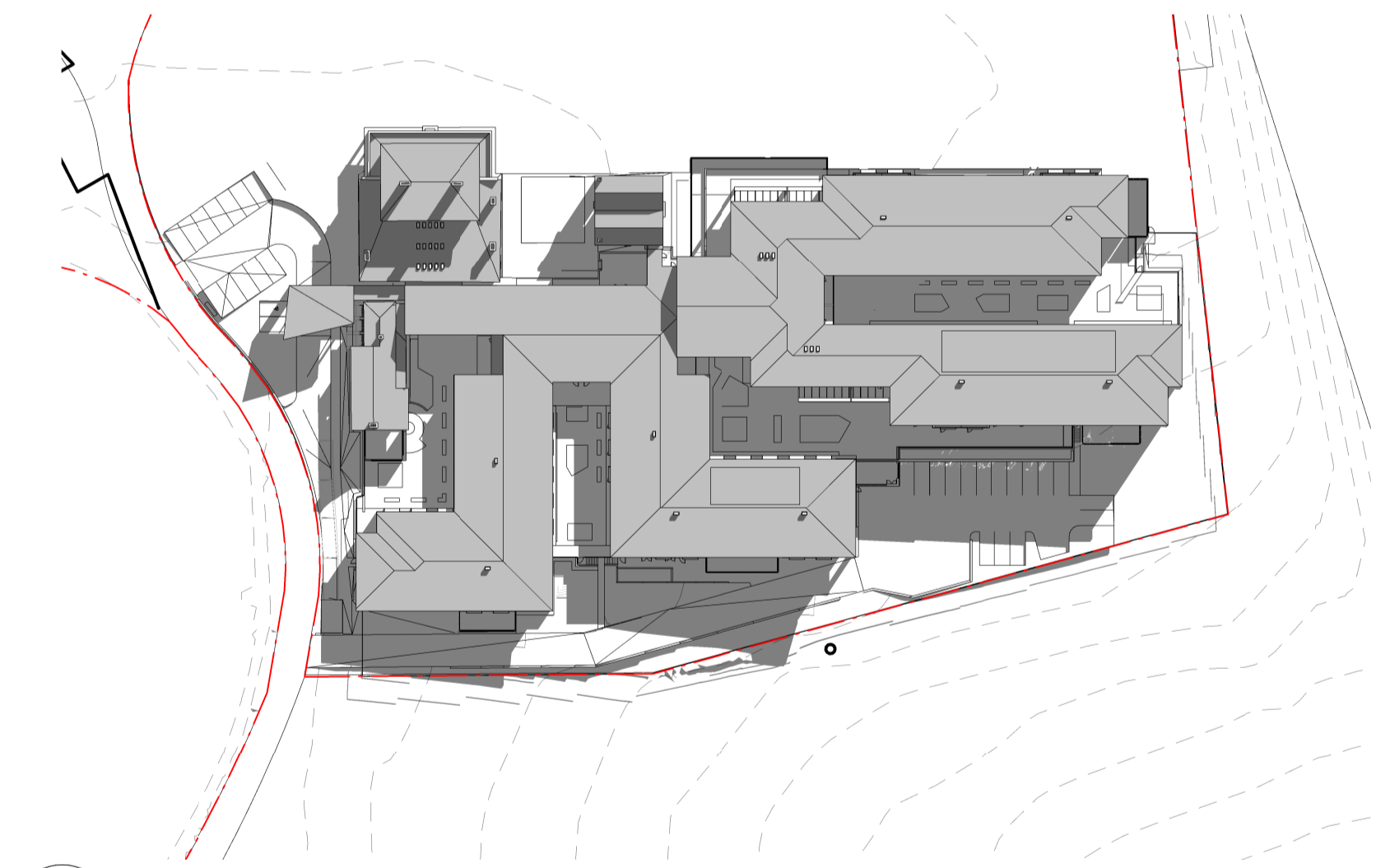
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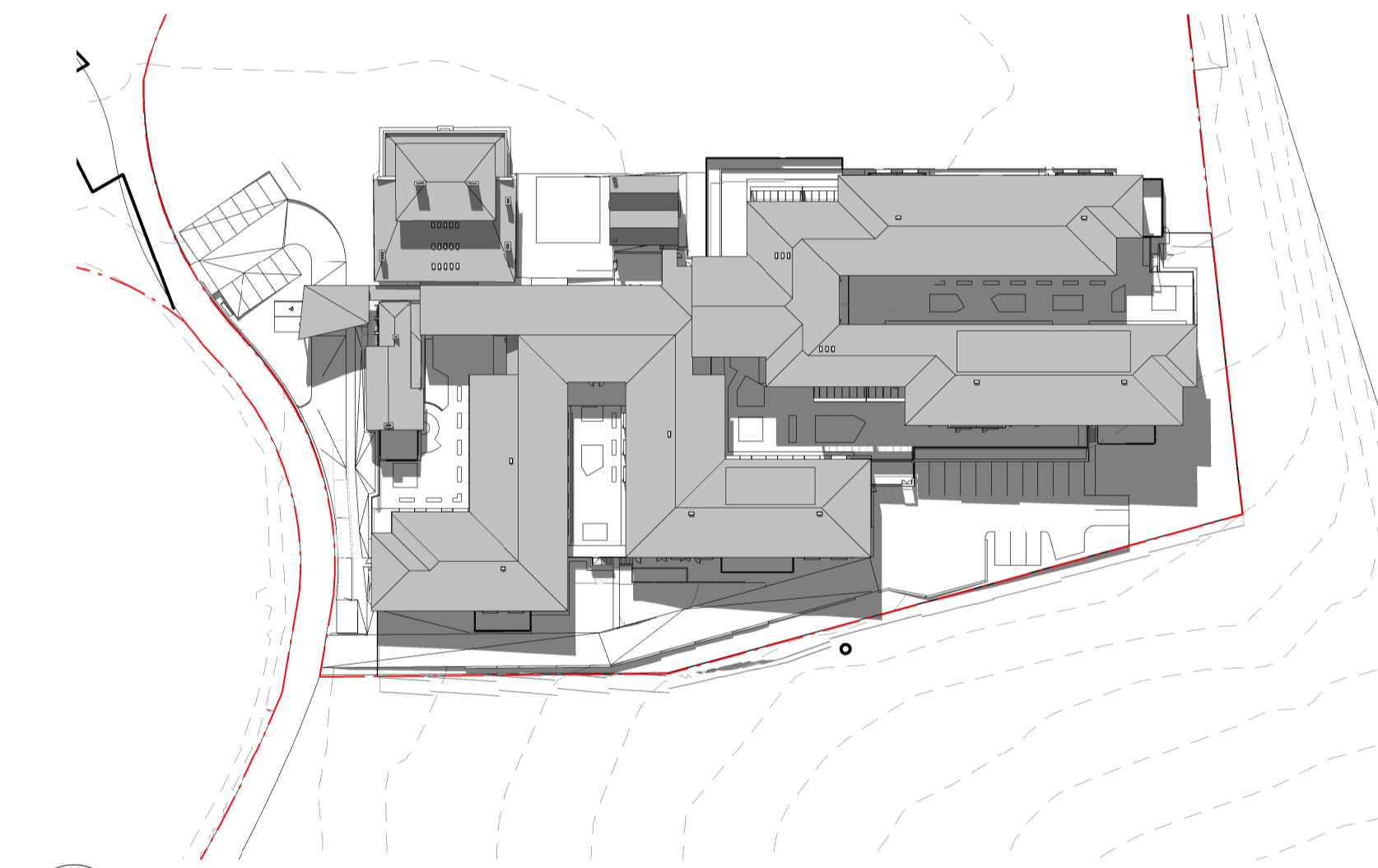
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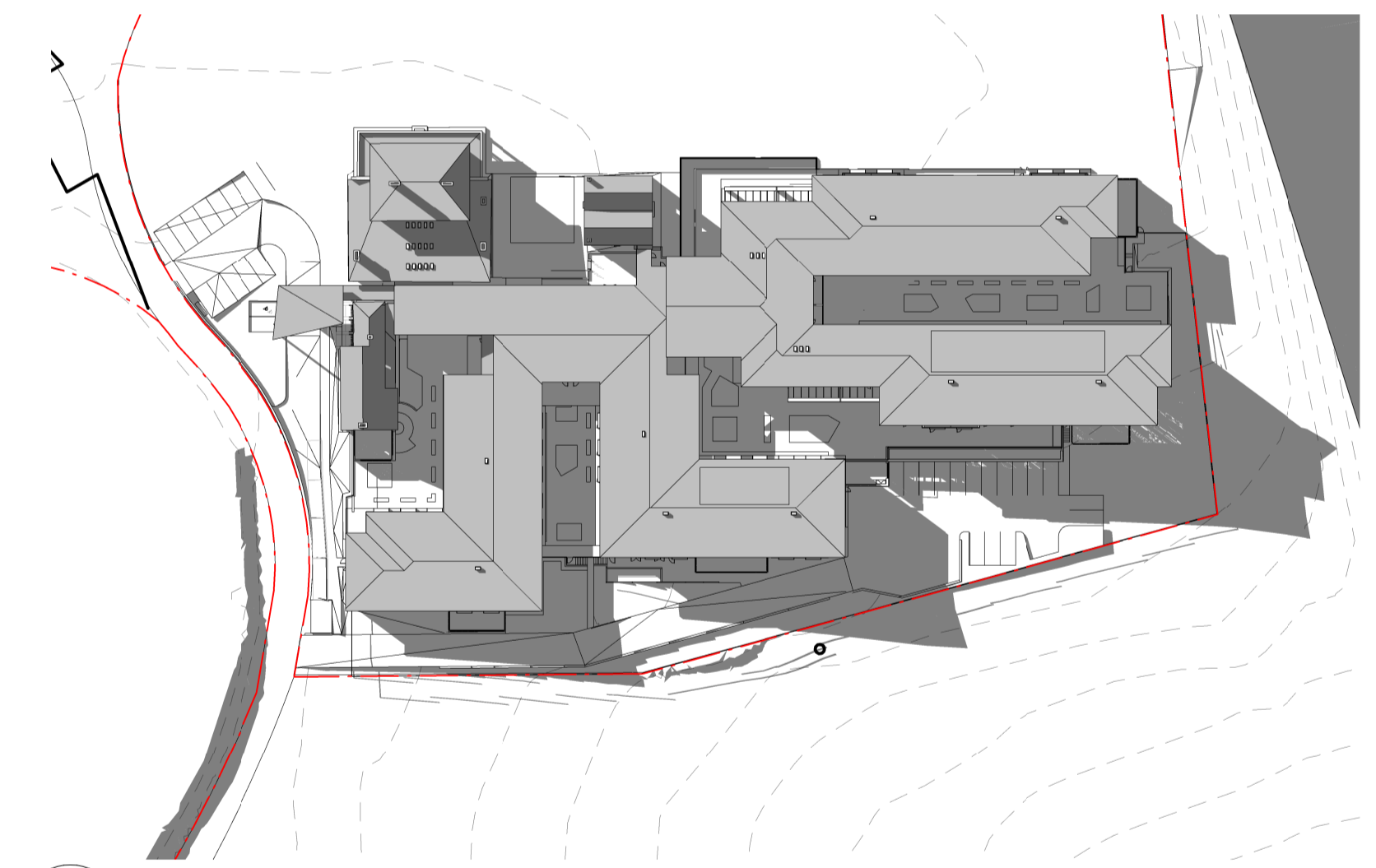
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4 SUN ANALYSIS 21ST JUNE 0900h



5 SUN ANALYSIS 21ST JUNE 1200h



6 SUN ANALYSIS 21ST JUNE 1500h

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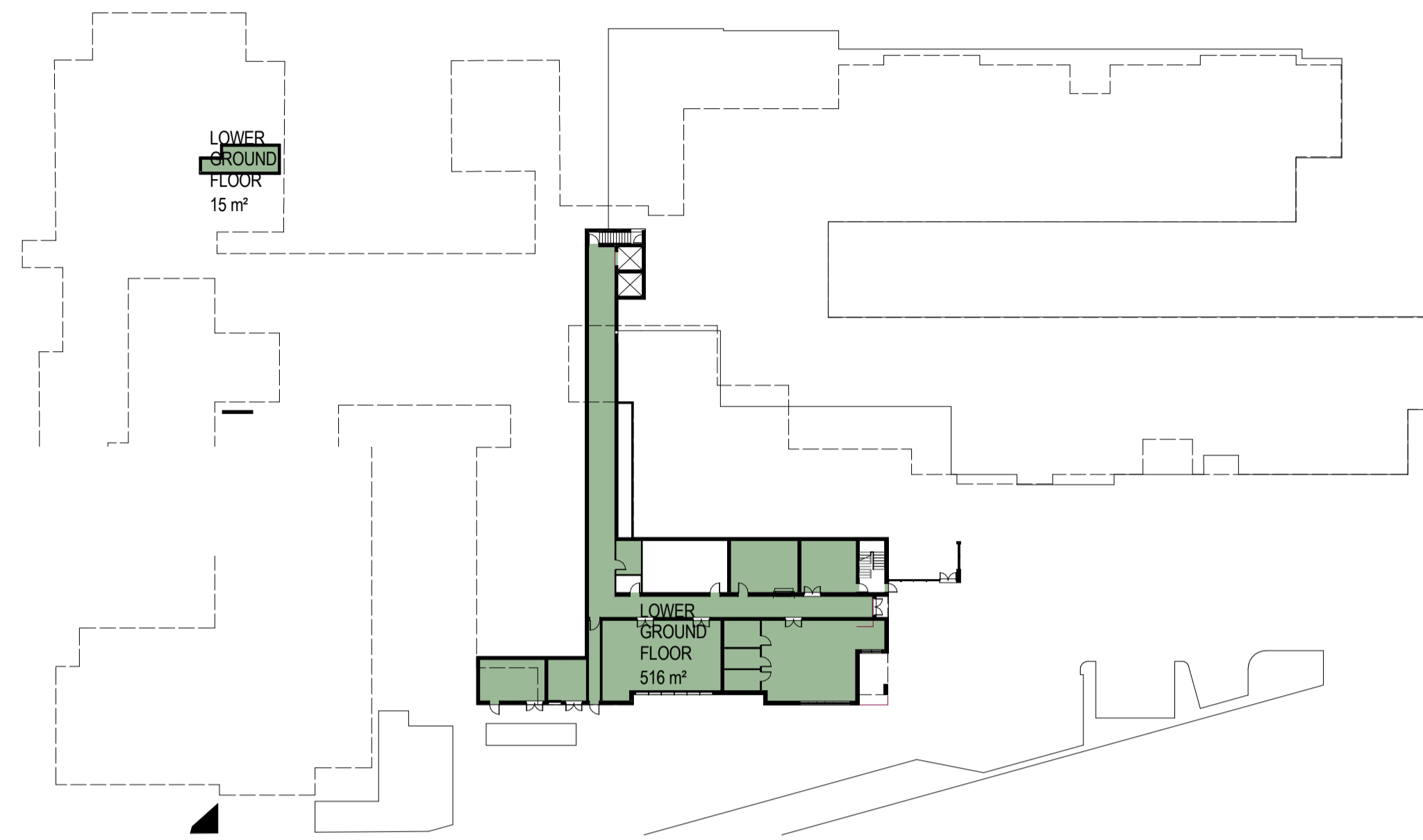
PROJECT  
AGED CARE  
MORPETH

SHADOW DIAGRAM - SHEET 1

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PROJECT No: 253824-MO-A-900-01  
DISCP. DRAWING No: 1  
DRAWN: AK  
ISSUE: 1

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Nominated Architect Ian Brodie (4275)

**JACKSON TEECE**



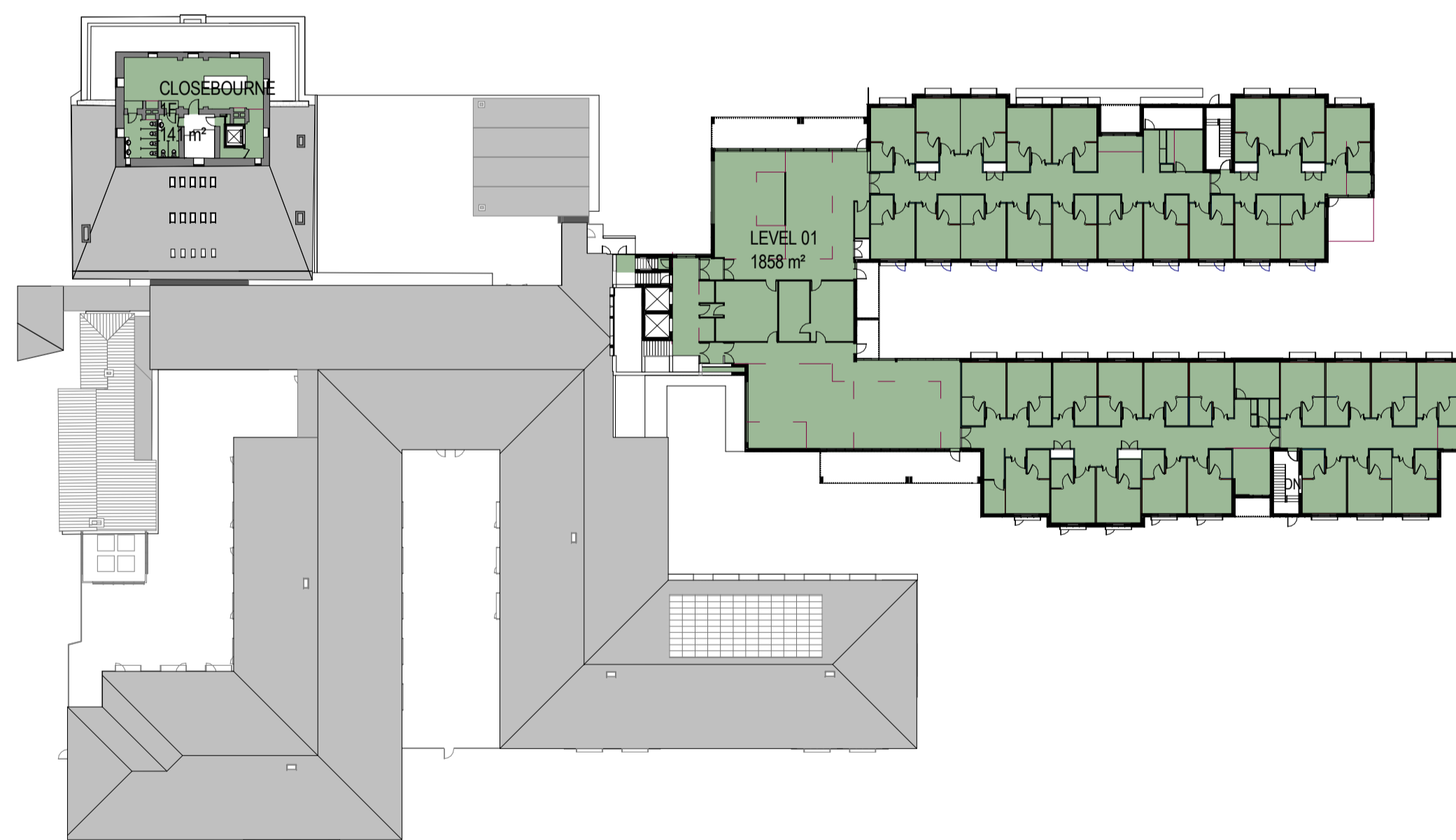
1 LOWER GROUND FLOOR  
SCALE 1 : 500



3 UPPER GROUND FLOOR (HH 1/2)  
SCALE 1 : 500

By Area Type (Gross Areas)

Building Common Area



2 LEVEL 01 (HH 5/6)  
SCALE 1 : 500

**FSR CALCULATIONS (SEPP 2004)**

SERVICES AND VERTICAL RISERS ARE NOT CALCULATED IN FSR CALCULATION  
STAIRS, LIFTS AND VOID ARE CALCULATED ONCE

TOTAL GFA = 7195 m<sup>2</sup>  
SITE AREA = 20720m<sup>2</sup>

PROPOSED FSR = 0.35 : 1

**CARPARKING CALCULATIONS**

TOTAL PARKING PROVIDED = 32

- ACCESSIBLE PARKING = 1
- CAR SPACES = 31

AMBULANCE BAY = 1

**DEVELOPMENT NUMBERS**

TOTAL BEDROOMS = 108  
TOTAL DEMENTIA ROOMS = 36

**LANDSCAPE CALCULATION**

TOTAL LANDSCAPED AREA = 11,279.318 m<sup>2</sup>

- HOUSE A / COURTYARD SPACE = 343.30m<sup>2</sup>
- HOUSE B / COURTYARD SPACE = 305.30m<sup>2</sup>
- HOUSE C / COURTYARD SPACE = 574.42m<sup>2</sup>
- HOUSE D / COURTYARD SPACE = 605.57m<sup>2</sup>

