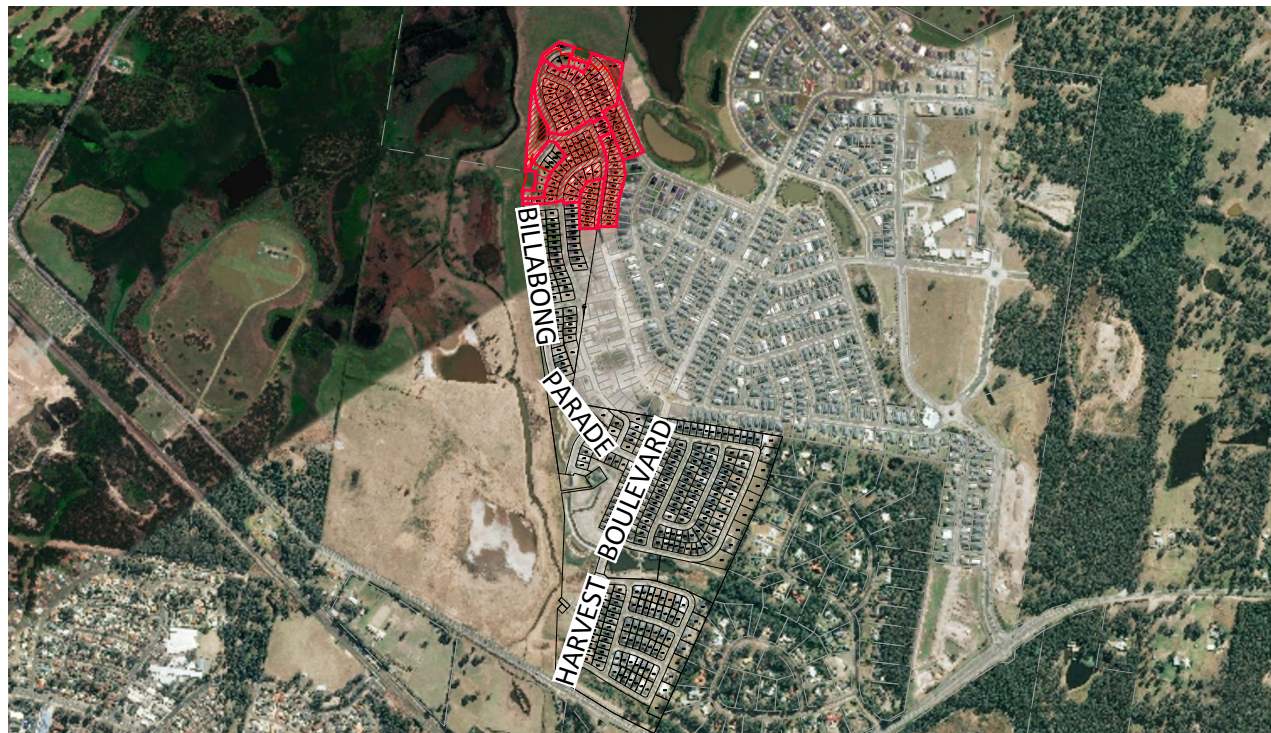


CONCEPT ENGINEERING PLANS OF ' PROPOSED SUBDIVISION ' STAGE 6N & 7N (REF DA No. 11-2921) OF LOT 500, D.P. 1228344 RAYMOND TERRACE ROAD, CHISHOLM

M.G.A.



LOCALITY SKETCH
NOT TO SCALE

INDEX OF DRAWINGS

DRAWING No.	NAME
50031(6N & 7N)-CENG-001 50031(6N & 7N)-CENG-002	COVER SHEET, INDEX OF DRAWINGS & LOCALITY SKETCH OVERALL SITE PLAN & GENERAL NOTES
50031(6N & 7N)-CENG-101 50031(6N & 7N)-CENG-102	DETAIL PLAN - SHEET 1 DETAIL PLAN - SHEET 2
50031(6N & 7N)-CENG-201 50031(6N & 7N)-CENG-202 50031(6N & 7N)-CENG-221	ROAD LONGITUDINAL SECTION - BILABONG PARADE - SHEET 1 ROAD LONGITUDINAL SECTION - BILABONG PARADE - SHEET 2 TYPICAL ROAD PROFILES & KERB DETAILS
50031(6N & 7N)-CENG-501 50031(6N & 7N)-CENG-502	SITE REGRADE PLAN - SHEET 1 SITE REGRADE PLAN - SHEET 2
50031(6N & 7N)-CENG-601 50031(6N & 7N)-CENG-602 50031(6N & 7N)-CENG-611	EROSION & SEDIMENT CONTROL PLAN - SHEET 1 EROSION & SEDIMENT CONTROL PLAN - SHEET 2 EROSION & SEDIMENT CONTROL DETAILS & NOTES



NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES
A	20.01.2021	INITIAL ISSUE	M.V.	J.J.	M.L.	M.K.	

adw Johnson
Central Coast
5 Pioneer Avenue,
P.O. Box 3717,
Tuggerah N.S.W. 2259
Phone: (02) 4305 4300
Fax: (02) 4305 4399
email: coast@adwjohnson.com.au
www.adwjohnson.com.au
ABN 62 129 445 398

CLIENT
AVID
Property Group

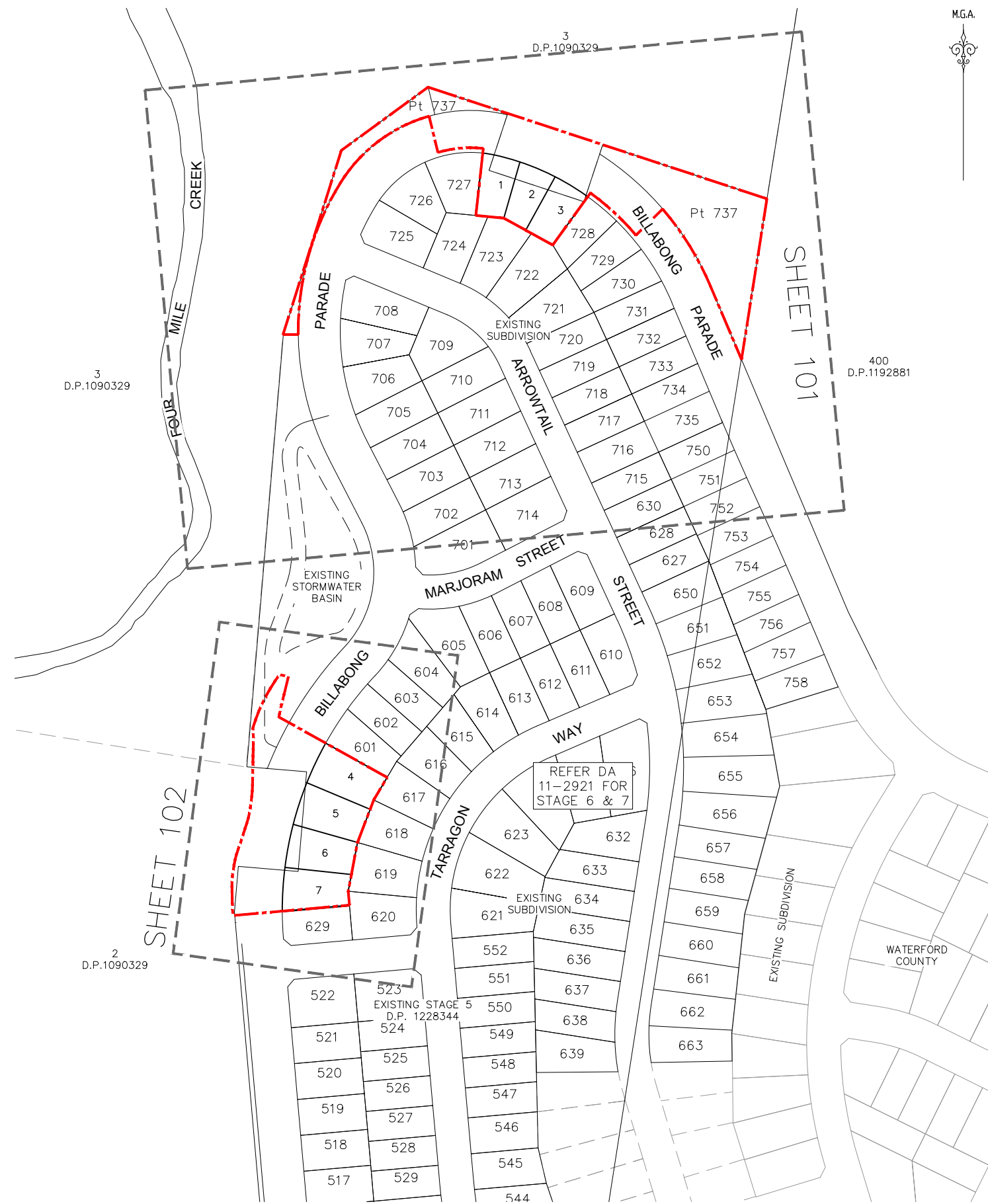
PROPERTY DESCRIPTION
"DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600
IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN
D.P.1090329 & LOT 728 IN D.P.1240614
RAYMOND TERRACE ROAD, CHISHOLM