LANDSCAPE AREA PER RESIDENT = 104 m<sup>2</sup>

GFA CALCULATION		
Name	Area	FSR
CLOSEBOURNE 1F	141 m <sup>2</sup>	0.01
GROUND LEVEL	4665 m <sup>2</sup>	0.22
LEVEL 01	1858 m <sup>2</sup>	0.09
LOWER GROUND FLOOR	531 m <sup>2</sup>	0.03
	7195 m <sup>2</sup>	0.35

AMENDMENTS	ISSUE	DESCRIPTION	APPROVED	DATE
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MORPETH

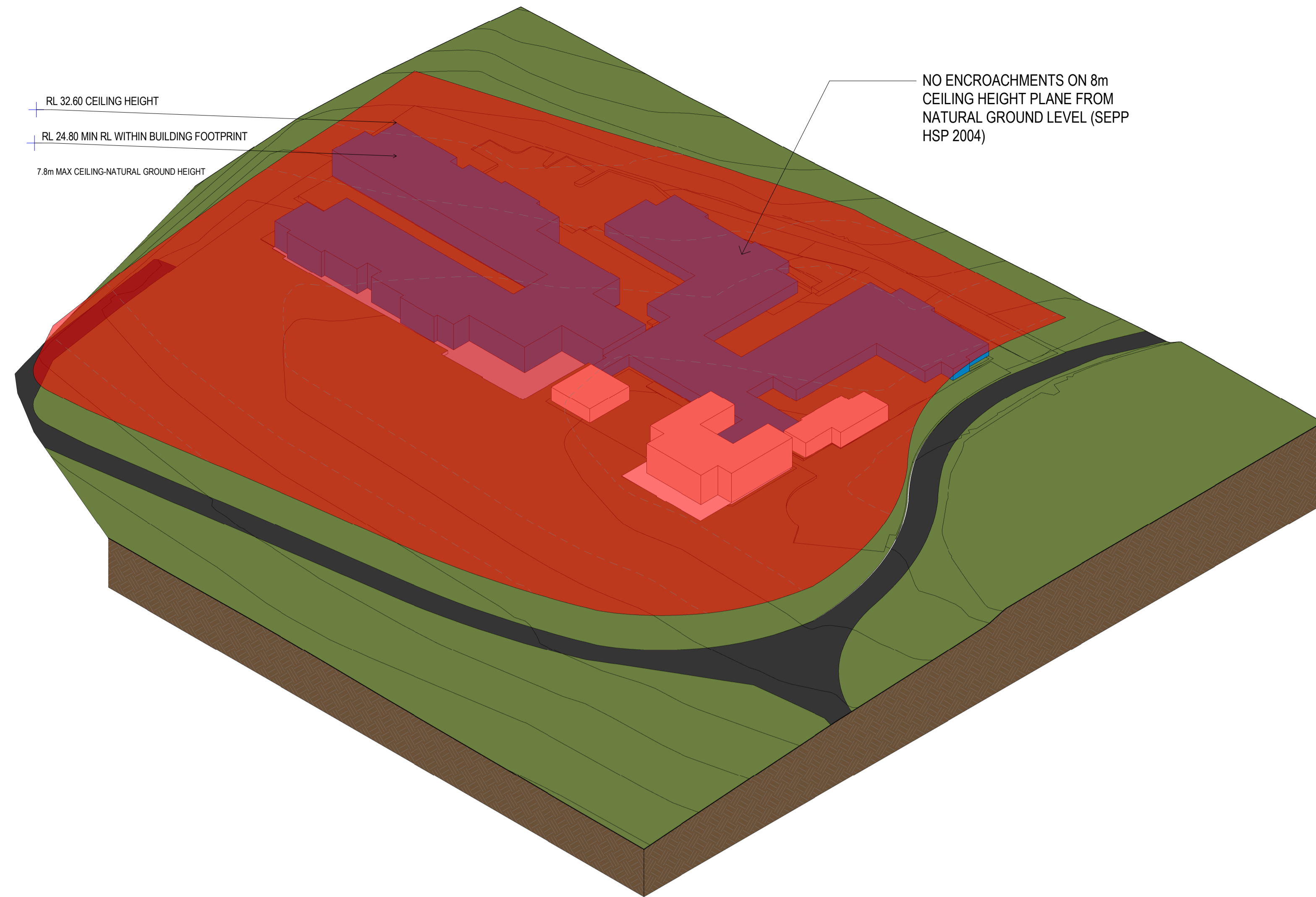
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CALCULATION (SEPP  
HPSD2004)

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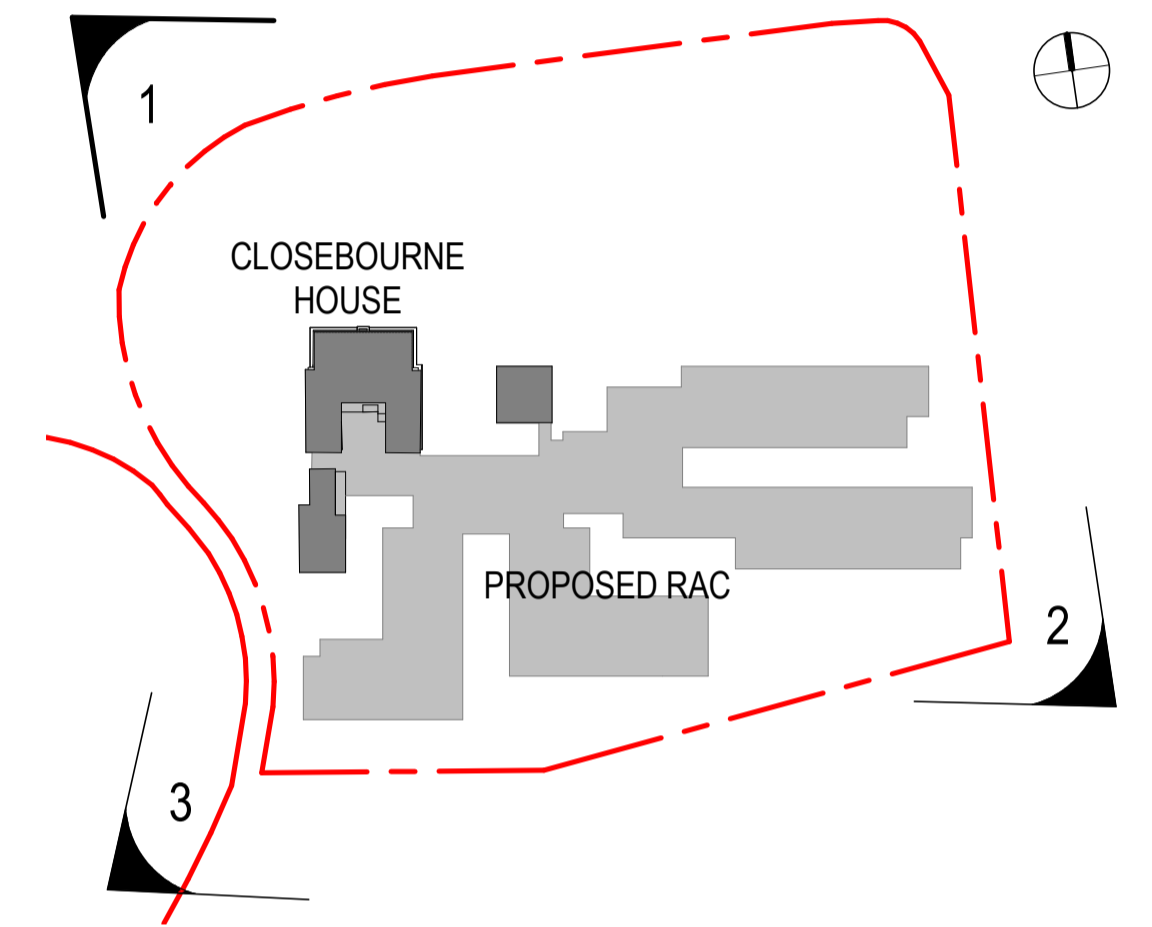
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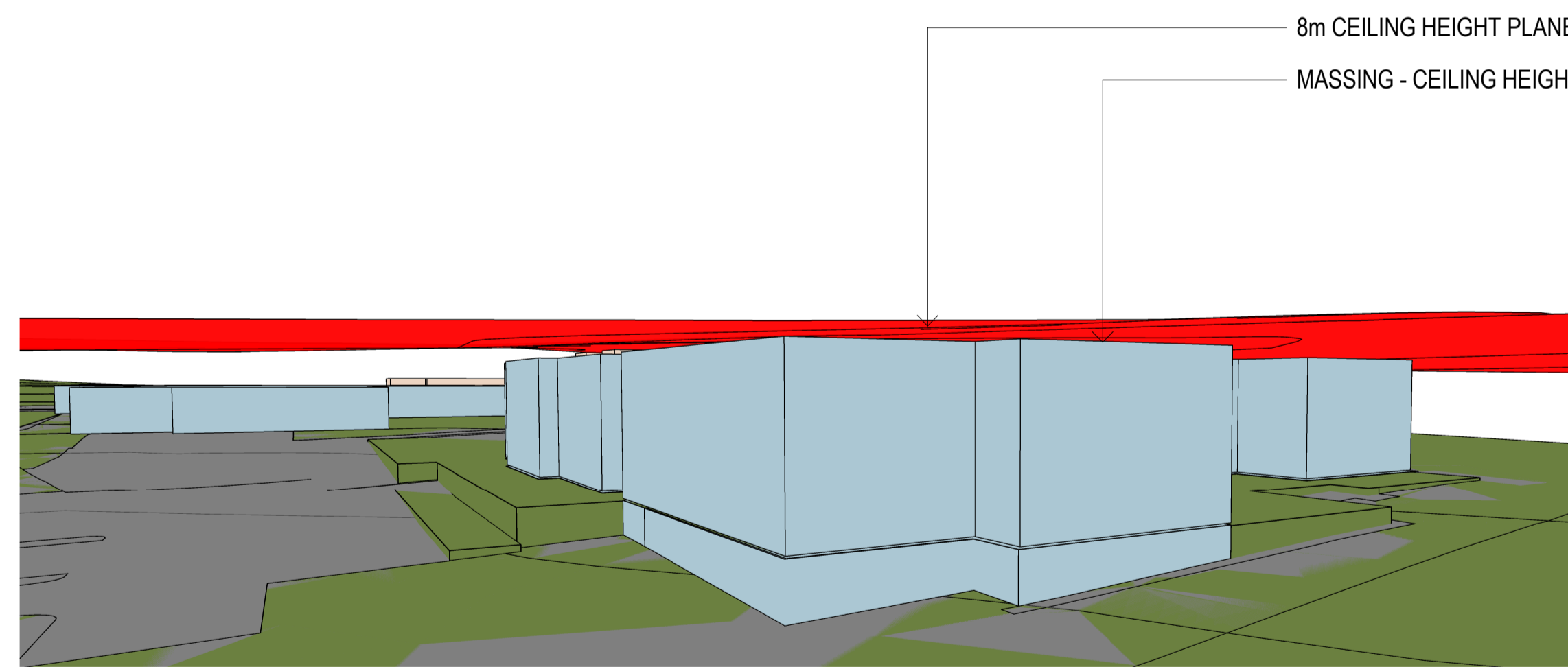
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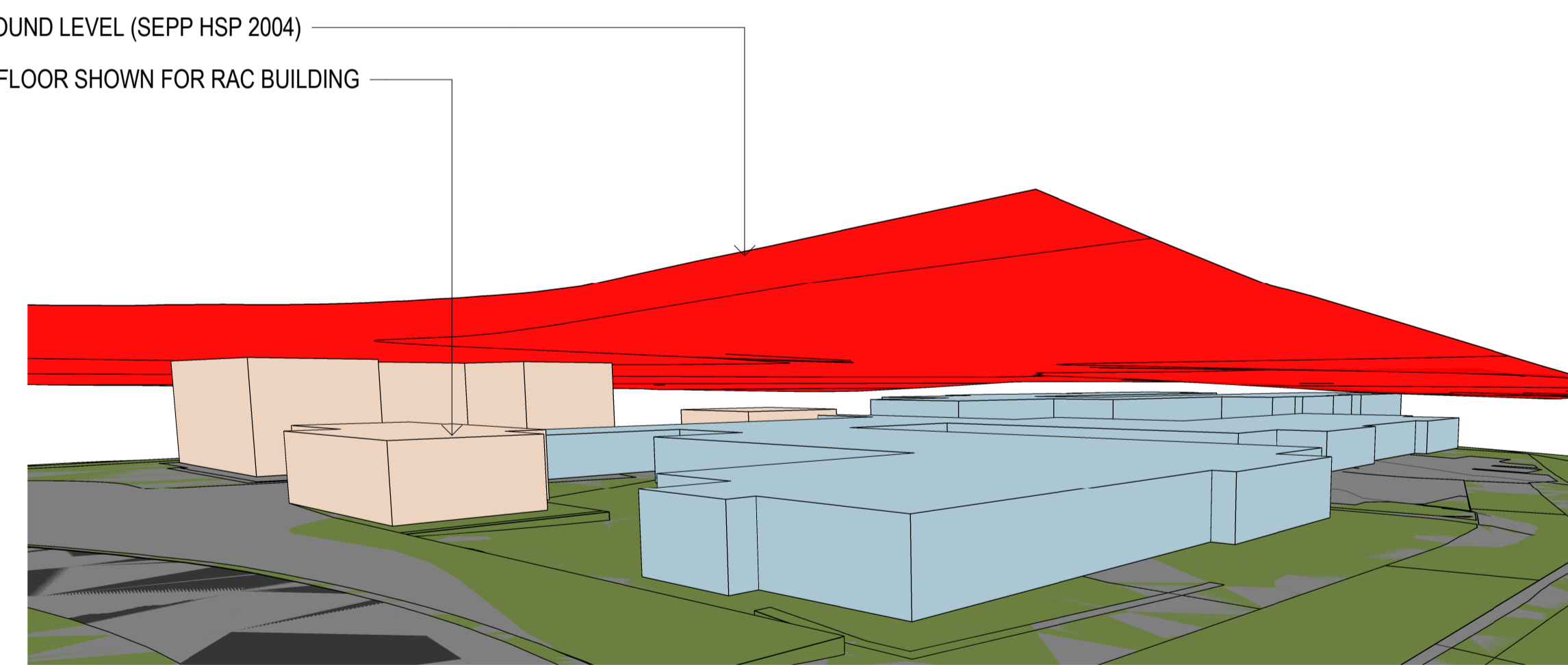
1 3D VIEW 1



KEY PLAN  
SCALE 1 : 1500



2 3D VIEW 2



3 3D VIEW 3

AMENDMENTS		
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8m BUILDING HEIGHT LIMIT (SEPP HSPD 2004)		Lot 1, Pier 8-9, 23 Hickson Road Walsh Bay New South Wales 2000 Australia T 61 2 9290 2722 F 61 2 9290 1150 E sydney@jacksonteece.com Jackson Teece Chesterman Willis Pty Ltd Trading as Jackson Teece ABN 15 083 837 290 Nominated Architect Ian Brodie (4275)
DATE 07/02/18	SCALE @ A1 1 : 1500	DRAWN PL
PROJECT No. 253824-MO-A-900-54	DISC. DRAWING No.	ISSUE 1
		<b>JACKSON TEECE</b>



# **JACKSON TEECE**

## **ARCHITECT'S DESIGN STATEMENT PREPARED TO ACCOMPANY THE DEVELOPMENT APPLICATION SUBMITTED TO THE MAITLAND COUNCIL**

**For the Proposed 108 beds Residential Aged Care Facility  
Morpeth Road,  
Morpeth NSW 2321  
Lot Part 3 DP 272740**

7 December 2018

Prepared by:

Jackson Teece  
Architecture

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ABN 15 083 837 290  
Nominated Architect Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

# JACKSON TEECE

## 1. SUMMARY

This Design Statement has been prepared in support of a Development Application to the Maitland City Council seeking Council's approval of the proposal for the development at Morpeth Road, Morpeth NSW for Catholic Healthcare.

This proposal is for a new 108 bed aged care facility which comprises of the adaptive reuse/ refurbishment of Closebourne House, the former Laundry, Gym/ Chapel and the Arkell House buildings precinct with the remaining buildings to be removed, new building extension of single storey and double storey components, associated parking and extensive high quality landscaped court yards and building curtilage.

The subject site currently sits within Closebourne Estate, NSW State Heritage listed item which comprises of the Closebourne House group of buildings and forming part of the greater 'Closebourne Village' Lend Lease retirement precinct. The site sits on the north eastern part of the estate development which will maintain a good connection and integration with its surrounding developments while providing safety and security for the new and existing residents.

## 2. OPPORTUNITIES AND CONSTRAINTS

### 2.1 HERITAGE CURTILAGE LINES

The Conservation Management Plan 2005 (CMP) established curtilage lines to protect the rural and historic nature of the site by limiting development to those areas inside and behind those lines. There is also grading of significance that has been taken into account.

### 2.2 HERITAGE BUILDINGS

The key heritage buildings are the focus of the proposal and as such an adaptive reuse strategy would be adopted to provide sustainable outcomes for Closebourne House. This offers a new lease of life for an important heritage site that has been deteriorating over recent years as its previous uses and functions have been relocated.

### 2.3 HERITAGE LANDSCAPE FEATURES

Significant landscape features identified in the CMP including the axial view of Brushbox Avenue of trees, Olive tree and fig tree on the south.

### 2.4 TOPOGRAPHY

Closebourne House has a ridge line which cuts East West across the site providing both falls and vantage points to distant views across the Hunter River and Valley, St. James church and Cemetery. The western boundary levels also sit above the existing Closebourne House precinct and the significant slope towards the south east providing further constraints.

## 3. DESCRIPTION OF THE PROPOSAL

### 3.1 CONTEXT

The Subject Site is described as Lot Part 3 DP270740 and Lot Part 1 DP270740 (Consist of the External Walls) with a site area of 2.041 ha. It is bounded on all sides by Lot Part 7, DP270740. The north and west boundaries formally adjoin an existing access easement.

The northern aspect of the site is characterised as open grass slopes to Morpeth Road, on the west there is an existing oval which is surrounded by existing established trees, on the south and west boundaries are open grass slopes towards an existing dam southeast of the site.

The eastern boundary is partially adjoining the heritage listed Avenue of Brush Box trees, of which six trees are located within our site.

The overall masterplan neighbourhood consists largely of detached single and 2-storey dwellings of low densities. The retirement village precinct of 'Closebourne Village' also features a successful adaptive reuse Morpeth House building.

### 3.2 HERITAGE RESPONSE

The proposal strives to strike a balance of the site's strong historical context. The significance of the site not only lies in its build form and landscape heritage elements but also closely linked to overall Heritage Significance of the Closebourne estate.

In defining the overall design concept, due consideration was taken in implementing strategies or framework that would provide an appropriate scale and built form response to site and context. Design workshops within the team including detailed on-site investigation from planning stages to ensure all heritage impact is raised and resolve before progressing to the next phase. One of the key components identified is to ensure that the views of the site from the road, preserve the rural nature of the site and not diminish the heritage elements that are prominent in these views. In addition, a hierarchy of built form relationships that are in dialogue with the locality as well as the character and scale of the existing buildings.

Closebourne House would form part of the Aged Care Facility operations and as such would be incorporated as part of the adaptive re-use strategy. Its significance and frontage to Morpeth Road would be preserved by ensuring that the new facility would sit behind the House and integrate into the slope to the south. The setting of Morpeth House will be considerably enhanced by this proposal, with removal of built and landscape elements which presently obscure its key views and relationships. Working closely with the heritage architect, sketch details are produced to verify all detail decisions adopted to change as little as possible to achieve the functional requirements of the residential aged care facility. Existing original built fabric are to be protected.

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## 3.3 DESIGN RESPONSE TO HERITAGE

The main entry is accessed directly off the driveway from an internal road network of Closebourne Village. It is co-located with a parking area, which is sympathetic to the heritage curtilage configuration and landscape batter easing the transitions. A porte-cochere provides cover for drop-off and ambulances while a covered walkway leads to the main entry door.

Here, the entry experience is focused on the discovery of the heritage items, with the entry road from the south-west and driveway that lead the views of people approaching the building towards them. The pedestrian entry presents all visitors with the texture and colour of the sandstone which leads them to an enclosed courtyard, where the height and massing of this early 19<sup>th</sup> century Country House can be fully understood. It is indeed in the central courtyard that existing and new converges, pulling together the original fabric, the additions, the laundry building, the historic memorial garden as the backdrop of the new aged care facility.

The front of house consists of the existing heritage buildings and new build. This includes the administrative areas, with offices, a meeting room and staff facilities, well-being areas with a multi-function room, a salon, consulting rooms and a gym. For a better integration with the community use, the front of house is centrally located and easily accessible from the residential wings through the 'Inner Street' and lifts.

There is a need to connect and change the back of Closebourne House because of the operational requirements of an aged care facility. For example, the current existing low pitch roofs over the south wings of Closebourne House provide low ceiling heights, unsuitable for an aged care facility and deemed non-compliant under BCA (minimum 2.7m ceiling heights required for 9C buildings). For this reason the southernmost parts of the roofs have been altered reinterpreting the original fabric, so that in the new scheme they are consistent with the northern parts. The introduction of a covered central courtyard defined by the wings either sides creates the 'main hub' of the development. In here are located the waiting room, the reception and the café, while the meeting room and the chapel open towards it, generating a vibrant area where all guests and visitors can appreciate the sandstone facades of Closebourne house.

Moving eastwards from the courtyard, the corridor, aligned with the porte cochere axis, acts as an 'Inner Street' that connects all household's front entries. The Inner Street is intended as a transitional highly activated space for meeting and social engagement of residents and visitors alike. The internal public functions open out onto this 'street' which also connects an outdoor café seating area overlooking the olive tree.

A lift was introduced to make the access to Closebourne House level 1 DDA compliant. The level 1 areas have been designed to provide great amenity to the staff. There is minimal impact on this level in terms of heritage significance, also noting its former use as conference room.

With regards to the other buildings response to heritage, there is glazed connection to the former Laundry, through a side entry, next to the reception. The reception has been orientated in such a way to use the laundry building as a backdrop, enhancing the role the Laundry building's connection to the House. The Former Gym / Chapel will be used as an open plan office, reminiscent of the former use.

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There will just two offices partitions sitting within the space. The Arkell House has been appropriately allocated to use as a multi-function space hub, with the high ceilings and its visual connection to the Olive Tree Courtyard garden, shared with the Closebourne House.

## 3.4 BUILDING FORM

While the building form is informed by requirements for operational functionality and resident's amenity the overall design is sympathetic to Closebourne House precinct, its surrounding context and adjacent sites. The adaptive reuse integration of the Closebourne House and its group of buildings to the RAC development reduces building footprint and form.

From the start of the design process, Closebourne House is the main reference for the whole architectural composition of the building forms and massing. There is also careful consideration of the existing topography which slopes significantly towards the southeast by approximately 5 metres.

Here, the new facility is formed by two main volumes: the one storey front of house wing and two 'Household' residential wings on the south; and 'Household' residential wings on the east, which sits at a half a level lower than the single storey component.

The topography also allows the Back of House to be 'tucked' away from the Front of House located directly below one of the single storey residential wings but remained centralized and accessible to all Households. These base walls also act as a podium reference which extends east before merging back to existing ground levels towards northeast of the site.

Six Care 'Households' are located in two 'U' shaped wings of single and double storey. Two secure households for dementia care are located at ground floor, providing direct access to a secure courtyard dedicated to outside perambulation. The residents affected by dementia have supervised access to these courtyards and other parts of the facility because of their tendency of trying to leave the facility and generally finding themselves in un-safe situations.

The lower ground floor, below the southern 'U' shaped wing of the Care Homes, accommodates the 'back-of house' rooms which comprise of a central kitchen, central laundry, maintenance workshop, storages and services plant areas.

The lower ground floor also includes a delivery bay and waste holding, which will be accessed from a proposed driveway off the Closebourne Village internal roads network.

The shapes of the individual building wings have been conceived to break up the bulk of the building and to minimise the visual impact on neighbouring properties and especially with regards to addressing significant views and key sightlines identified by the CMP. The building fabric will be also heavily concealed by the avenue of trees on the North.

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## 3.5 FACADES & COLOURS

The façade has been designed to minimize the visual impact with vertical and horizontal elements introduced to break up otherwise long monotonous façade thus reducing the scale to a more domestic one.

The materials and colours compositions respond to the existing setting of the place, with a palette of materials typical of the area. These materials draw reference from Closebourne House precinct and neighbouring buildings and residences. The proposed facades colour will be light with some accents of dark colours, which to reference a residential character. There is a conscientious decision to choose complimenting colours that will not compete but rather enhanced the precinct especially the sandstone colours of Closebourne House.

The external wall skin is generally a cladding system, with the exception of the façade pop outs and ground floor, where is a mid-dark tone face brick. The cladding is a prefinished painted plank that gives a ‘weatherboard’ look. The sitting rooms at the ends of each wing are clad with a darker cladding in order to create variation and reduce the scale of the building. The lower floor has been treated as a podium finished with natural colours to merge to surrounding landscape.

## 3.6 ROOF FORM

The facility new roofs are respectful of the domestic character of the estate with a roof pitch that relates to the Closebourne House precinct. The roof lines and the simplicity of the new roofs will not detract from the heritage building.

The Porte Cochere roofing and built form has always been intended to be a modern, contemporary and subtle architectural expression, which is an appropriate gesture for the reinterpretation of a new entry for the brand new aged care facility.

The main roof over the two ‘U’ shaped wings of Care Homes is visually expressed as a connected hipped structure with a 600mm wide eave all around. These roofs connect with each other at the central circulation cores with a gable end in order to integrate the lift overrun with the overall roof forms at this level.

The roof over the front of house wing is a mono-pitch structure which is an extension of half of the hipped roof form of the single storey Care Homes next to it. The intent here is to simplify roof forms towards the Northern public courtyards which forms part of main elevation of Closebourne House and to deliver the appropriate scale over part of the common public areas. A gable end is provided towards the western side of this roof distinguishing itself from the existing.

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## 4. DESIGN PRINCIPLES

### 4.1 BUILT FORM AND SCALE

The topography makes appear the building mass and scale of the proposal different according from where it is perceived.

From a massing perspective all new volumes are subservient to Closebourne House that retains the highest position of the site. The new volumes are placed in a way that they impact as minimum as possible the views to the house as identified in the CMP.

For this reason, the two storey component of the aged care facility has been placed on the North, leaving the sightlines from the South overpass the one storey wing.

There is a sense of respect of the existing building also in the way the new wings are treated: in order to reduce the scale of the long volumes, they get broken through different materiality and elements protruding the main alignment of the facades. Placing the low volume towards the South was also a strategy to visually break the two-storey component in a composition of volumes of a lower scale.

The bulk perceived from Closebourne House and its group of precinct buildings has been reduced limiting the adjoining new built form to a single storey element and then transitioning to the two-storey component. The new buildings do not encroach beyond Closebourne House and their roof form is in harmony with the heritage components.

### 4.2 DENSITY

The design targeted the smaller footprint possible that would meet the brief of an aged care facility. This choice was aimed to provide the largest extent of landscaped areas.

### 4.3 RESOURCE, ENERGY AND WATER EFFICIENCY

The design of the site, landscape and buildings has been guided by best practice standards in Ecologically Sustainable Design and applied.

The provision of rainwater tanks has been proposed for irrigation. Additional low-energy design features include cross ventilation to the majority of rooms and living areas, and northern orientation of the rooms where possible.

### 4.4 LANDSCAPE

Easy access to well-designed landscaped space is considered an important part in the provision of care for the residents.

A key element of the design was to address the importance of the existing large and significant trees that has been identified in the CMP. Appropriate landscape treatment addressing vistas

# JACKSON TEECE

and setting of the place as identified by CMP has been carefully considered which forms an important part of the amenity of the Village.

Landscape buffers act as screenings to and from the buildings enhancing the existing landscape whilst still retaining important viewing vistas within the overall development.

The main driveway, porte-cochere and car park from Avoca Drive has also been landscaped to provide a welcoming experience and soften the effect of hard surfaces.

Each care home wing will have their ground level landscaped courtyard.

## **4.5 AMENITY**

One of Catholic Healthcare's main guiding principles revolves around the provision of amenity to residents at very high standards.

In addition to the provision of extensive landscaped areas the amenity is achieved through the concept of the household. This is a space, with a strong residential feel, where supervision and privacy are articulated to achieve the best care goals.

Accessibility is a prime focus of the buildings and will be provided to all areas of the development.

Living areas are provided at various locations around each household, most maximized with views to a landscape outlook which aligns to the viewing vistas highlighted by the CMP. These provide alternative places for residents to spend time during the day while respecting the delicate heritage history and culture.

## **4.6 SAFETY AND SECURITY**

Security fencing is provided between the two wings to provide a secure outdoor area for residents with dementia, who will be located at the ground floor level. The west wing will have an additional secure open space towards the north to take advantage of the northern aspect during winter. Security fencing is also provided between the resident's area and common public areas.

Proposed boundary fencing, existing is designed to limit the access points to the site. The proposed vehicular gates to the driveways will enable better security at night for staff and residents where these gates can be closed off.

No security fencing is proposed within Closebourne House Heritage Curtilage and Brushbox Avenue of Trees for maximum integration of the existing heritage setting and landscape of the site.



# JACKSON TEECE

## 4.7 SOCIAL DIMENSIONS

The vision for the site is to create a positive difference to the lives of residents, visitors and staff alike by providing accommodation in a highly domestic environment and of a residential scale.

Health and wellbeing have been the guiding principles for the design of this facility, with the intent also of promoting social interaction among residents, and with the broader community especially with the adjacent retirement living village.

**Morpeth House - Existing Door Schedule**

General notes,

- All** the door heights do not comply, unobstructed height min. 1980mm BCA D1.6(a).
- All** the door widths do not comply being less than min. 870mm for resident use areas (9c)
- All** doorways which formed part of corridor widths for BCA purpose is deemed non-compliant regardless (min 1.5m clear). Doorways/ door arches affected

Door number	Location	Door Height Clear (mm)*	Door Width Clear (mm)*	Changes Proposed Y/ N **	Comments ***
<b>GF</b>					
e.D-01	Meeting Room	1860	855	N, Locked	
e.D-02	Meeting Room	1797	850	N, Locked	
e.D-03	Accessible WC	1765	848	Y, Removed	Modify existing door frame to be replaced with new complying door with D-04
e.D-04	TBC	1800	850	N	Locked or required access for exhibition space/ store room
e.D-05	Verandah	1845	845	Y, Removed	To be made 2500mm high x 2000mm wide clear opening in existing wall.
e.D-06	TBC	1835	844	N	Locked or required access for exhibition space/ store room
e.D-07	TBC	1820	830	N	Locked or required access for exhibition space/ store room
e.D-08	Exist. Toilet	1927	823	Y, Removed	Non-structural, removed wall/ door to ceiling level
e.D-09	Lift Lobby	1929	795	Y, Removed	To be made 2500mm high clear opening in existing wall.
e.D-10	Lift / Services Core	1892	860	N	
e.D-11	Verandah	1900	811	N, Locked	
e.D-12	Waiting	1963	845	Y, Removed	Door to be removed with care for storage. Modify / make good existing door frame to sit flush with door architraves to achieve min. door opening clearances
e.D-13	Main Door	1930	845	Y, Removed	Nominated Egress Door - Front Door to be replaced with D-01
e.D-14	Consultation Room	1920	812	Y, Removed	Door to be removed with care for storage. Modify existing door frame to insert new complying door dimensions with D-09 with new structural lintels as required
e.D-15	Gym	1900	820	Y, Removed	Door to be removed with care for storage. Modify existing door frame to insert new complying door dimensions with D-10 with new structural lintels as required
e.D-16 Doorway	Exist. Doorway	1985	1000	Y, Infilled	
e.D-17	Gym	1942	797	N, Locked	
e.D-18	Verandah	1815	862	N, Locked	
e.D-19	Vestry	1799	802	N	
e.D-20 Doorway	Vestry	1900	1015	N	Stairs moved further in to provide more head room
e.D-21	Chapel	1828	865	N, Locked	
e.D-22 Archway	Stairs	2157	979	N	
D-01	Hallway	1930	845	n/a	New replacement single leaf timber panel door in stained finish to match exist. Door to have hold open device, pull to open signage and 'D' handle to inside face of door as per BCA report.
D-02	Meeting Room	**** 1970	**** 949	n/a	New single leaf solid timber panel door with glazing infill in stained finish to match exist. Note: Existing window to be removed for storage. New door to be fitted to existing window opening to avoid rework of sandstone lintel facing.
D-03	Chapel	**** 2030	**** 847	n/a	New single leaf timber panel door with glazing infill in stained finish to match exist Note: Existing window to be removed for storage. New door to be fitted to existing window opening to avoid rework of sandstone lintel facing.
D-08	Disabled Toilet	-	-	n/a	New complying door dimensions single leaf solid timber panel door in stained finish to match existing
D-09	Consultation Room	-	-	n/a	New complying door dimensions single leaf solid timber panel door in stained finish to match existing
D-10	Gym	-	-	n/a	New complying door dimensions single leaf solid timber panel door in stained finish to match existing
<b>FF</b>					
e.D-23	Stairs	1883	850	Locked, Y	Locked and fitted with smoke seals
e.D-24	Staff Room	1883	833	Y	Nominated Egress Door - Fitted with smoke seals. Door knob to be replaced with door lever (subject to Alternative Solution confirmation by Fire Engineer)
e.D-25	Lift Lobby	1803	850	Y, Removed	To be made 2500mm high clear opening in existing wall.
e.D-26	Fire Hydrant Cupboard	1879	847	Y, Removed	Replaced with D-06
D-04	Staff WC (F)	-	-	n/a	New single leaf solid timber panel door in stained finish to match exist.
D-05	Staff WC (M)	-	-	n/a	New single leaf solid timber panel door in stained finish to match exist.
D-06	Fire Hydrant Cupboard	1879	847	n/a	New single leaf solid core hydrant cupboard door (swing opposite direction) with smoke seals to replace heritage door (removed for storage). New cupboard space for hydrant.
D-07	Services Access	-	2080	n/a	New single leaf flush cupboard door fitted with smoke seals
* Referenced to Door survey received from LL dated 29/05/18					
** Existing Door current conditions suitability has not been considered					
*** Refer separate BCA report dated 24/04/18 for Scope for proposed Alternative Solutions for Doors and Corridor Widths.					
**** Based on dimensions extrapolated from Survey 2016043 Internal Survey Dated 28/02/17 - To Be Verified on-site					

Drawing List	
Sheet Number	Sheet Name

ASK-000-00	COVER SHEET
ASK-200-00	FLOOR PLAN - GROUND
ASK-200-01	FLOOR PLAN - GROUND
ASK-301-00	FLOOR PLAN - FIRST
ASK-302-00	FLOOR PLAN - ROOF - SHEET 1
ASK-302-01	FLOOR PLAN - ROOF - SHEET 2
ASK-400-00	ELEVATIONS - SHEET 1
ASK-400-01	ELEVATIONS - SHEET 2
ASK-400-02	ELEVATIONS - SHEET 3
ASK-400-03	ELEVATIONS - SHEET 4
ASK-500-00	SECTIONS - SHEET 1
ASK-500-01	SECTIONS - SHEET 2
ASK-500-02	SECTIONS - SHEET 3
ASK-550-00	SECTION - DETAIL SHEET 1
ASK-550-01	SECTION - DETAIL - SHEET 2
ASK-550-02	SECTION - DETAIL - SHEET 3

ISSUE	DESCRIPTION	APPROVED	DATE
1	FOR INFORMATION	PL	06/07/18
2	FOR INFORMATION	JL	12/07/18
3	ISSUE FOR DA SIGNOFF	JL	06/08/18
4	ISSUE FOR INFORMATION	JL	25/08/18
5	ISSUE FOR INFORMATION	JL	04/12/18

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**HERITAGE FABRIC**

APPROVED BY: GA CHECKED BY: GA/JL

**CLIENT  
LEND LEASE**



**COVER SHEET**

DATE: 06/08/18 SCALE @ A3 DRAWN: PL

PROJECT No. 253824-MO PHASE DA ASK-000-00 DRAWING ISSUE 5

**PROJECT  
AGED CARE  
MORPETH**

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4	ISSUE FOR INFORMATION	JL	04/12/18
5	ISSUE FOR INFORMATION	JL	14/12/18

**LEGEND**

- - - EXISTING WALL / DOOR / WINDOW / STAIRS / ROOF TO BE CAREFULLY REMOVED
- ▬ PROPOSED NEW BUILT ELEMENTS
- ▬ EXISTING BUILT ELEMENTS TO BE RETAINED
- e.FP EXISTING FIREPLACE TO BE RETAINED AND PROTECTED TO FUTURE DETAIL
- e.D-XX DOOR NUMBERING - EXISTING DOOR AS PER SCHEDULED
- D-XX DOOR NUMBERING - NEW DOOR AS PER SCHEDULED
- ▬ DOOR TO BE RETAINED AND LOCKED AS PER SCHEDULED



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**LEND LEASE**



**FLOOR PLAN - GROUND**

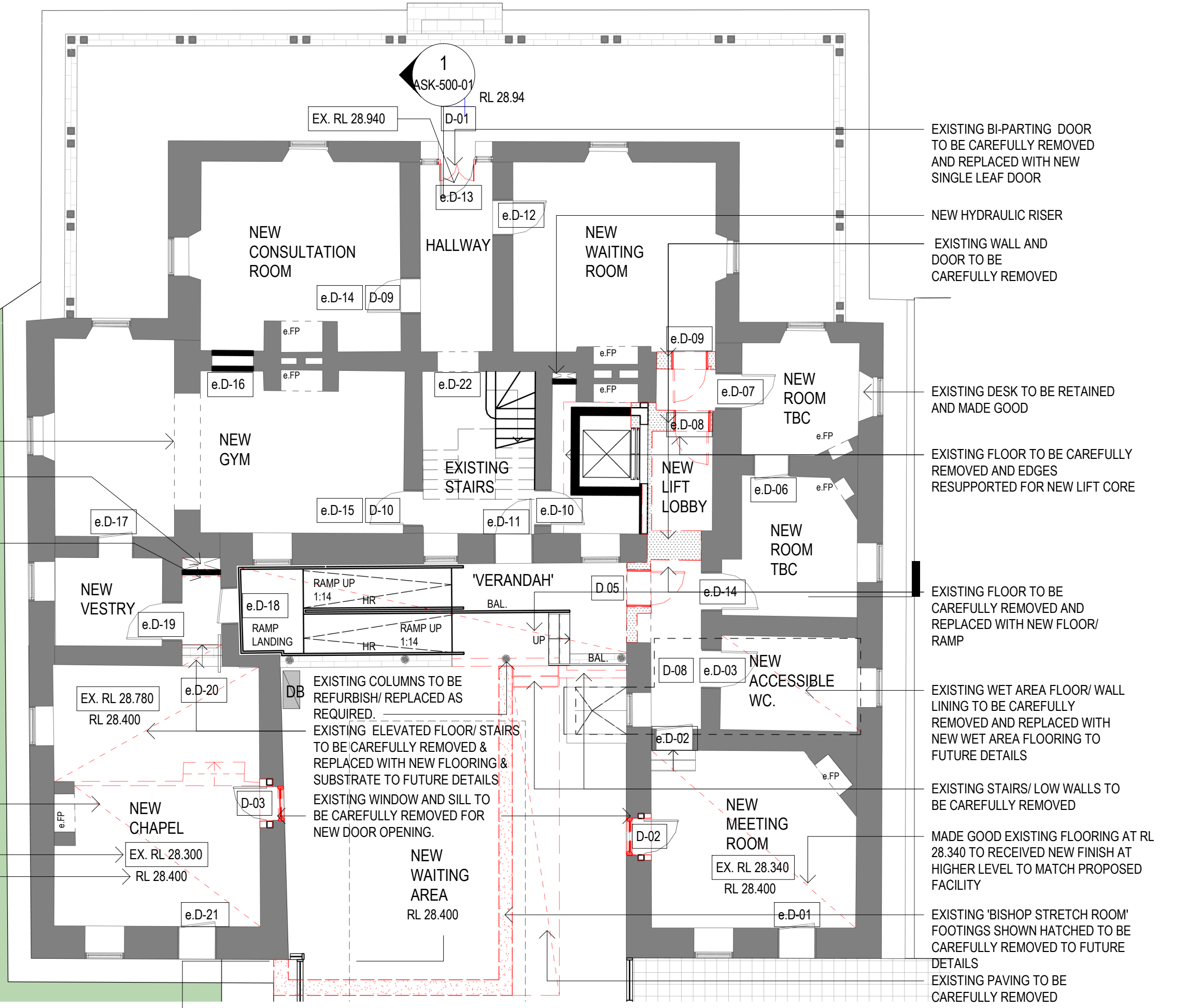
DATE 06/08/18 SCALE @ A3 1 : 100 DRAWN PL

PROJECT No. 253824-MO PHASE DA ASK-200-00 DRAWING ISSUE 5

PROJECT  
**AGED CARE MORPETH**

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Trading as Jackson Teece  
ABN 15 083 837  
Registered Architect Ian Brodie (4275)

**JACKSON TEECE**



EXISTING ARCHWAY OVER SHOWN DASHED  
NEW HYDRAULIC RISER  
EXISTING DAMAGED JOINERY CUPBOARD TO BE REMOVED

EXISTING BI-PARTING DOOR TO BE CAREFULLY REMOVED AND REPLACED WITH NEW SINGLE LEAF DOOR

NEW HYDRAULIC RISER  
EXISTING WALL AND DOOR TO BE CAREFULLY REMOVED

EXISTING DESK TO BE RETAINED AND MADE GOOD

EXISTING FLOOR TO BE CAREFULLY REMOVED AND EDGES RESUPPORTED FOR NEW LIFT CORE

EXISTING FLOOR TO BE CAREFULLY REMOVED AND REPLACED WITH NEW FLOOR/ RAMP

EXISTING WET AREA FLOOR/ WALL LINING TO BE CAREFULLY REMOVED AND REPLACED WITH NEW WET AREA FLOORING TO FUTURE DETAILS

EXISTING STAIRS/ LOW WALLS TO BE CAREFULLY REMOVED

MADE GOOD EXISTING FLOORING AT RL 28.340 TO RECEIVED NEW FINISH AT HIGHER LEVEL TO MATCH PROPOSED FACILITY

EXISTING 'BISHOP STRETCH ROOM' FOOTINGS SHOWN HATCHED TO BE CAREFULLY REMOVED TO FUTURE DETAILS

EXISTING PAVING TO BE CAREFULLY REMOVED

EXISTING COLUMNS TO BE REFURBISH/ REPLACED AS REQUIRED.  
EXISTING ELEVATED FLOOR/ STAIRS TO BE CAREFULLY REMOVED & REPLACED WITH NEW FLOORING & SUBSTRATE TO FUTURE DETAILS  
EXISTING WINDOW AND SILL TO BE CAREFULLY REMOVED FOR NEW DOOR OPENING.