SURVEYED ADWJ DATUM A.H.D.

PROJECT
PROPOSED SUBDIVISION

PLAN TITLE
COVER SHEET, INDEX OF DRAWINGS
& LOCALITY SKETCH

PROJECT No. 50031(6N & 7N) - DISCIPLINE CENG - NUMBER 001 - REV. A



OVERALL PLAN
SCALE 1:1250

LEGEND

- SITE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- FUTURE LOT BOUNDARY

GENERAL NOTES: -

1. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE APPROVED PLANS, SUBJECT TO MAITLAND CITY COUNCIL'S "MANUAL OF ENGINEERING STANDARDS".
2. ALL LEVELS SHALL BE OBTAINED FROM ESTABLISHED BENCHMARKS TO AUSTRALIAN HEIGHT DATUM (A.H.D.)
3. TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE RMS DOCUMENT "TRAFFIC CONTROL AT WORKSITES".
4. ALL TREES WITHIN THE ALLOTMENT AND RESERVES (OTHER THAN ROAD RESERVES) SHALL BE RETAINED, UNLESS OTHERWISE NOMINATED BY THE APPROVED LANDSCAPE PLAN. REMOVAL OF TREES FOR THE ESTABLISHED OF FIRE-BREAKS SHALL BE CARRIED OUT IN CONSULTATION WITH THE FIRE CONTROL OFFICER AND/OR COUNCIL'S ENVIRONMENTAL OFFICER.
5. POINTS OF CONFLICT BETWEEN NEW CONSTRUCTION AND EXISTING UTILITY SERVICE MAINS SHALL BE IDENTIFIED, EXPOSED AND REPORTED TO THE PROJECT MANAGER PRIOR TO CONSTRUCTION. SERVICE CONDUITS SHALL BE LAID IN POSITIONS AS APPROVED BY THE RELEVANT AUTHORITY.
6. PROVISION SHOULD BE MADE FOR SUITABLE PROTECTION OF THE EXISTING ROAD PAVEMENTS, KERB AND GUTTER AND FOOTPATH FORMATION. VEHICULAR ACCESS TO ALL SERVICES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION WORKS, SHALL BE MAINTAINED AT ALL TIMES.
7. TOPSOIL 150mm THICK SHALL BE APPLIED TO ALL FOOTPATHS AND FILLED AREAS. WHERE TURF IS NOT REQUESTED, ALL EXPOSED TOPSOIL SHALL BE SEEDED IMMEDIATELY UPON COMPLETION OF THE SOIL SPREADING OPERATION. TURF TO BE PLACED FULL WIDTH BETWEEN KERB AND FOOTPATH.
8. ALL SILT CONTROL MEASURES SHALL BE PLACED PRIOR TO THE COMMENCEMENT OF EARTHWORKS. SUCH MEASURES SHALL BE SUBJECT TO FURTHER ADDITIONS, WHERE CONSIDERED NECESSARY, AS DIRECTED BY THE PROJECT MANAGER OR COUNCIL, DURING THE PROGRESSIONS OF WORKS. ALL FINAL EROSION PREVENTION MEASURES INCLUDING ESTABLISHMENT OF GRASS SHALL BE COMPLETED PRIOR TO THE "FINAL" INSPECTION.
9. SUBSOIL DRAINS SHALL BE PROVIDED AS SHOWN ON PLANS, ADDITIONAL DRAINS SHALL BE PROVIDED WHERE CONSIDERED NECESSARY, BY COUNCIL OR A GEOTECHNICAL ENGINEER.
10. ALL MATERIALS AND PRODUCTS FOR INSTALLATION AND CONSTRUCTION SHALL COMPLY WITH AUSTRALIAN STANDARDS. MONITORING TESTING ("STRING LINE" AND "ROLL") WHERE SPECIFIED BY COUNCIL'S MANUAL OF ENGINEERING STANDARDS, TO BE PERFORMED BY COUNCIL, SHALL BE ARRANGED 24 HOURS IN ADVANCE. WHERE A COUNCIL OFFICER IS NOT AVAILABLE, A GEOTECHNICAL ENGINEER MAY PERFORM SUCH TESTS.
11. ALL FILL WITHIN LOTS INCLUDING BATTERS SHALL BE PLACED IN ACCORDANCE WITH AS 3798 TO LEVEL 1 INSPECTION AND TESTING.
12. PAVEMENT DESIGN HAS BEEN BASED ON SUBGRADE INVESTIGATION CARRIED OUT BY CARDNO GEOTECH SOLUTIONS.
13. THE INSPECTION, SUPERVISION AND REPORTING REQUIREMENTS OF A SUITABLY QUALIFIED ECOLOGIST REGARDING THE REMOVAL AND RELOCATION OF ANY THREATENED FAUNA SPECIES SHALL BE UNDERTAKEN AS PER RELEVANT CONDITIONS OF CONSENT.