MADE GOOD EXISTING FLOORING AT RL 28.300 TO RECEIVED NEW FINISH AT HIGHER LEVEL TO MATCH PROPOSED FACILITY

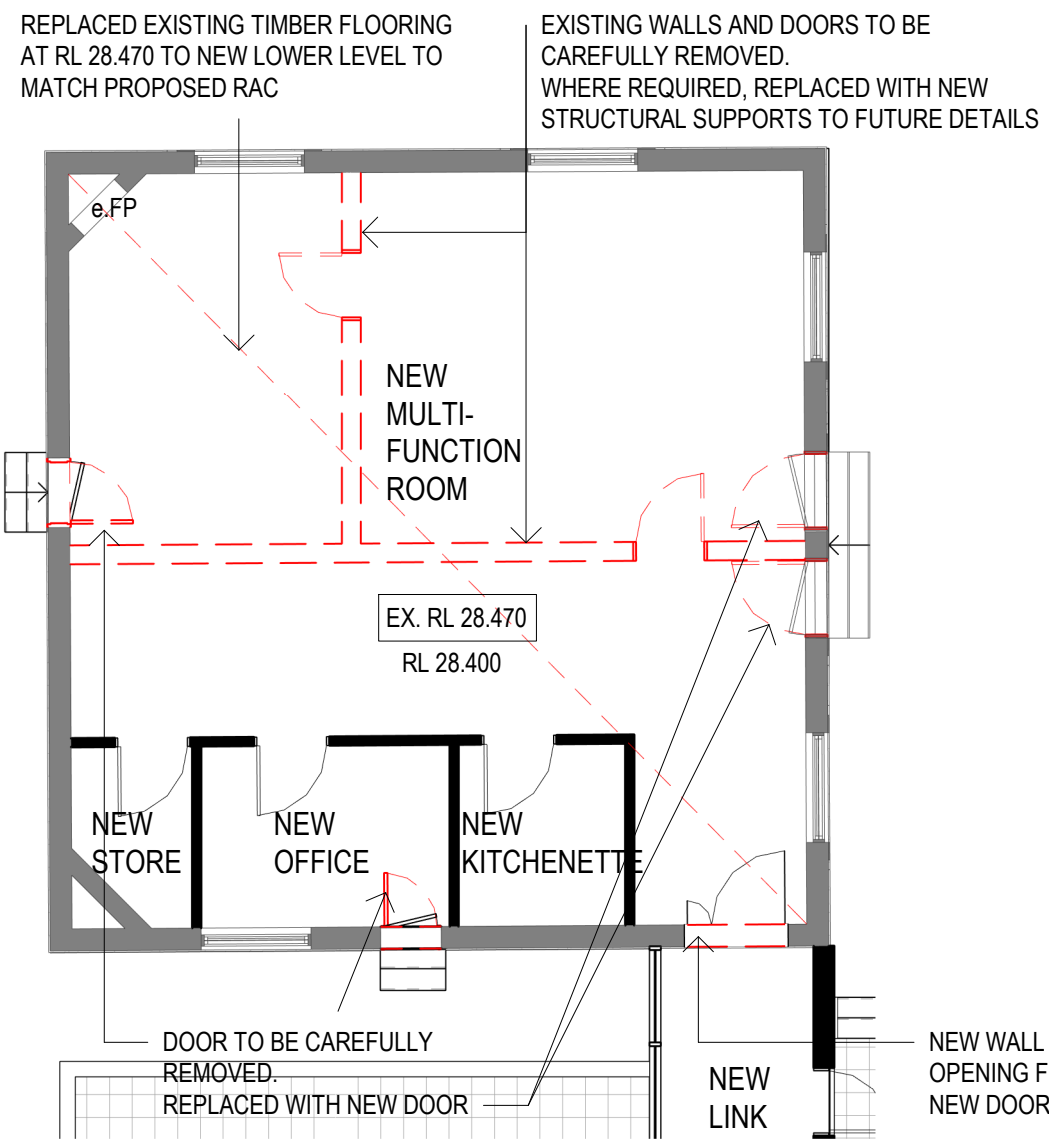
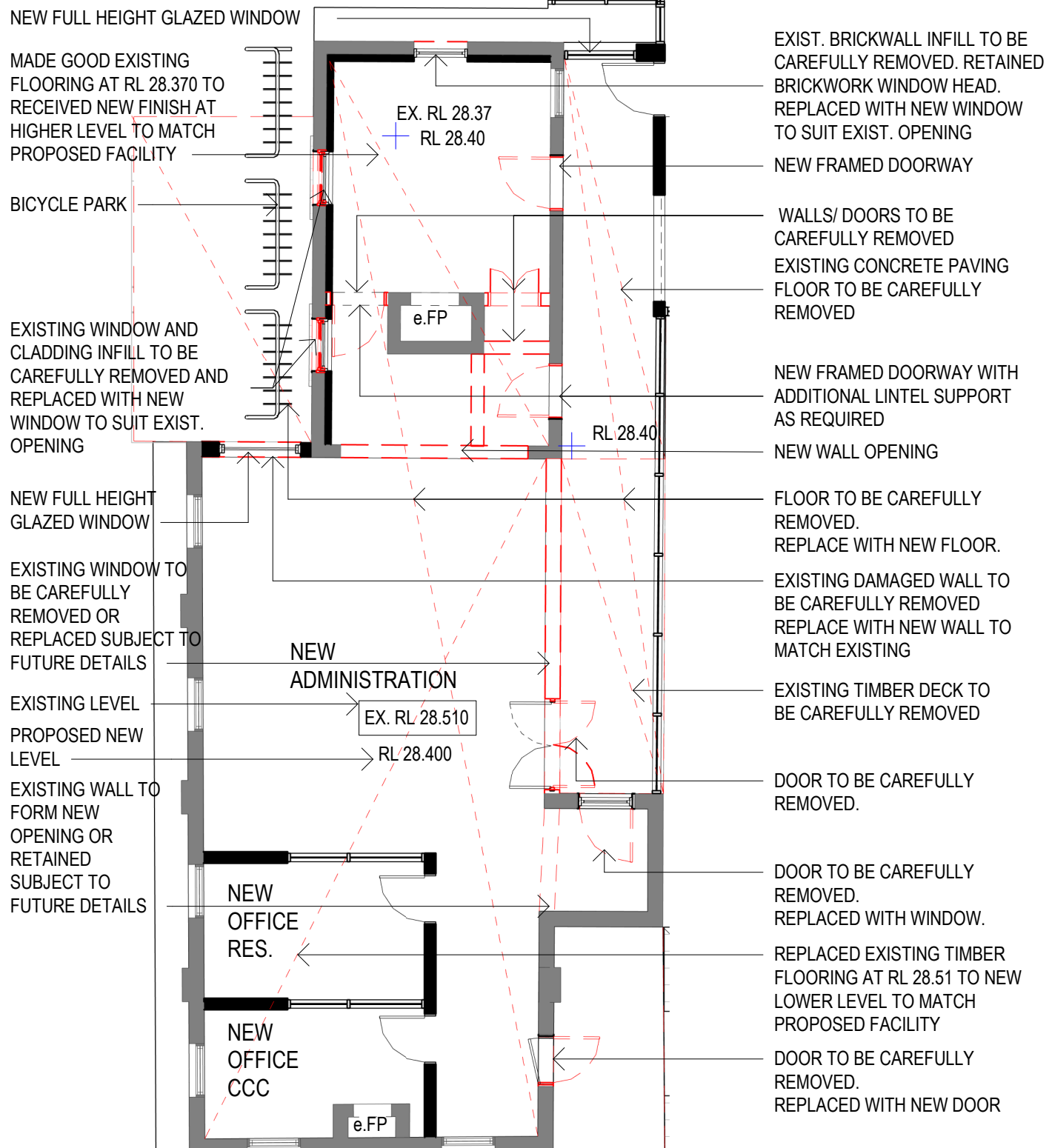
EXISTING LEVEL  
PROPOSED NEW LEVEL

**1 FLOOR PLAN - GROUND LEVEL - CLOSEBOURNE**

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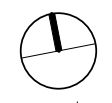
AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	FOR INFORMATION	PL	06/07/18
2	ISSUE FOR INFORMATION	JL	25/09/18
3	ISSUE FOR INFORMATION	JL	04/12/18
4	ISSUE FOR INFORMATION	JL	14/12/18



**LEGEND**

- - - EXISTING WALL / DOOR / WINDOW / STAIRS / ROOF TO BE CAREFULLY REMOVED
- PROPOSED NEW BUILT ELEMENTS
- EXISTING BUILT ELEMENTS TO BE RETAINED
- e.FP EXISTING FIREPLACE TO BE RETAINED AND PROTECTED TO FUTURE DETAIL



50mm on original

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CLIENT  
**LEND LEASE**



**FLOOR PLAN - GROUND**

DATE: 06/08/18 SCALE @ A3: 1 : 100 DRAWN: PL

PROJECT No. 253824-MO PHASE DA ASK-200-01 DRAWING ISSUE 4

PROJECT  
**AGED CARE MORPETH**

**GENERAL NOTES:**

1. ALL EXISTING INTERNAL LININGS INCLUDING RENDER TO BE REPLACED WITH NEW LINING TO FUTURE DETAILS
2. ALL EXISTING WINDOWS MISSING/ POOR CONDITION ETC TO BE MADE GOOD AND/ OR REPLACED AS REQUIRED TO MATCH EXISTING TO FUTURE DETAILS
3. ALL EXISTING EXTERNAL DOORS INCLUDING LINTELS TO BE REPLACED WITH NEW TO FUTURE DETAILS.
4. PLEASE REFER TO STRUCTURAL REPORT REV 02 DATED 12.07.18 PREPARED BY WG&E FOR EXISTING DEFECTS TO BE REMEDIATED SUBJECT TO FUTURE DETAILS

**1 FLOOR PLAN - LAUNDRY**

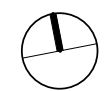
**2 FLOOR PLAN - ARKELL HOUSE**

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4	ISSUE FOR INFORMATION	JL	04/12/18
5	ISSUE FOR INFORMATION	JL	14/12/18

**LEGEND**

- EXISTING WALL / DOOR / WINDOW / STAIRS / ROOF TO BE CAREFULLY REMOVED
- PROPOSED NEW BUILT ELEMENTS
- EXISTING BUILT ELEMENTS TO BE RETAINED
- EXISTING FIREPLACE TO BE RETAINED AND PROTECTED TO FUTURE DETAIL
- DOOR NUMBERING - EXISTING DOOR AS PER SCHEDULED
- DOOR NUMBERING - NEW DOOR AS PER SCHEDULED
- DOOR TO BE RETAINED AND LOCKED AS PER SCHEDULED



50mm on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

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**FLOOR PLAN - FIRST**

DATE: 06/08/18      SCALE @ A3: 1 : 100      DRAWN: PL

PROJECT No. 253824-MO      PHASE DA ASK-301-00      DRAWING ISSUE 5

PROJECT  
**AGED CARE MORPETH**

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ABN 15 083 837  
Appointed Architect Ian Brodie (4275)

**JACKSON TEECE**

1  
ASK-500-01

EXISTING TIMBER FLOORING TO BE CAREFULLY REMOVED AND REPLACED WITH NEW SUBSTRATE FOR WET AREA / RAMP FLOORING TO FUTURE DETAIL

EXISTING WALL LINING TO BE REFURBISHED TO RECEIVED NEW WALL TILES TO FUTURE DETAILS

1  
ASK-500-00

EXISTING FLOORING TO BE REMOVED AND REPLACED WITH NEW SUBSTRATE TO RECEIVED WET AREA FLOOR TO FUTURE DETAILS

NEW HYDRANT CUPBOARD

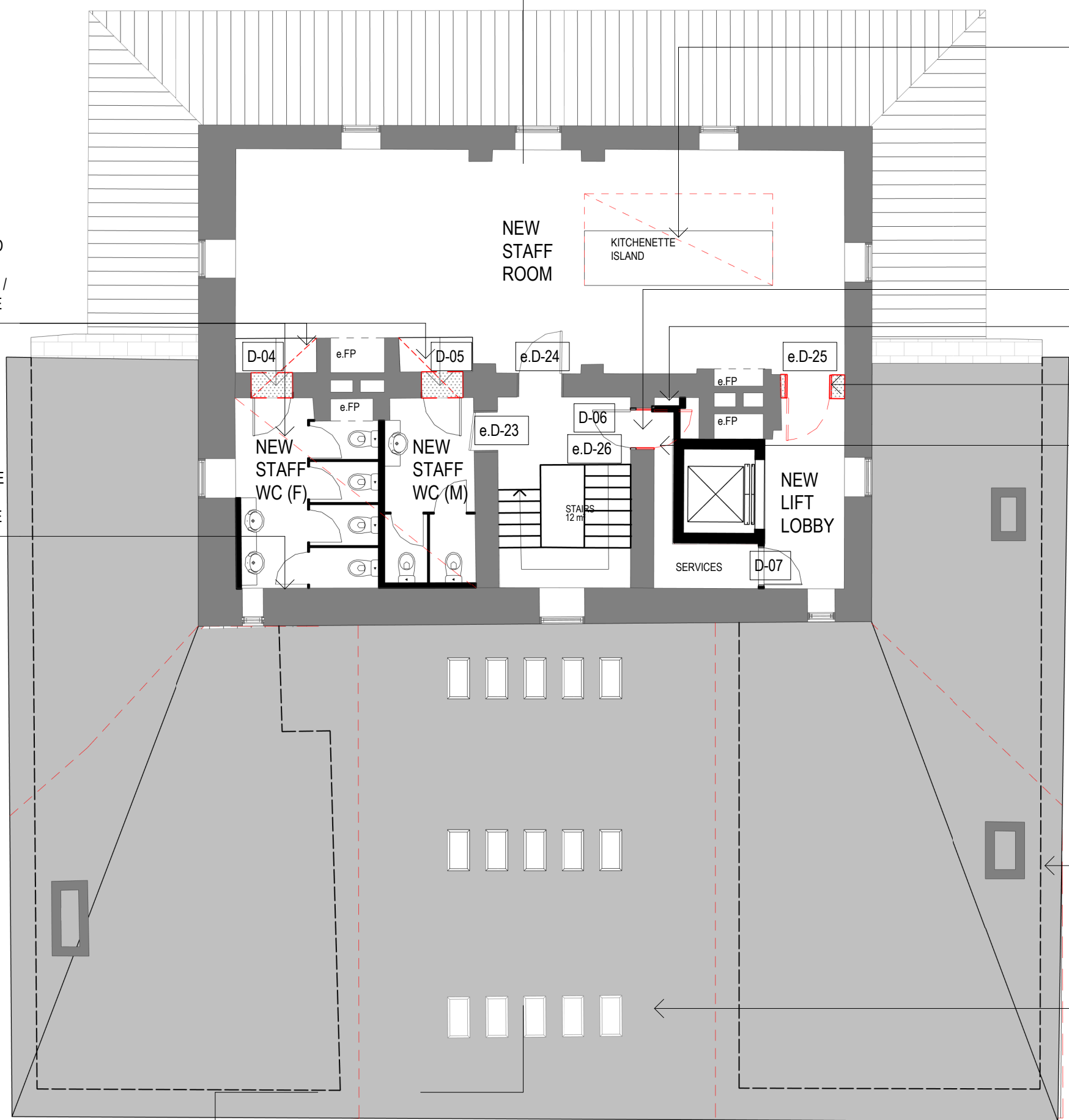
NEW HYDRAULIC RISER

EXISTING DOOR AND WALL TO BE CAREFULLY REMOVED.

EXISTING DOOR TO BE CAREFULLY REMOVED. MODIFY FRAME TO RECEIVED NEW DOOR

GROUND FLOOR BUILDING OUTLINE BELOW SHOWN DASHED

EXISTING DOOR TO BE CAREFULLY REMOVED.



1 FLOOR PLAN - LEVEL 1 - CLOSEBOURNE

1  
ASK-500-01

GENERAL NOTES:

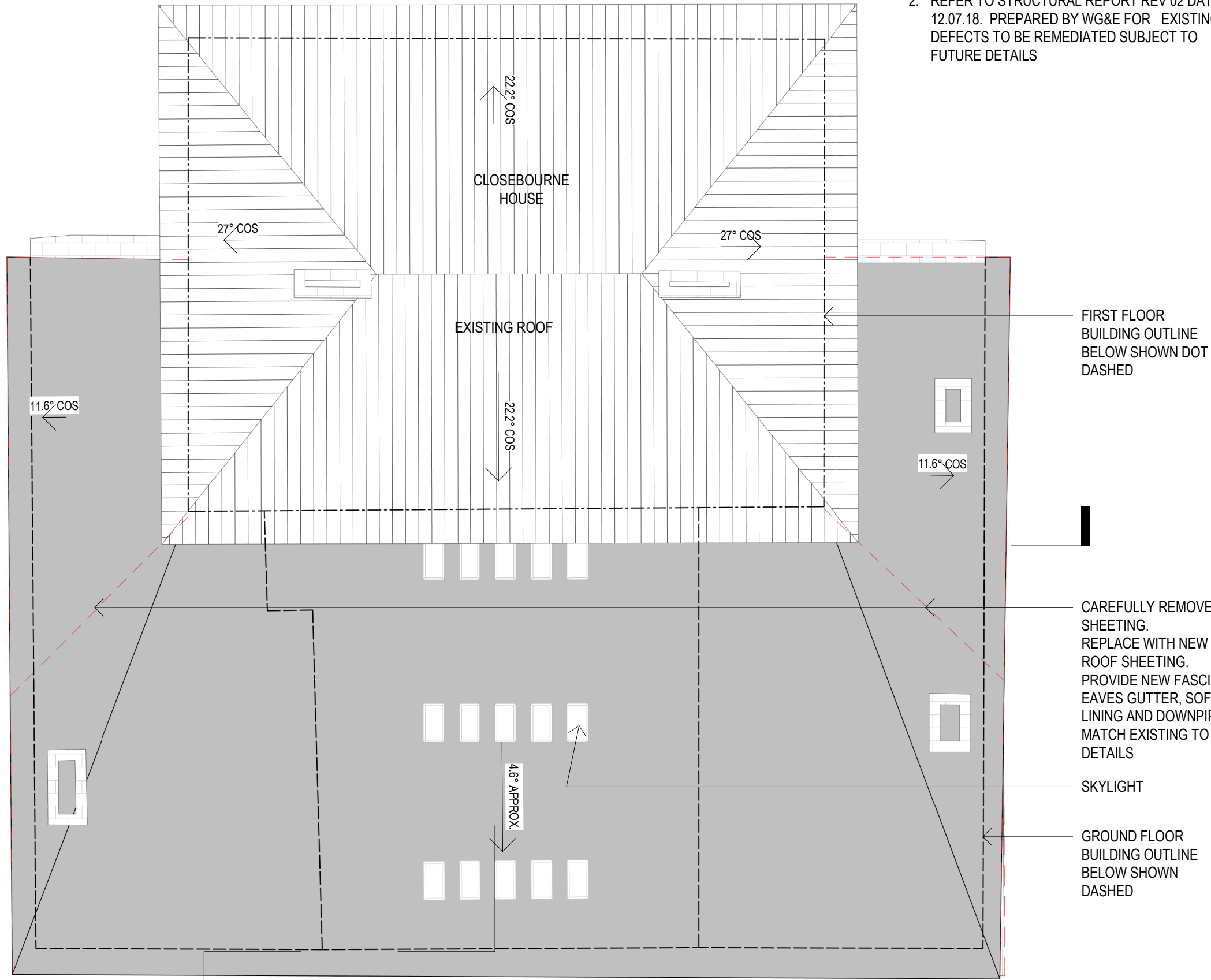
1. ALL EXISTING FASCIA BOARD, EAVES GUTTER, SOFFIT LINING, RAINHEAD GUTTER AND DOWNPIPES TO BE REPLACED SUBJECT TO FUTURE DETAILS
2. REFER TO STRUCTURAL REPORT REV 02 DATED 12.07.18. PREPARED BY WG&E FOR EXISTING DEFECTS TO BE REMEDIATED SUBJECT TO FUTURE DETAILS

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4	ISSUE FOR INFORMATION	JL	04/12/18
5	ISSUE FOR INFORMATION	JL	14/12/18

LEGEND

- - - EXISTING / ROOF TO BE CAREFULLY REMOVED
- [Hatched Box] EXISTING BUILDING ROOF SHEETING TO BE RETAINED
- [Grey Box] PROPOSED NEW ROOF SHEETING



FIRST FLOOR BUILDING OUTLINE BELOW SHOWN DOT DASHED

CAREFULLY REMOVE ROOF SHEETING. REPLACE WITH NEW METAL ROOF SHEETING. PROVIDE NEW FASCIA BOARD, EAVES GUTTER, SOFFIT LINING AND DOWNPIPES TO MATCH EXISTING TO FUTURE DETAILS

SKYLIGHT

GROUND FLOOR BUILDING OUTLINE BELOW SHOWN DASHED



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CLIENT LEND LEASE



FLOOR PLAN - ROOF - SHEET 1

DATE 06/08/18 SCALE @ A3 As indicated DRAWN PL

PROJECT No. 253824-MO PHASE DA ASK-302-00 DRAWING ISSUE 5

PROJECT AGED CARE MORPETH

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

1  
ASK-500-00

1 ROOF PLAN- CLOSEBOURNEHOUSE

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ISSUE	DESCRIPTION	APPROVED	DATE
1	FOR INFORMATION	PL	06/07/18
2	ISSUE FOR INFORMATION	JL	25/09/18
3	ISSUE FOR INFORMATION	JL	14/12/18

### LEGEND

-  EXISTING / ROOF TO BE CAREFULLY REMOVED
-  EXISTING BUILDING ROOF SHEETING TO BE RETAINED
-  PROPOSED NEW ROOF SHEETING



50mm on original

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## HERITAGE FABRIC

APPROVED BY: GA CHECKED BY: GA/JL

CLIENT  
**LEND LEASE**



## FLOOR PLAN - ROOF - SHEET 2

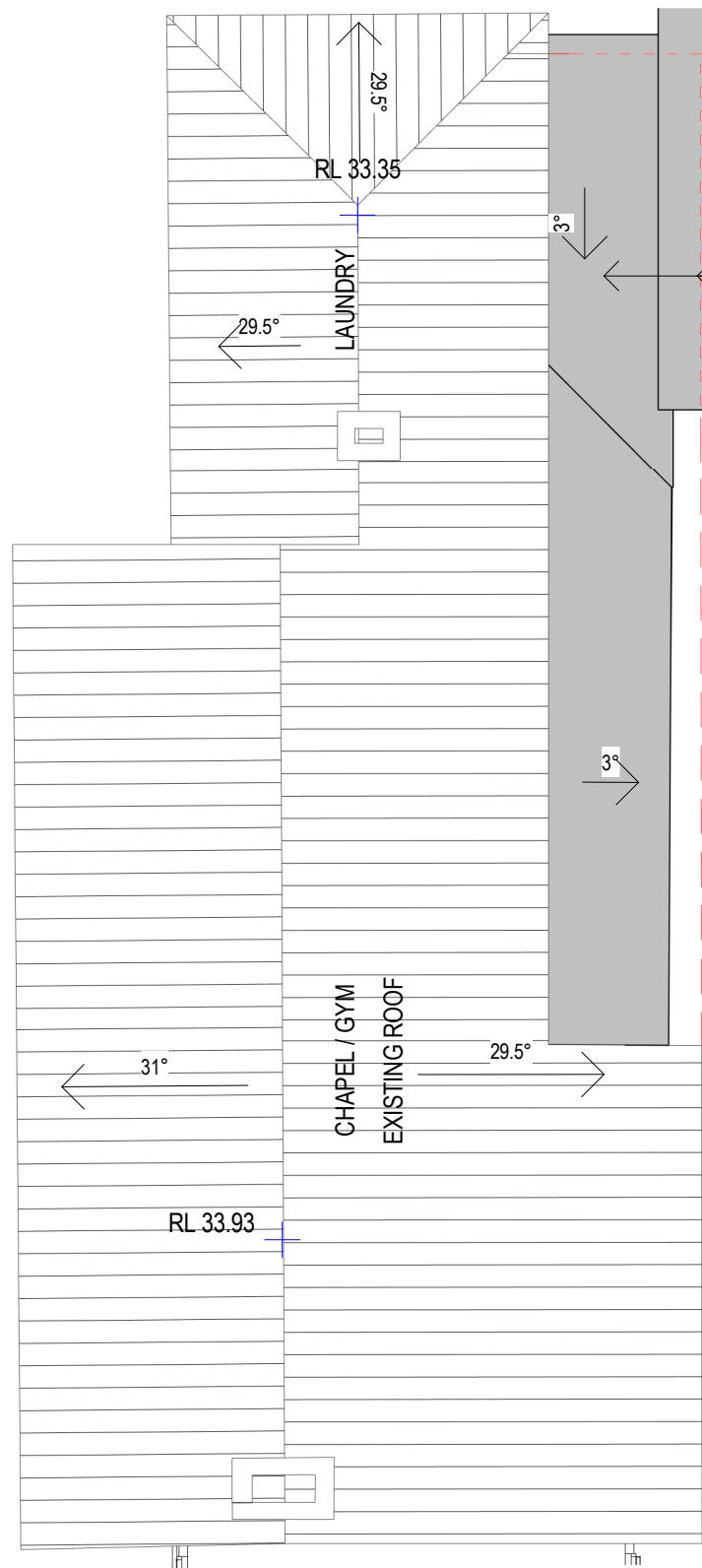
DATE: 06/08/18 SCALE @ A3: As indicated DRAWN: PL

PROJECT No. 253824-MO PHASE DA ASK-302-01 DRAWING ISSUE 3

PROJECT  
**AGED CARE MORPETH**

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ABN 15 083 837  
Registered Architect Ian Brodie (4275)

**JACKSON TEECE**

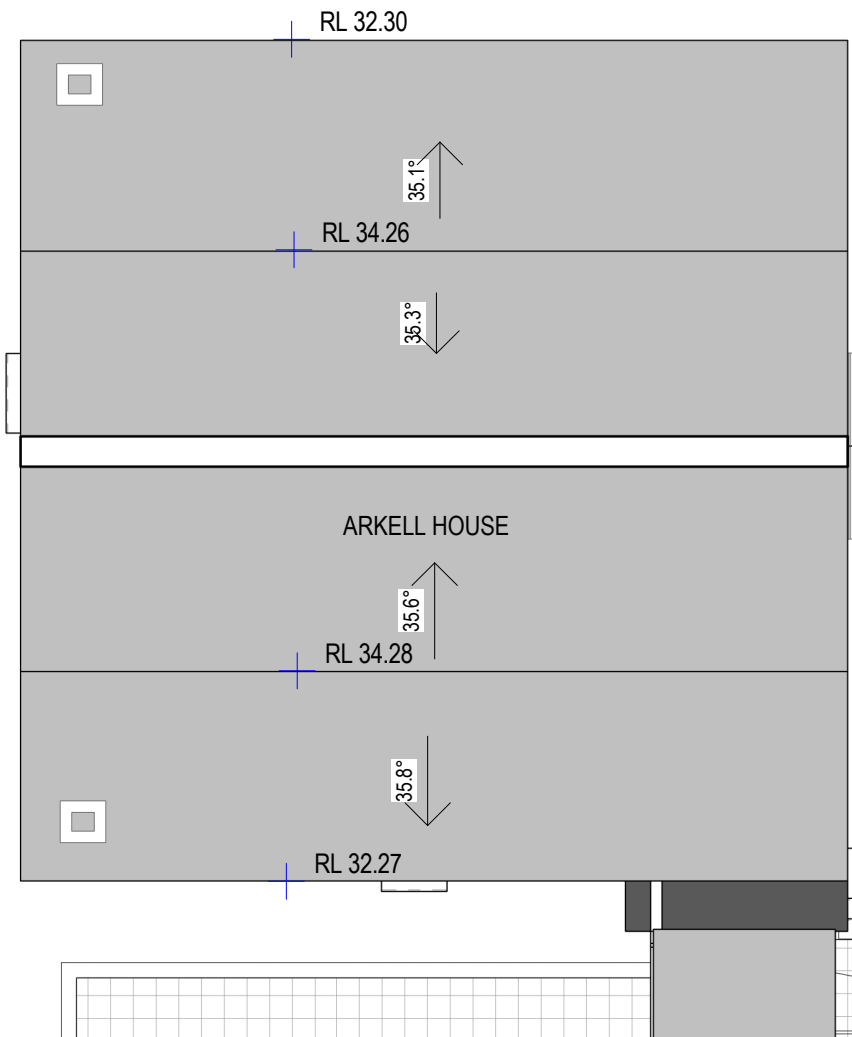


CAREFULLY REMOVE EXISTING ROOFING AND REPLACE WITH NEW LOWER METAL ROOF

EXISTING BOX GUTTER TO BE REPLACED

CAREFULLY REMOVE ROOFING AND REPLACE WITH NEW METAL ROOF SHEETING

400  
NOM.



### GENERAL NOTES:

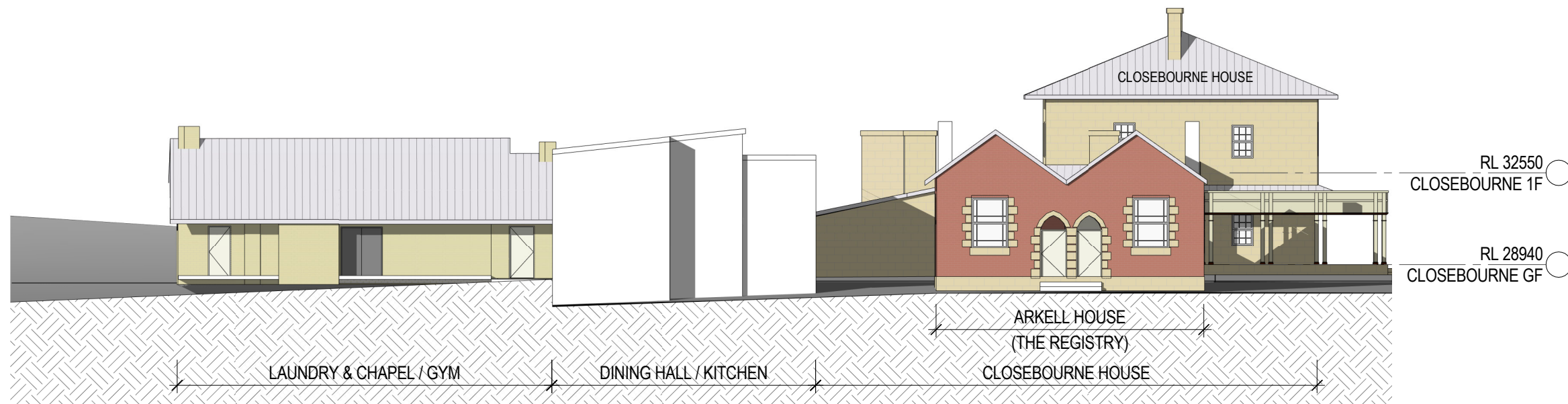
- ALL EXISTING FASCIA BOARD, EAVES GUTTER, SOFFIT LINING, RAINHEAD GUTTER AND DOWNPIPES TO BE REPLACED SUBJECT TO FUTURE DETAILS
- REFER TO STRUCTURAL REPORT REV 02 DATED 12.07.18 PREPARED BY WG&E FOR EXISTING DEFECTS TO BE REMEDIATED SUBJECT TO FUTURE DETAILS

## 1 ROOF PLAN - LAUNDRY

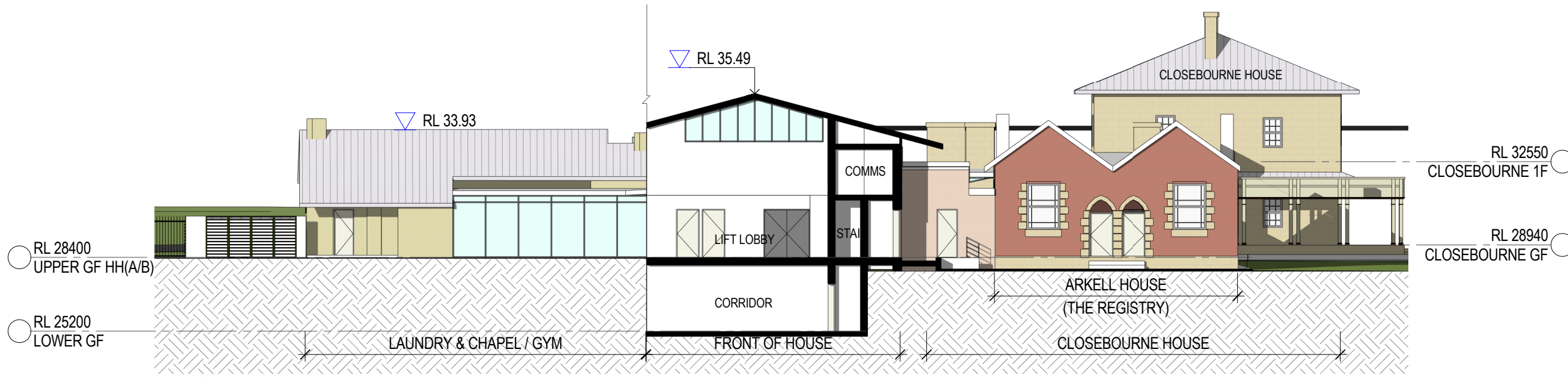
## 2 ROOF PLAN - ARKELL HOUSE

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3	ISSUE FOR INFORMATION	JL	25/09/18
4	ISSUE FOR INFORMATION	JL	14/12/18



1 ELEVATION 1 - EXISTING  
SCALE 1 : 200



2 ELEVATION 1 - PROPOSED  
SCALE 1 : 200

50mm on original

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HERITAGE FABRIC

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CLIENT  
LEND LEASE

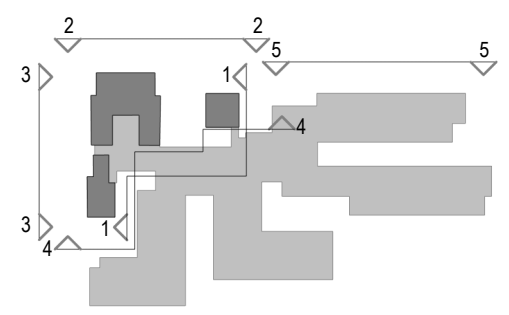


ELEVATIONS - SHEET 1

DATE 06/08/18 SCALE @ A3 As indicated DRAWN Author

PROJECT No. 253824-MO PHASE DA ASK-400-00 DRAWING ISSUE 4

PROJECT  
AGED CARE  
MORPETH

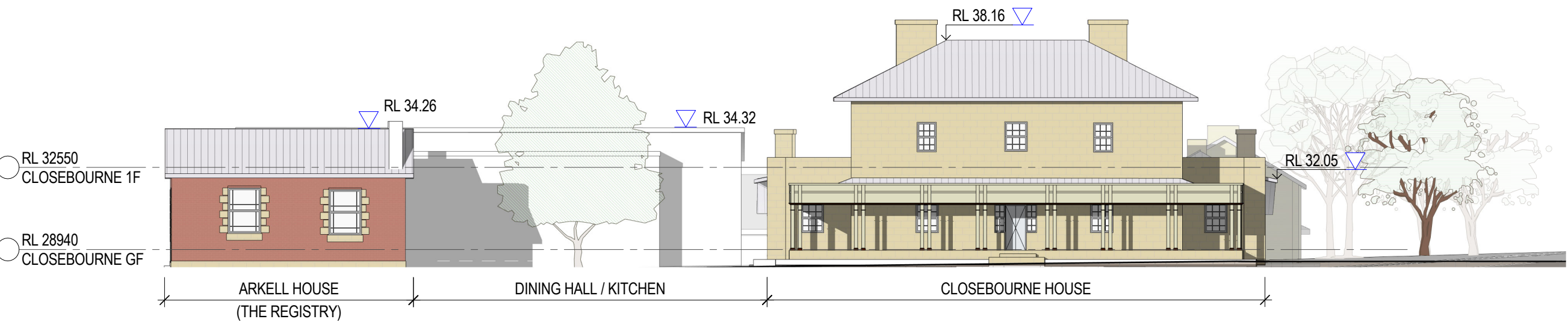
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ISSUE	DESCRIPTION	APPROVED	DATE
1	FOR INFORMATION	PL	06/07/18
2	FOR INFORMATION	JL	12/07/18
3	ISSUE FOR INFORMATION	JL	25/09/18
4	ISSUE FOR INFORMATION	JL	14/12/18



1 ELEVATION 2 - EXISTING  
SCALE 1 : 200



2 ELEVATION 2 - PROPOSED  
SCALE 1 : 200

50mm on original

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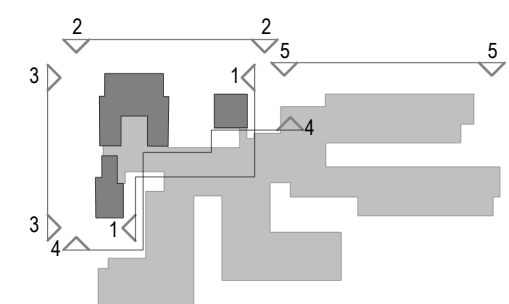
CLIENT  
LEND LEASE

ELEVATIONS - SHEET 2

DATE 06/26/18 SCALE @ A3 As indicated DRAWN Author

PROJECT No. 253824-MO PHASE DA ASK-400-01 DRAWING ISSUE 4

PROJECT  
AGED CARE  
MORPETH



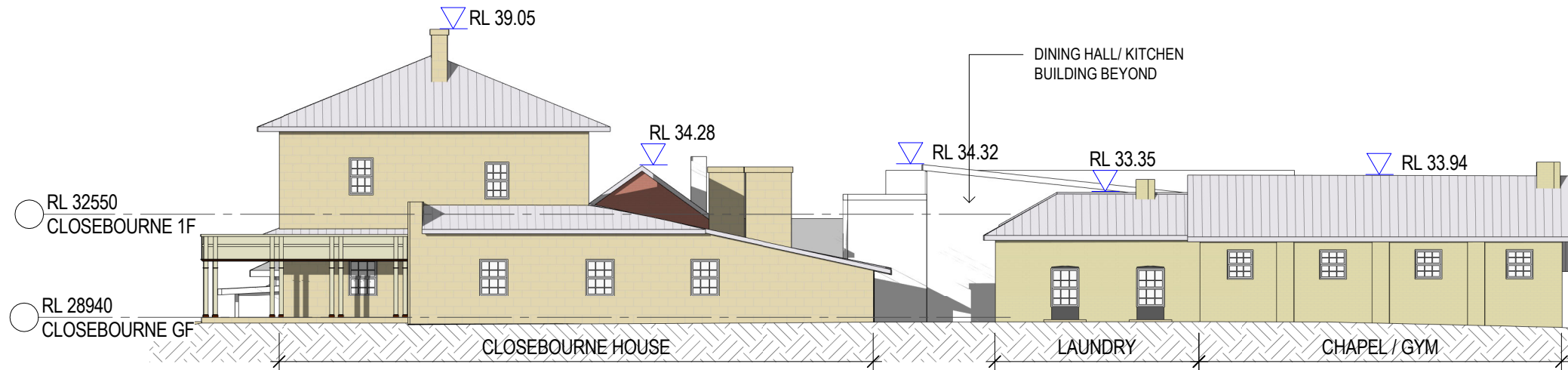
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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	FOR INFORMATION	JL	12/07/18
2	ISSUE FOR INFORMATION	JL	25/09/18
3	ISSUE FOR INFORMATION	JL	14/12/18