□ ORIGIN OF LEVELS BENCH MARK
P.M. 83572
E 371190.202
N 6373751.025
R.L. 19.989 A.H.D.



NOT FOR CONSTRUCTION

<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>AMENDMENT</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>20.01.2021</td> <td>INITIAL ISSUE</td> </tr> </tbody> </table>		REV.	DATE	AMENDMENT	A	20.01.2021	INITIAL ISSUE	<table border="1"> <thead> <tr> <th>DESIGN</th> <th>DRAWN</th> <th>CHECKED</th> <th>APPROVED</th> <th>SCALES</th> </tr> </thead> <tbody> <tr> <td>M.V.</td> <td>J.J.</td> <td>M.L.</td> <td>M.K.</td> <td>A1 1:1250</td> </tr> </tbody> </table>		DESIGN	DRAWN	CHECKED	APPROVED	SCALES	M.V.	J.J.	M.L.	M.K.	A1 1:1250					<p>Central Coast 5 Pioneer Avenue, P.O. Box 3717, Tuggerah N.S.W. 2259 Phone: (02) 4305 4300 Fax: (02) 4305 4399 email: coast@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398</p>		<p>CLIENT</p>		<p>PROPERTY DESCRIPTION "DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600 IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN D.P.1090329 & LOT 728 IN D.P.1240614 RAYMOND TERRACE ROAD, CHISHOLM</p>		<p>PROJECT PROPOSED SUBDIVISION</p>		<p>PLAN TITLE OVERALL SITE PLAN & GENERAL NOTES</p>		<table border="1"> <thead> <tr> <th>SURVEYED</th> <th>DATUM</th> <th>PROJECT No.</th> <th>DISCIPLINE</th> <th>NUMBER</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>ADWJ</td> <td>A.H.D.</td> <td>50031(6N & 7N)</td> <td>CENG</td> <td>002</td> <td>A</td> </tr> </tbody> </table>		SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.	ADWJ	A.H.D.	50031(6N & 7N)	CENG	002	A
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ADWJ	A.H.D.	50031(6N & 7N)	CENG	002	A																																										