1 ELEVATION - 3 - EXISTING



2 ELEVATION - 3 - PROPOSED

50mm on original

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LEND LEASE

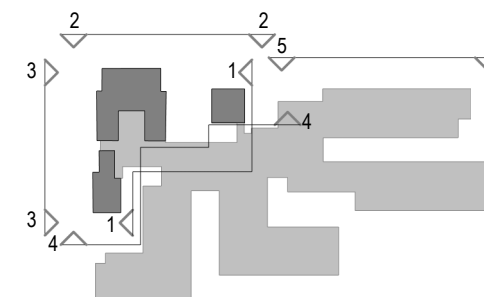


ELEVATIONS - SHEET 3

DATE 06/08/18 SCALE @ A3 As indicated DRAWN JL

PROJECT No. 253824-MO PHASE DA ASK-400-02 DRAWING ISSUE 3

PROJECT  
AGED CARE  
MORPETH

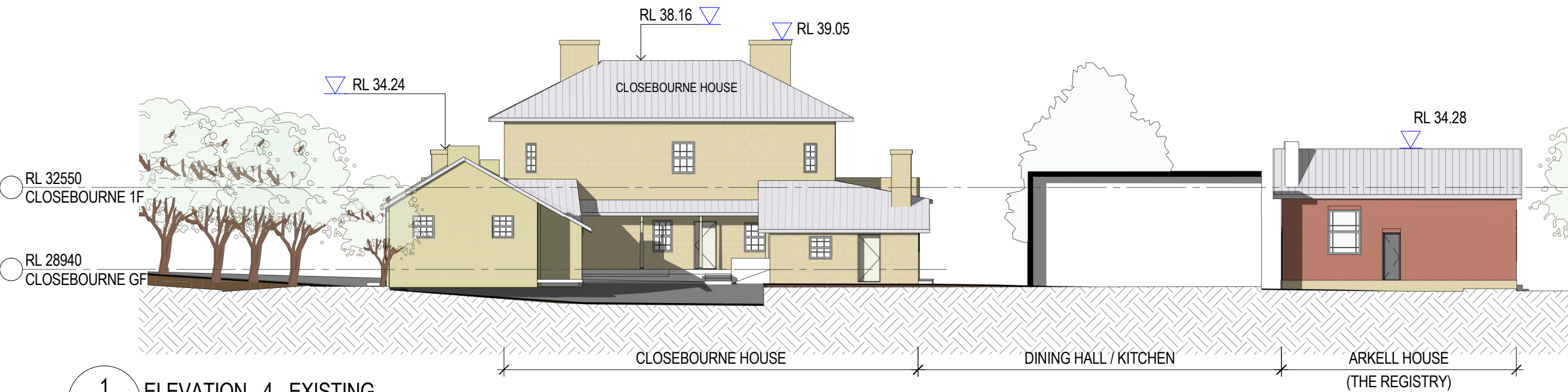


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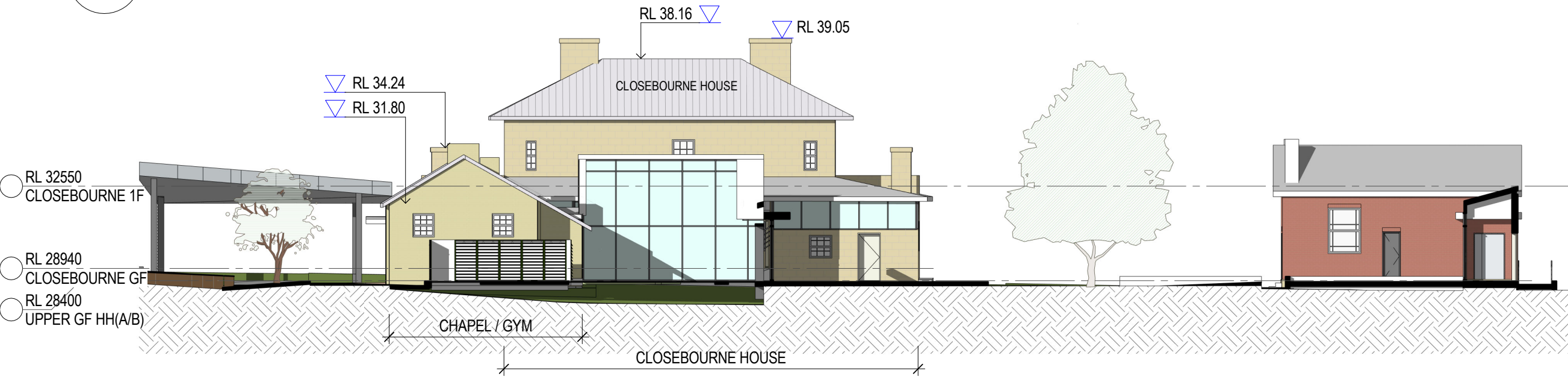
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ISSUE	DESCRIPTION	APPROVED	DATE
1	FOR INFORMATION	JL	12/07/18
2	ISSUE FOR INFORMATION	JL	25/09/18
3	ISSUE FOR INFORMATION	JL	14/12/18



1 ELEVATION - 4 - EXISTING  
SCALE 1 : 200



2 ELEVATION - 4 - PROPOSED  
SCALE 1 : 200

50mm on original

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LEND LEASE

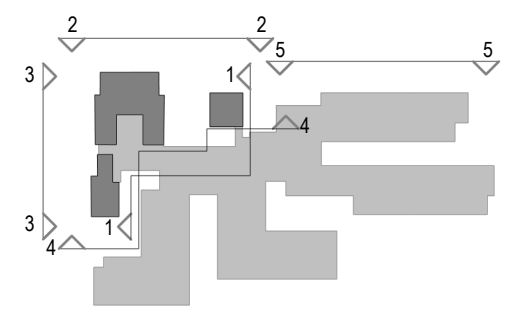


ELEVATIONS - SHEET 4

DATE 06/08/18 SCALE @ A3 As indicated DRAWN JL

PROJECT No. 253824-MO PHASE DA ASK-400-03 DRAWING ISSUE 3

PROJECT  
AGED CARE  
MORPETH



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ISSUE	DESCRIPTION	APPROVED	DATE
1	FOR INFORMATION	JL	12/07/18
2	ISSUE FOR INFORMATION	JL	25/09/18
3	ISSUE FOR INFORMATION	JL	14/12/18

RL 38160  
HERITAGE ROOF RIDGE

RL 35650  
HERITAGE GUTTER

RL 32550  
CLOSEBOURNE 1F

RL 28940  
CLOSEBOURNE GF



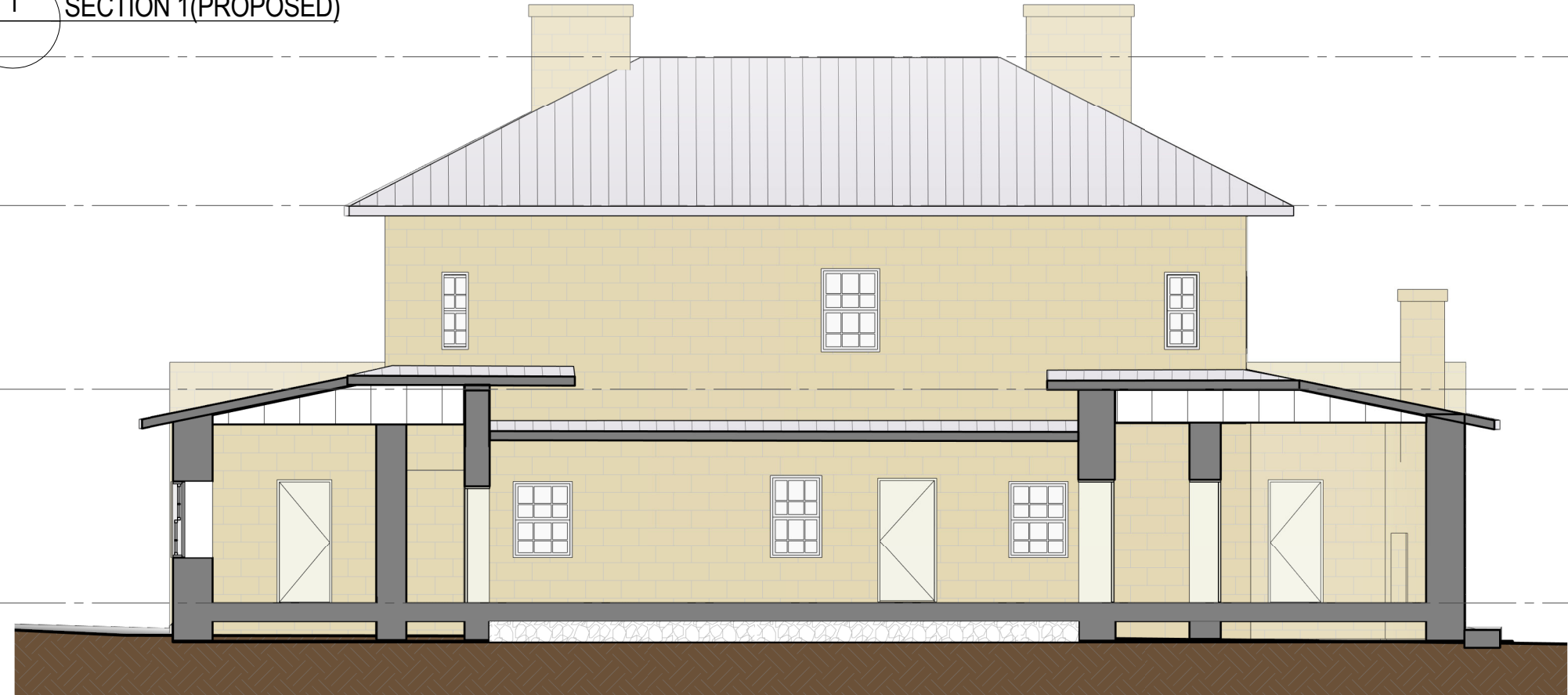
1 SECTION 1 (PROPOSED)

RL 38160  
HERITAGE ROOF RIDGE

RL 35650  
HERITAGE GUTTER

RL 32550  
CLOSEBOURNE 1F

RL 28940  
CLOSEBOURNE GF



2 SECTION 1 (EXISTING)

**LEGEND**

- PROPOSED NEW BUILT ELEMENTS
- EXISTING BUILT ELEMENTS TO BE RETAINED

50mm on original

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CLIENT  
LEND LEASE

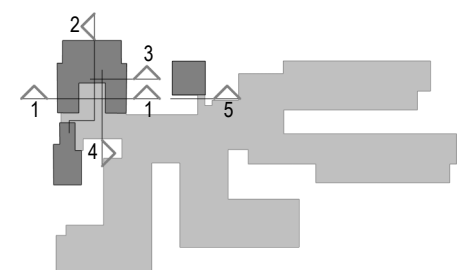


**SECTIONS - SHEET 1**

DATE: 06/08/18 SCALE @ A3: As indicated DRAWN: JL

PROJECT No. 253824-MO PHASE DA ASK-500-00 DRAWING ISSUE 3

PROJECT  
AGED CARE  
MORPETH



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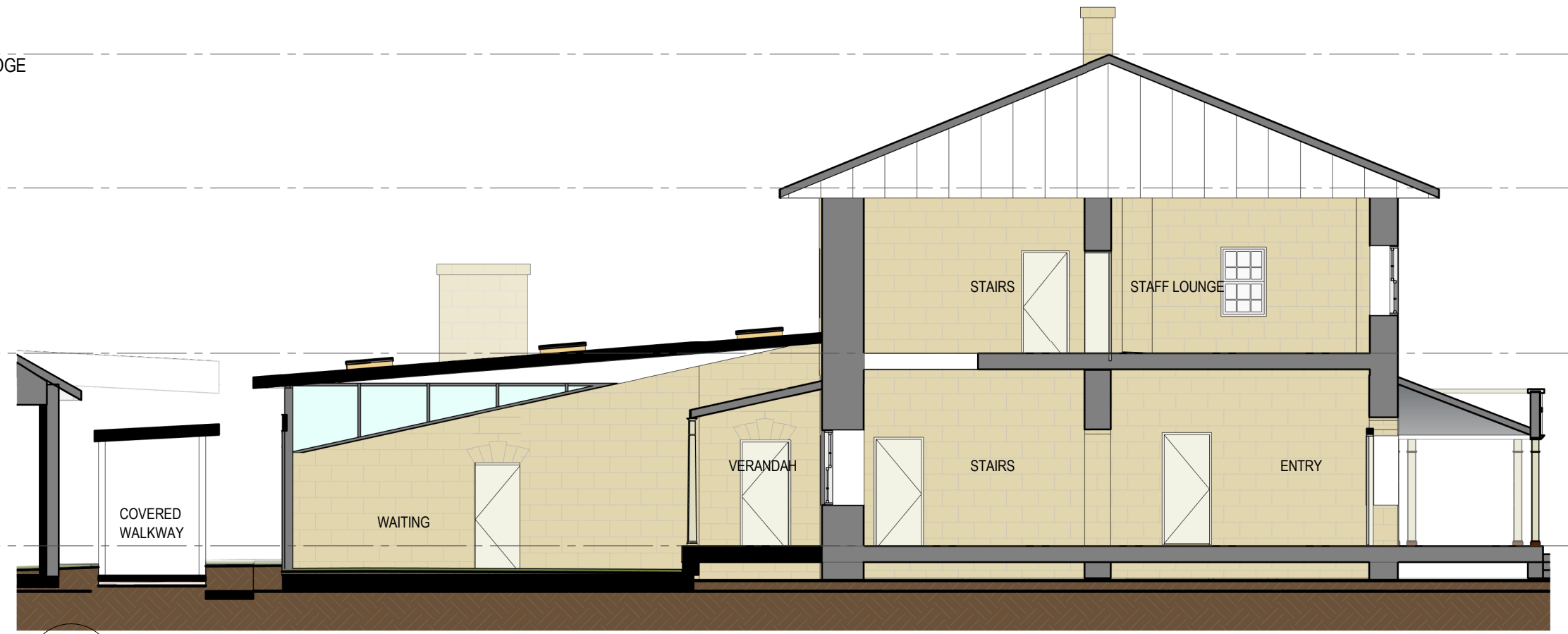
ISSUE	DESCRIPTION	APPROVED	DATE
1	FOR INFORMATION	JL	12/07/18
2	ISSUE FOR INFORMATION	JL	25/09/18
3	ISSUE FOR INFORMATION	JL	14/12/18

○ RL 38160  
HERITAGE ROOF RIDGE

○ RL 35650  
HERITAGE GUTTER

○ RL 32550  
CLOSEBOURNE 1F

○ RL 28940  
CLOSEBOURNE GF



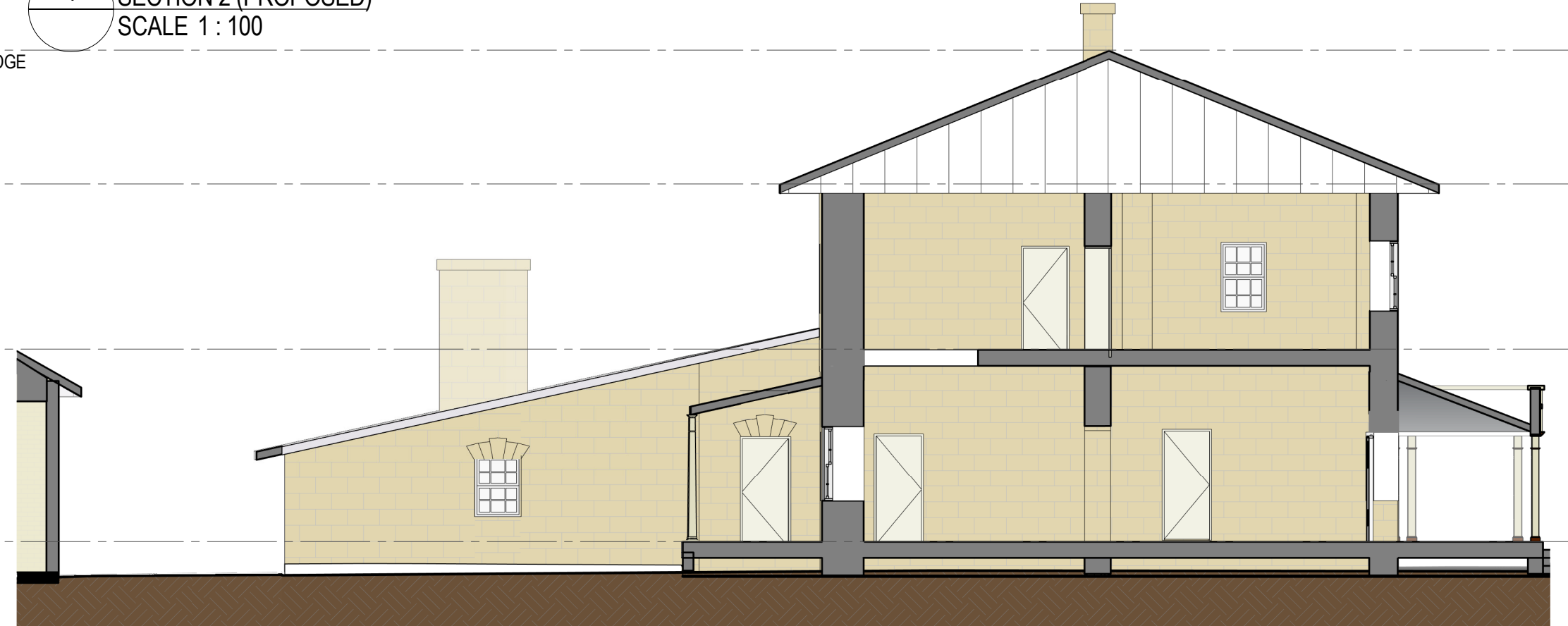
1 SECTION 2 (PROPOSED)  
SCALE 1 : 100

○ RL 38160  
HERITAGE ROOF RIDGE

○ RL 35650  
HERITAGE GUTTER

○ RL 32550  
CLOSEBOURNE 1F

○ RL 28940  
CLOSEBOURNE GF



2 SECTION 2 (EXISTING)  
SCALE 1 : 100

**LEGEND**

- PROPOSED NEW BUILT ELEMENTS
- EXISTING BUILT ELEMENTS TO BE RETAINED

50mm on original

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CLIENT  
LEND LEASE

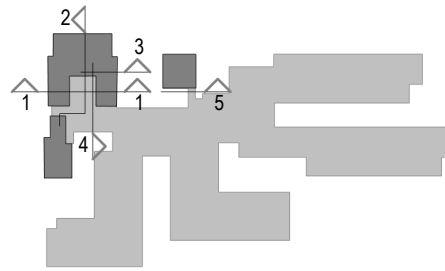


**SECTIONS - SHEET 2**

DATE: 06/25/18      SCALE @ A3: As indicated      DRAWN: JL

PROJECT No. 253824-MO      PHASE DA ASK-500-01      DRAWING ISSUE 3

PROJECT  
AGED CARE  
MORPETH

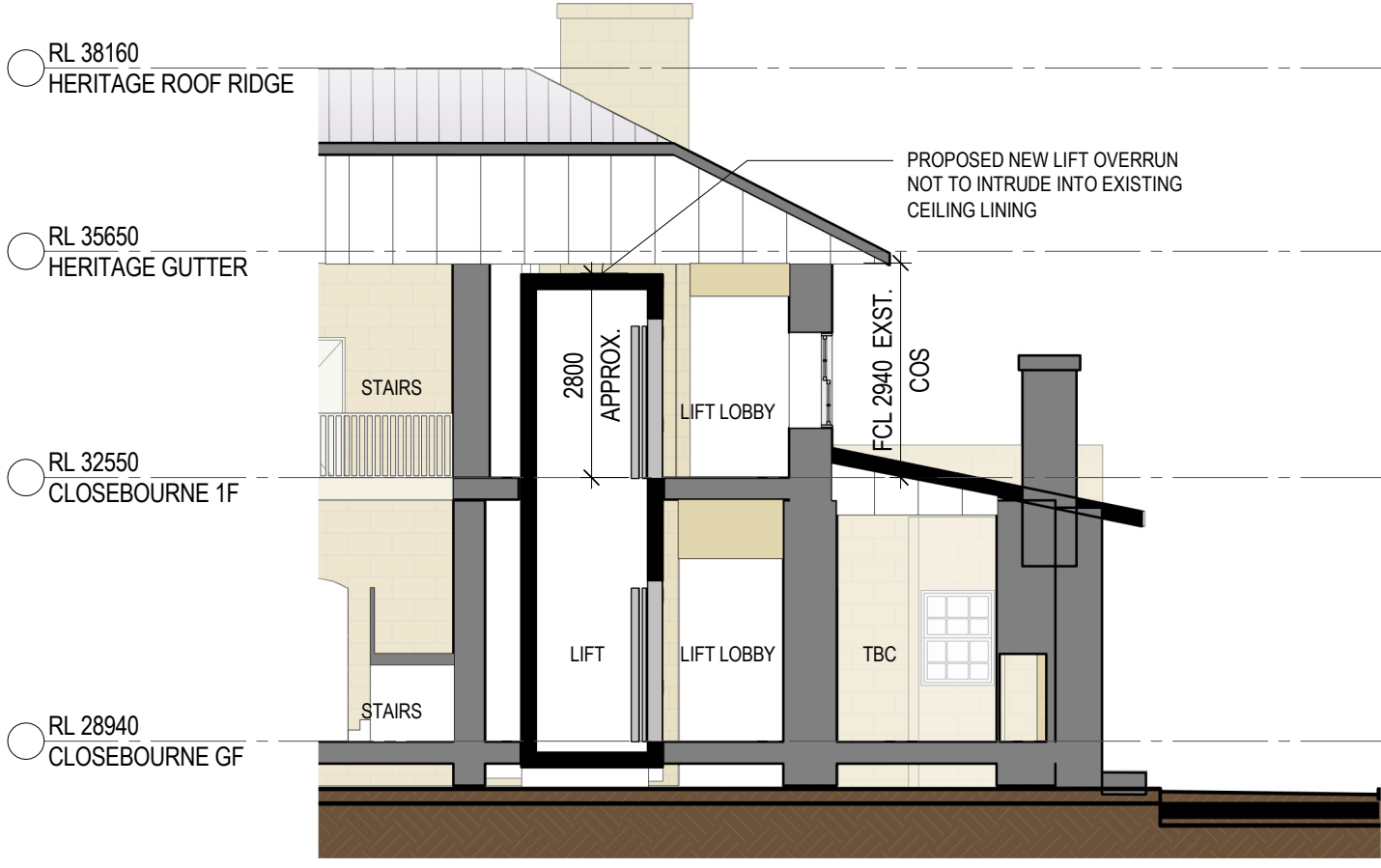


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Registered Architect Ian Brodie (4275)

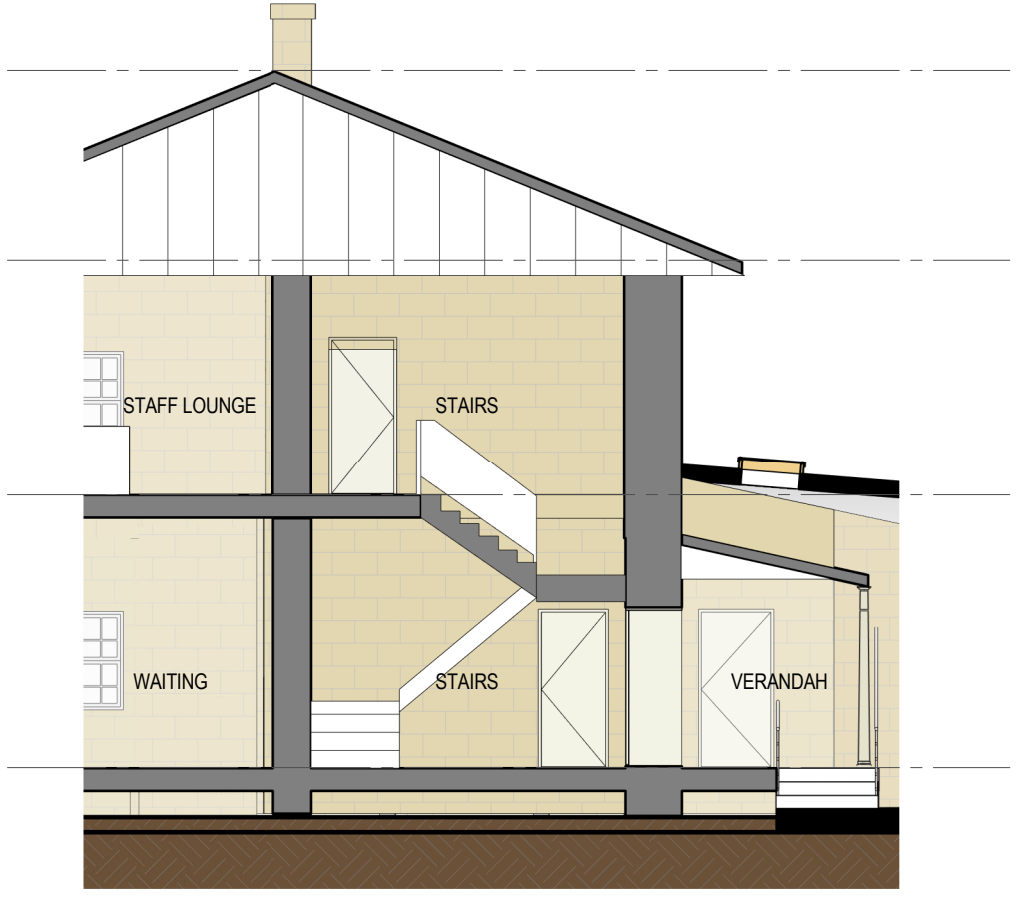
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ISSUE	DESCRIPTION	APPROVED	DATE
1	FOR INFORMATION	JL	12/07/18
2	ISSUE FOR INFORMATION	JL	25/09/18
3	ISSUE FOR INFORMATION	JL	14/12/18



1 SECTION 3



2 SECTION 4

**LEGEND**

- PROPOSED NEW BUILT ELEMENTS
- EXISTING BUILT ELEMENTS TO BE RETAINED

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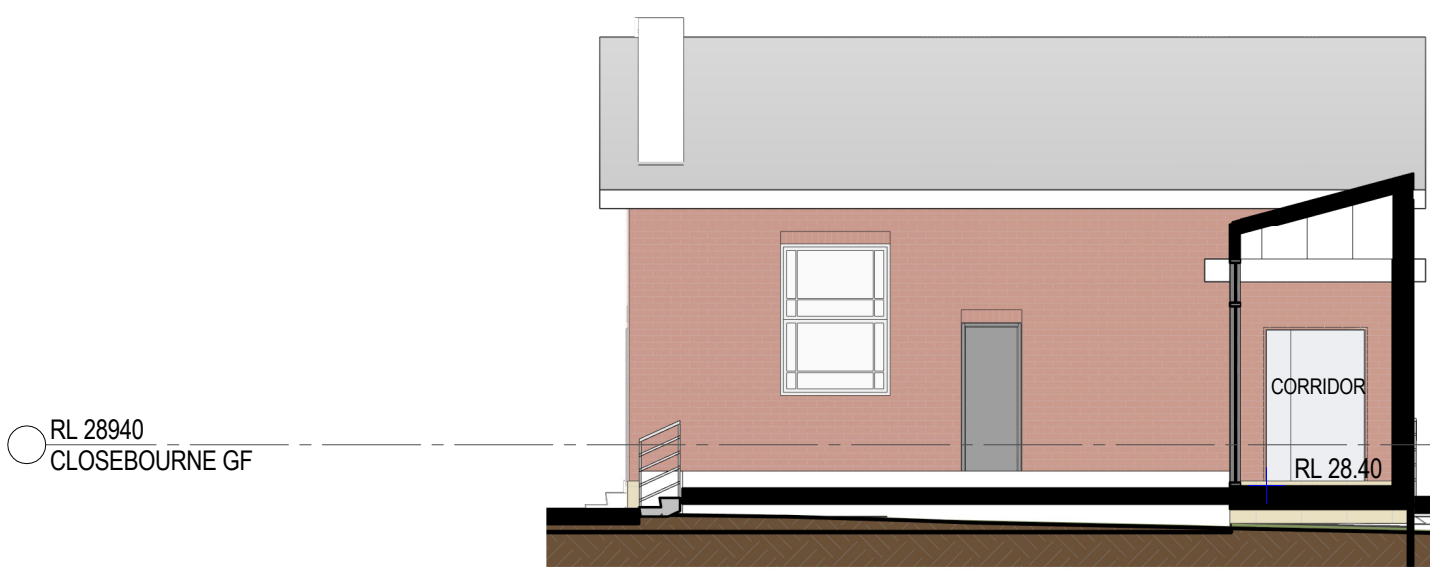
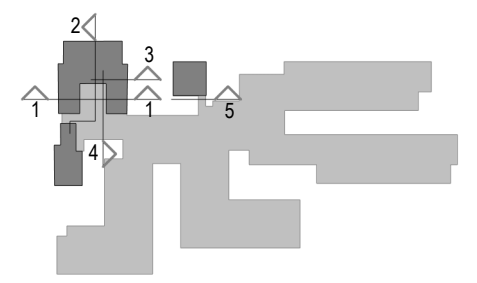
**CLIENT**  
LEND LEASE

**SECTIONS - SHEET 3**

DATE	SCALE @ A3	DRAWN
06/08/18	As indicated	JL

PROJECT No.	PHASE	DRAWING	ISSUE
253824-MO	DA	ASK-500-02	3

**PROJECT**  
AGED CARE  
MORPETH



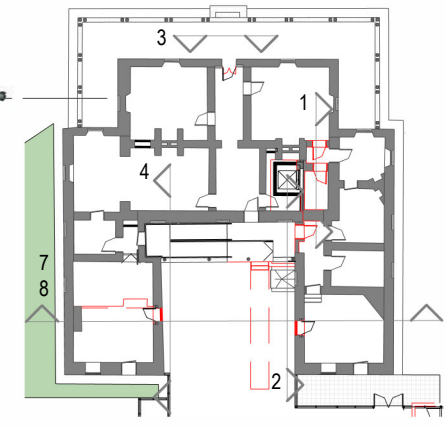
3 SECTION 5

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1	FOR INFORMATION	JL	12/07/18
2	ISSUE FOR INFORMATION	JL	25/09/18
3	ISSUE FOR INFORMATION	JL	04/12/18
4	ISSUE FOR INFORMATION	JL	14/12/18

**LEGEND**

- - - - - EXISTING WALL / DOOR / WINDOW / STAIRS / ROOF TO BE CAREFULLY REMOVED
- █ EXISTING BUILT ELEMENTS TO BE RETAINED



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**SECTION - DETAIL SHEET 1**

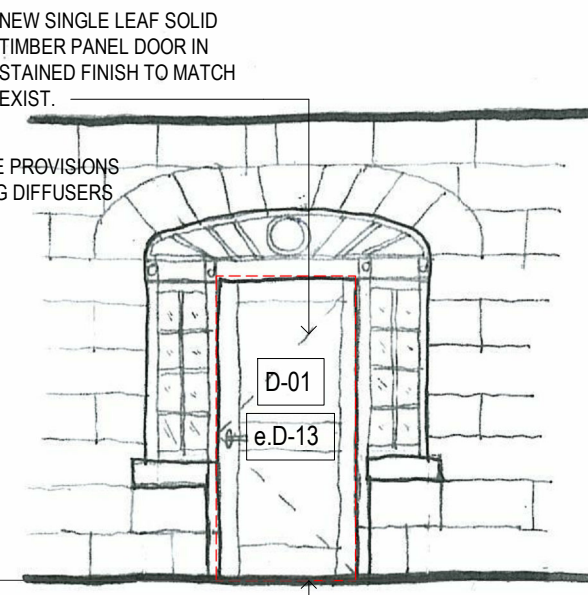
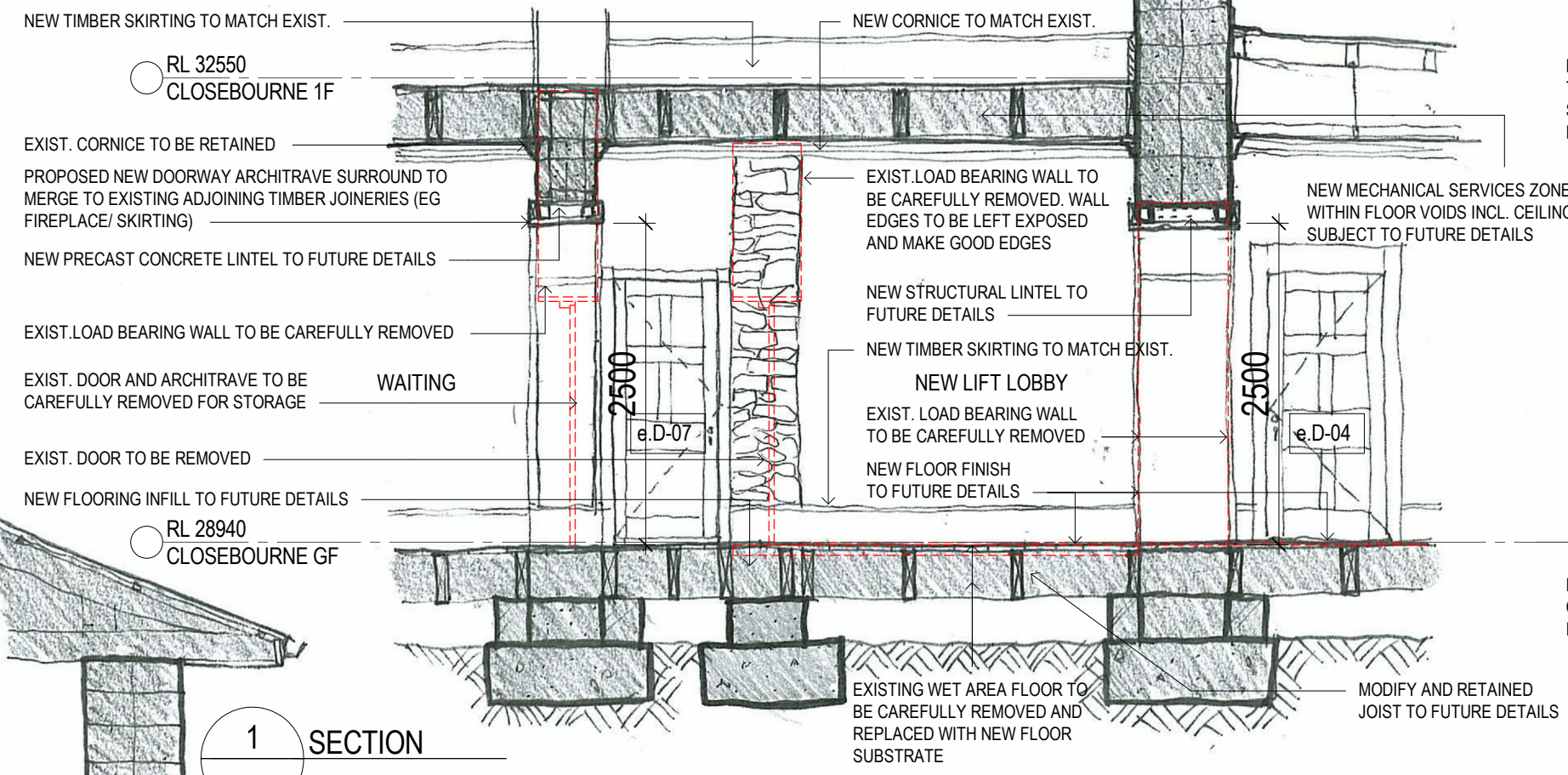
DATE: 06/26/18 SCALE @ A3: As indicated DRAWN: Author

PROJECT No. 253824-MO PHASE DRAWING DA ASK-550-00 ISSUE 4

**PROJECT**  
AGED CARE  
MORPETH

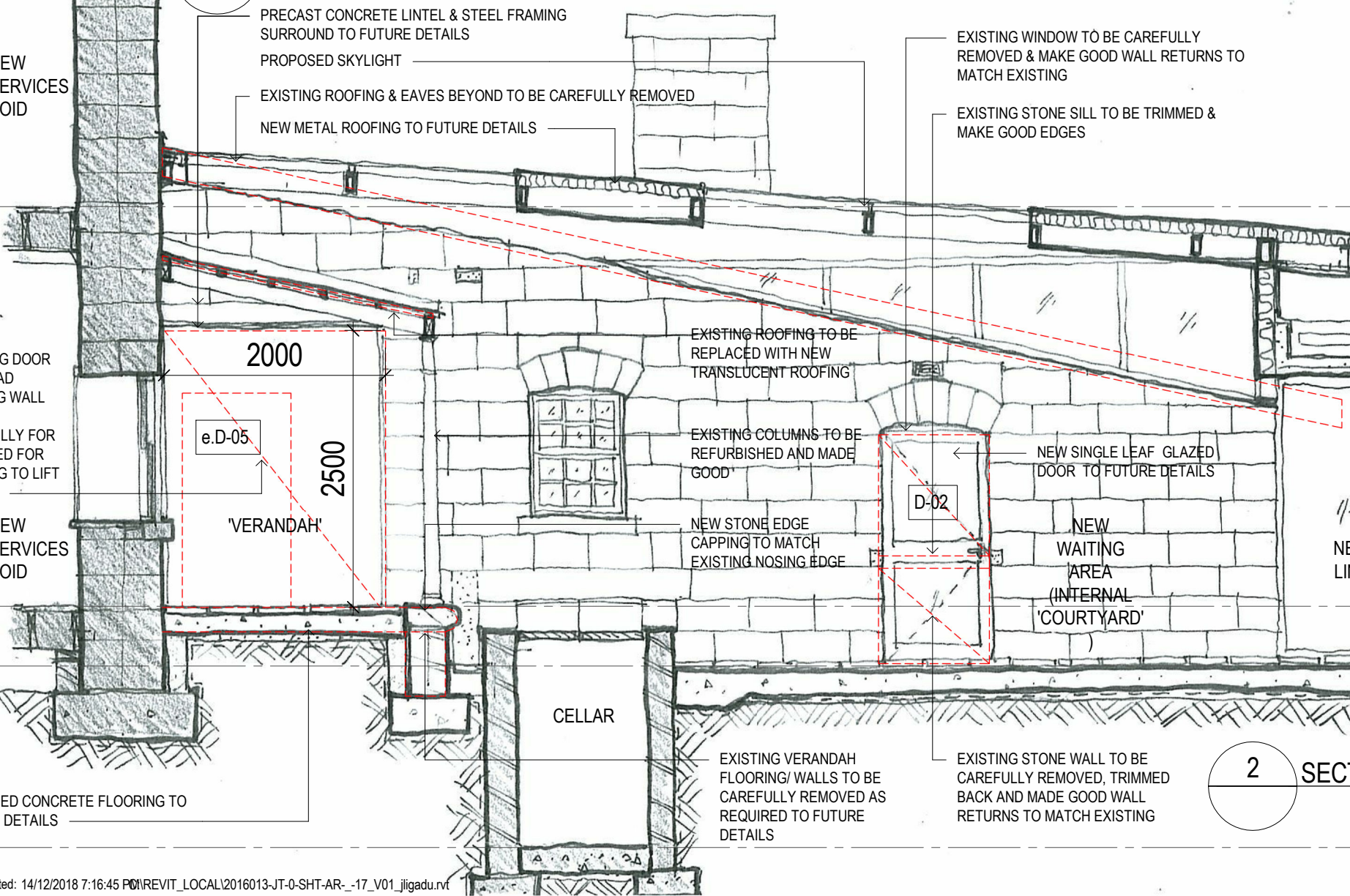
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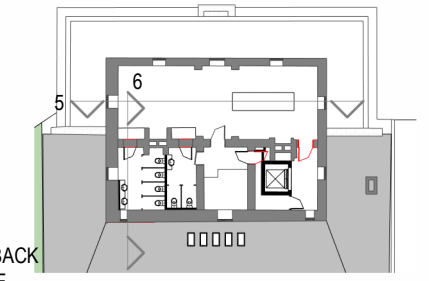
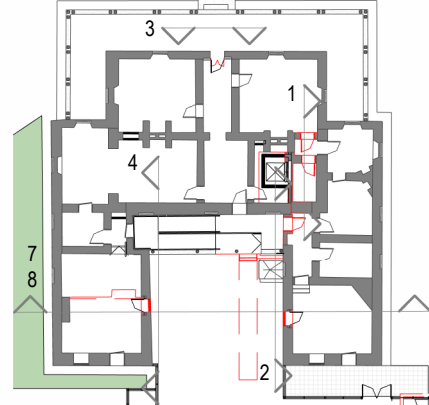
EXIST. DOOR TO BE CAREFULLY REMOVED FOR STORAGE

**SECTION 3**



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ISSUE	DESCRIPTION	APPROVED	DATE
1	FOR INFORMATION	JL	12/07/18
2	ISSUE FOR INFORMATION	JL	25/09/18
3	ISSUE FOR INFORMATION	JL	04/12/18
4	ISSUE FOR INFORMATION	JL	14/12/18



KEY PLAN

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**SECTION - DETAIL - SHEET 2**

DATE: 06/26/18 SCALE @ A3: As indicated DRAWN: JL

PROJECT No. 253824-MO PHASE DRAWING DA ASK-550-01 ISSUE 4

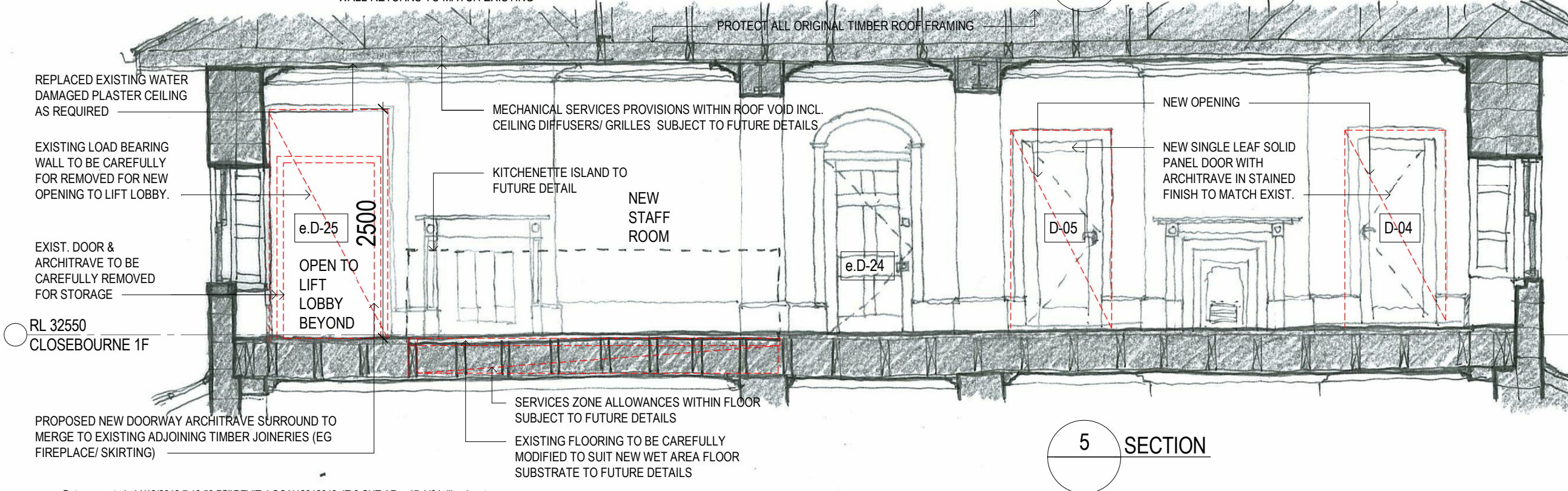
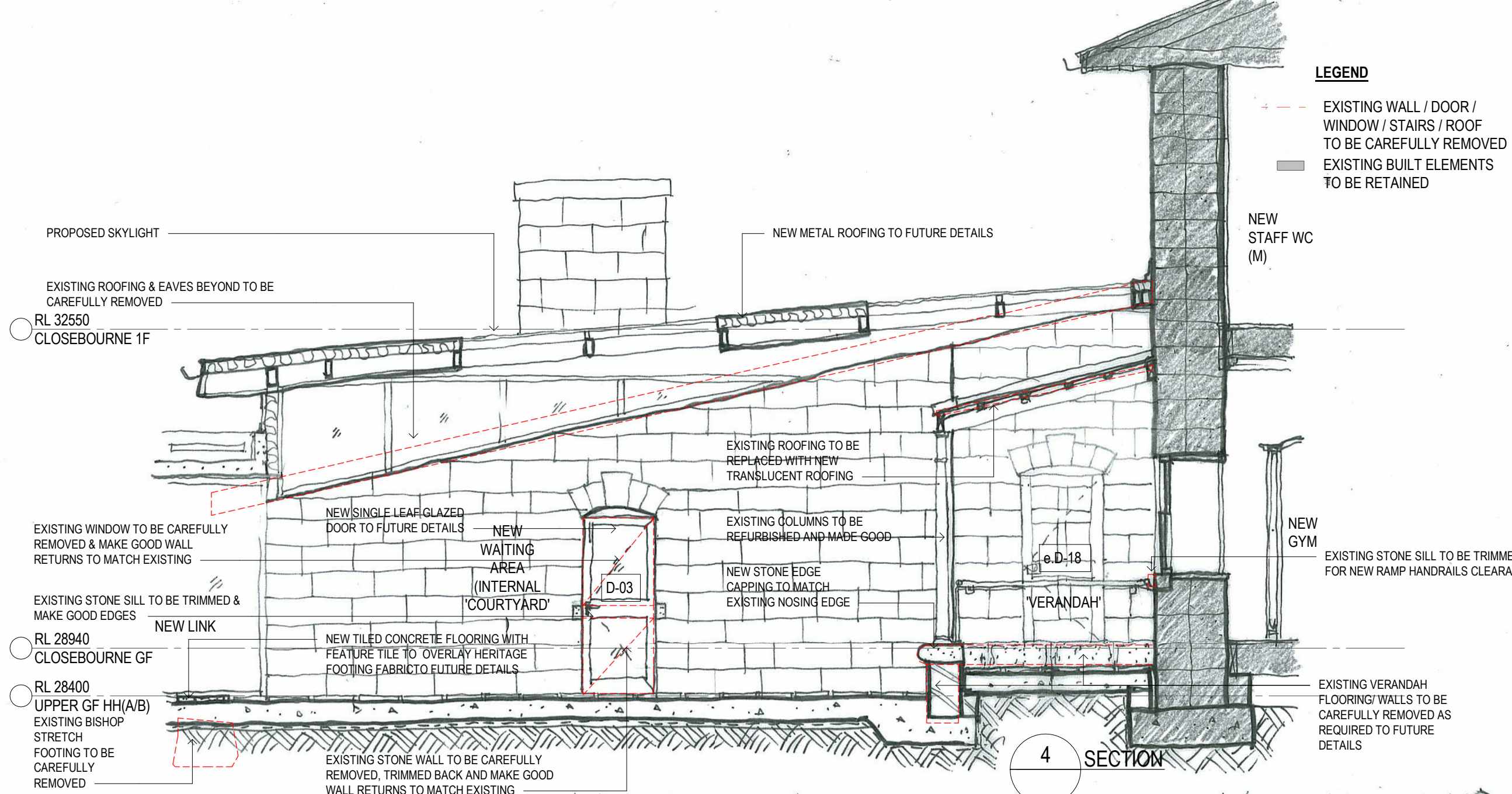
PROJECT  
**AGED CARE MORPETH**

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ABN 15 083 837  
Registered Architect Ian Brodie (4275)

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**LEGEND**

- - - - - EXISTING WALL / DOOR / WINDOW / STAIRS / ROOF TO BE CAREFULLY REMOVED
- █ EXISTING BUILT ELEMENTS TO BE RETAINED





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1	FOR INFORMATION	JL	12/07/18
2	ISSUE FOR INFORMATION	JL	25/09/18
3	ISSUE FOR INFORMATION	JL	04/12/18
4	ISSUE FOR INFORMATION	JL	14/12/18

NEW TOILET MECH. EXHAUST WITHIN ROOF VOID TO FUTURE DETAILS

NEW PRECAST CONCRETE LINTEL TO FUTURE DETAILS

EXISTING LOAD BEARING WALL TO BE CAREFULLY FOR REMOVED FOR OPENING TO LIFT LOBBY.

PROPOSED NEW DOORWAY ARCHITRAVE SURROUND TO MERGE TO EXISTING ADJOINING TIMBER JOINERIES (EG FIREPLACE/ SKIRTING)

EXISTING TIMBER FLOORING TO BE CAREFULLY REMOVED AND REPLACED WITH NEW WET AREA FLOOR SUBSTRATE

RAMP UP TO WET AREA LEVEL TO FUTURE DETAILS

MODIFY AND RETAINED TIMBER FLOORING AS REQUIRED TO FUTURE DETAILS

RL 32550  
CLOSEBOURNE 1F

RL 32550  
CLOSEBOURNE 1F

EXISTING ROOFING TO BE REPLACED WITH NEW METAL ROOFING

NEW FIXED GLAZING

EXISTING WINDOW TO BE CAREFULLY REMOVED & MAKE GOOD WALL RETURNS TO MATCH EXIST. FIN.

EXISTING STONE LINTEL TO BE REPLACED WITH NEW STRUCTURAL LINTEL TO FUTURE DETAILS

EXISTING FACE BRICK FIREPLACE TO BE RETAINED

NEW TILED CONCRETE FLOORING WITH FEATURE TILE TO OVERLAY HERITAGE FOOTING FABRICTO FUTURE DETAILS

RL 28940  
CLOSEBOURNE GF

RL 28400  
UPPER GF HH(A/B)

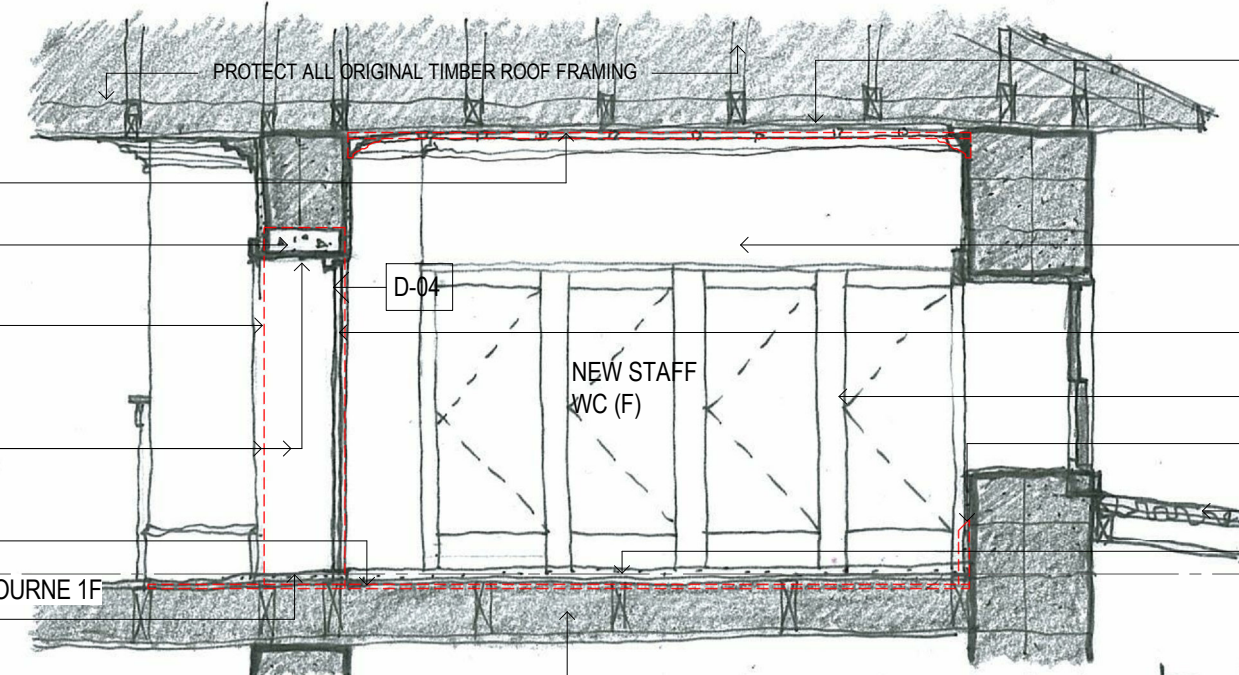
RL 32550  
CLOSEBOURNE 1F

EXISTING WINDOW

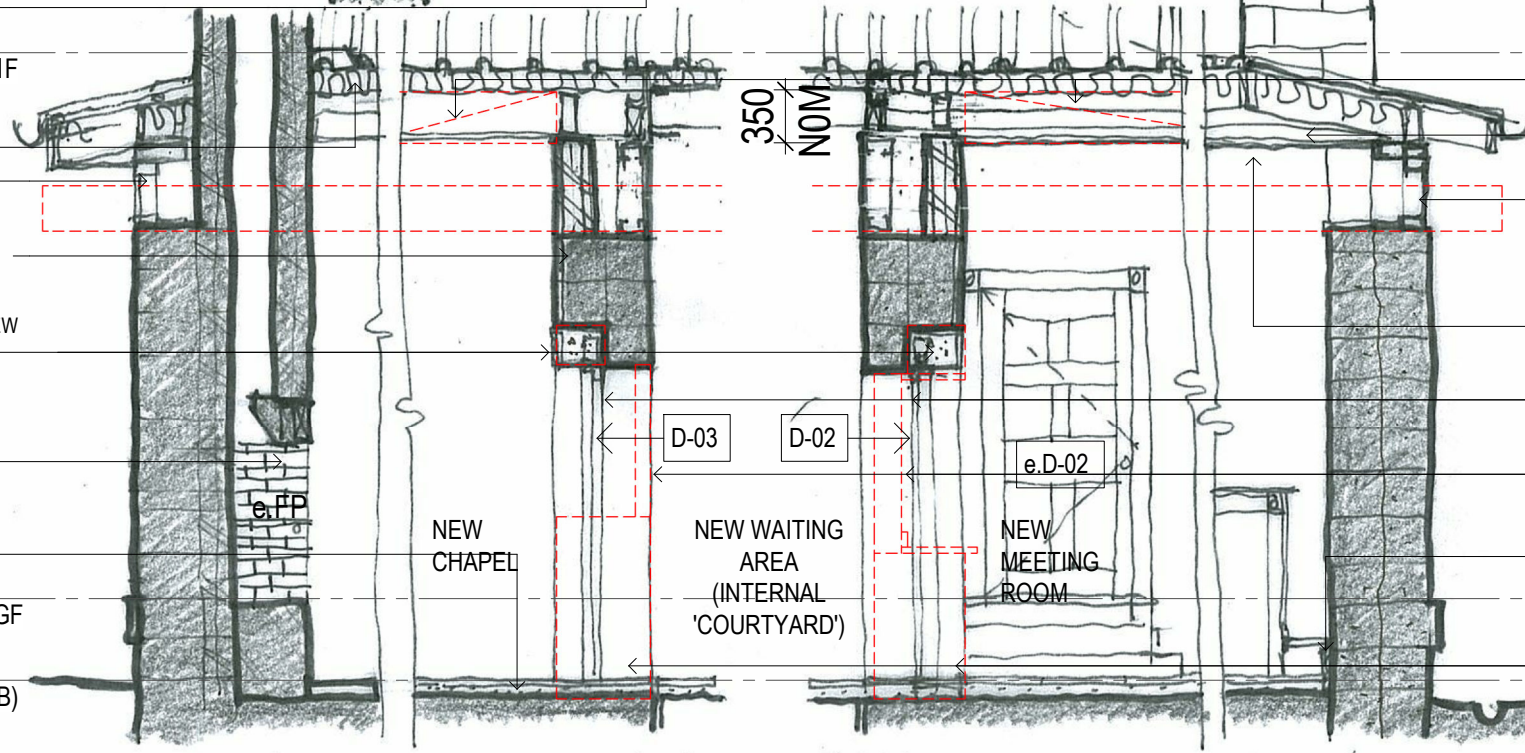
EXISTING FIREPLACE

RL 28940  
CLOSEBOURNE GF

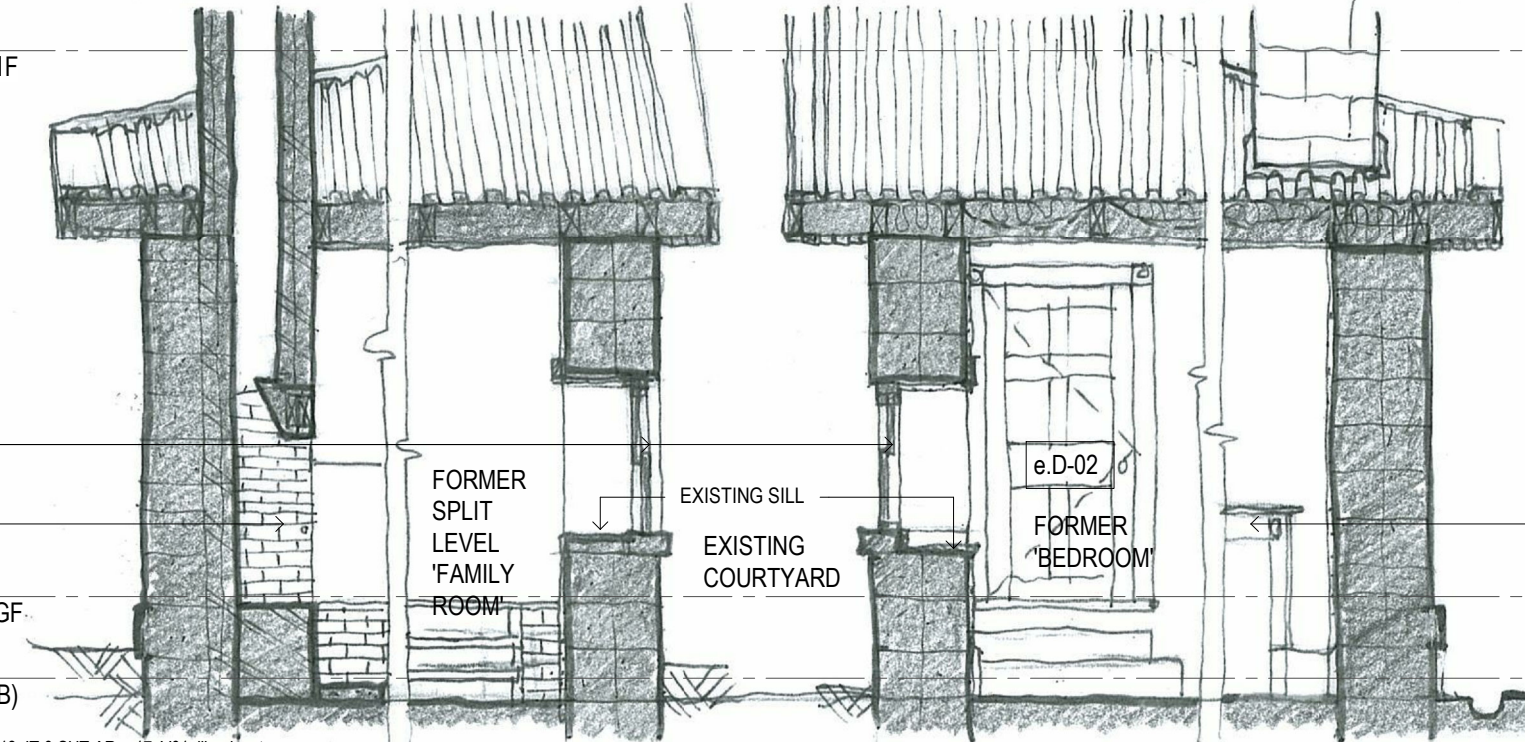
RL 28400  
UPPER GF HH(A/B)



6 SECTION



7 SECTION (PROPOSED)



8 SECTION (EXISTING)

REMOVE EXISTING WATER DAMAGED CORNICE AND PLASTER CEILING CAREFULLY AND REPLACED WITH NEW CORNICE AND WATER RESISTANT PLASTERBOARD TO MATCH EXISTING

PREPARE EXISTING WALL SUBSTRATE TO RECEIVE WET AREA LINING TO FUTURE DETAILS

NEW SINGLE LEAF SOLID PANEL DOOR AND ARCHITRAVE IN STAINED FINISH TO MATCH EXISTING

NEW TOILET PARTITION SYSTEM

EXISTING TIMBER SKIRTING TO BE CAREFULLY REMOVED AND REPLACED WITH TILED SKIRTING

NEW ROOF WITH FLASHING TO FUTURE DETAILS

NEW TILED FLOORING ON CEMENT SCREED LAID TO FALL TO FLOORWASTE TO FUTURE DETAILS

CEILING SERVICES ZONE SUBJECT TO FUTURE DETAILS

NEW ROOF FRAMING TO FUTURE DETAILS

NEW FIXED GLAZING

NEW PLASTERBOARD CEILING

NEW SINGLE LEAF GLAZED DOOR TO FUTURE DETAILS

EXISTING WINDOWS & ARCHITRAVE TO BE CAREFULLY REMOVED FOR STORAGE

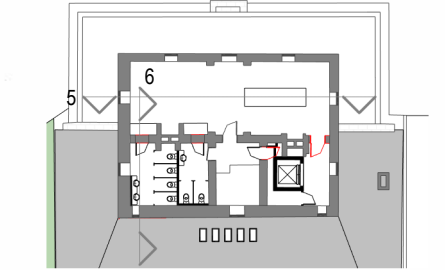
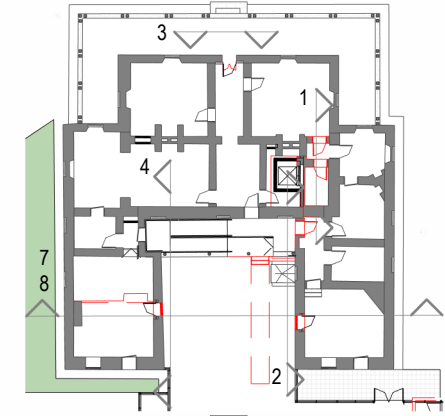
EXISTING TIMBER SKIRTING TO BE REINSTALL TO PROPOSED NEW LEVEL

EXISTING STONE WALL TO BE CAREFULLY REMOVED, TRIMMED BACK AND MAKE GOOD WALL RETURNS TO MATCH EXIST. FIN.

**LEGEND**

- - - EXISTING WALL / DOOR / WINDOW / STAIRS / ROOF TO BE CAREFULLY REMOVED

■ EXISTING BUILT ELEMENTS TO BE RETAINED



KEY PLAN

50mm on original

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**LEND LEASE**



**SECTION - DETAIL - SHEET 3**

DATE 06/26/18 SCALE @ A3 As indicated DRAWN JL

PROJECT No. 253824-MO PHASE DA ASK-550-02 DRAWING ISSUE 4

PROJECT  
**AGED CARE MORPETH**

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