D.P.1090329

D.P.1090329

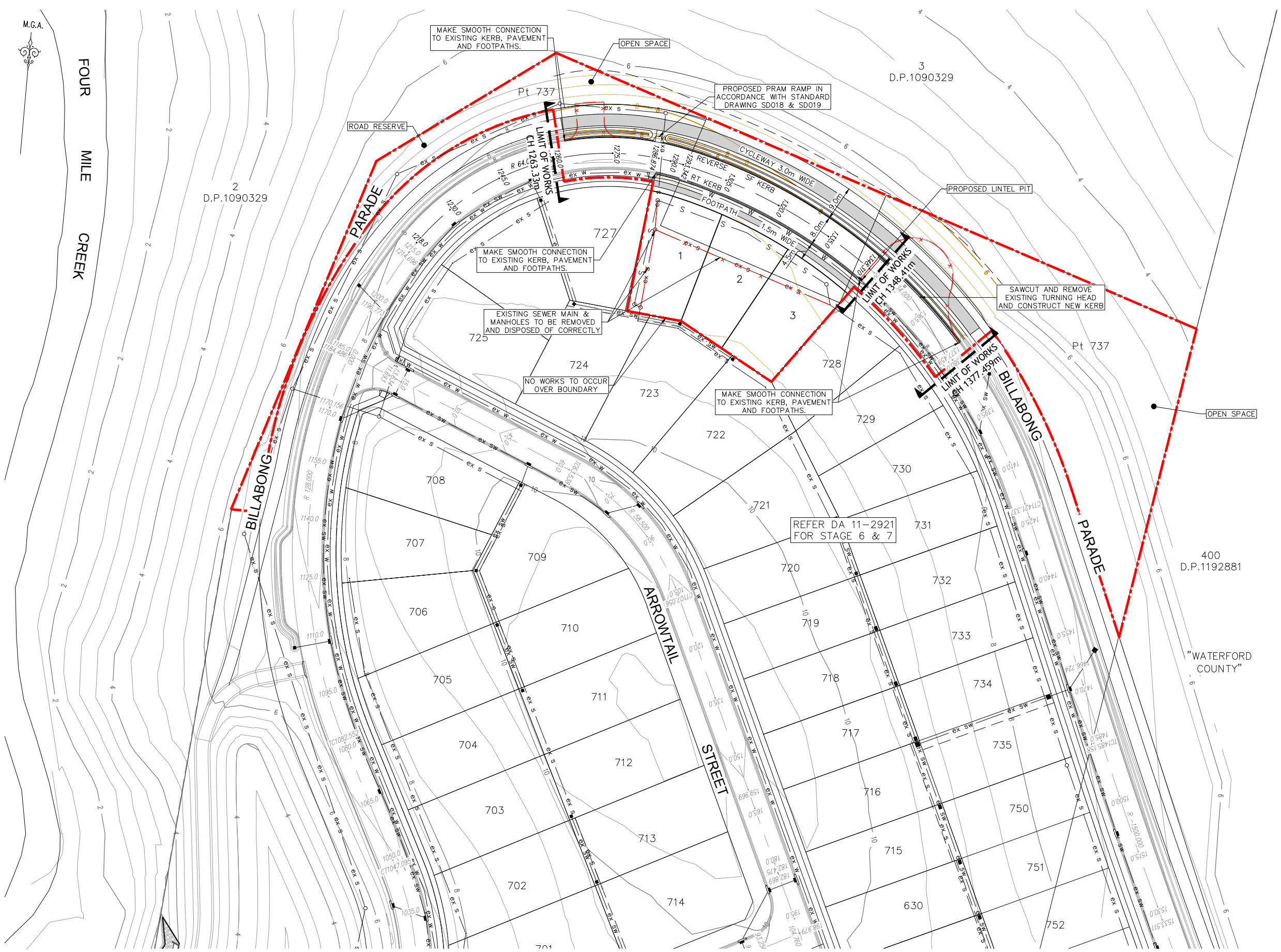
D.P.1192881

LEGEND

- SITE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- FUTURE LOT BOUNDARY
- MAJOR CONTOURS (NATURAL)
- MINOR CONTOURS (NATURAL)
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPOSED KERB
- EXISTING KERB
- FUTURE KERB
- EXTENTS OF BATTER
- PROPOSED SAWCUT
- PROPOSED FOOTPATH
- PROPOSED STORMWATER
- S PROPOSED SEWER
- W PROPOSED WATER
- ex sw EXISTING STORMWATER
- ex s EXISTING SEWER
- ex m EXISTING RISING MAIN
- ex w EXISTING WATER
- ex g EXISTING GAS
- x EXISTING TO BE REMOVED
- PROPOSED SW PIT
- PROPOSED GPT
- PROPOSED LINTEL
- PROPOSED HEADWALL

CONTOUR INTERVAL = 0.5m

- GENERAL NOTES: -**
1. FOR TYPICAL ROAD CROSS SECTIONS, KERB PROFILES REFER SHEET 221.
 2. SETOUT INFORMATION IS TO BE VERIFIED BY THE CONTRACTOR AGAINST THE PLAN VIEW, LONGITUDINAL SECTIONS AND ELECTRONIC 12D DATA BEFORE BEING USED. IF THERE IS A DISCREPANCY THE SUPERINTENDENT IS TO BE NOTIFIED AND DIRECTION WITH BE PROVIDED IN WRITING BEFORE PROCEEDING.

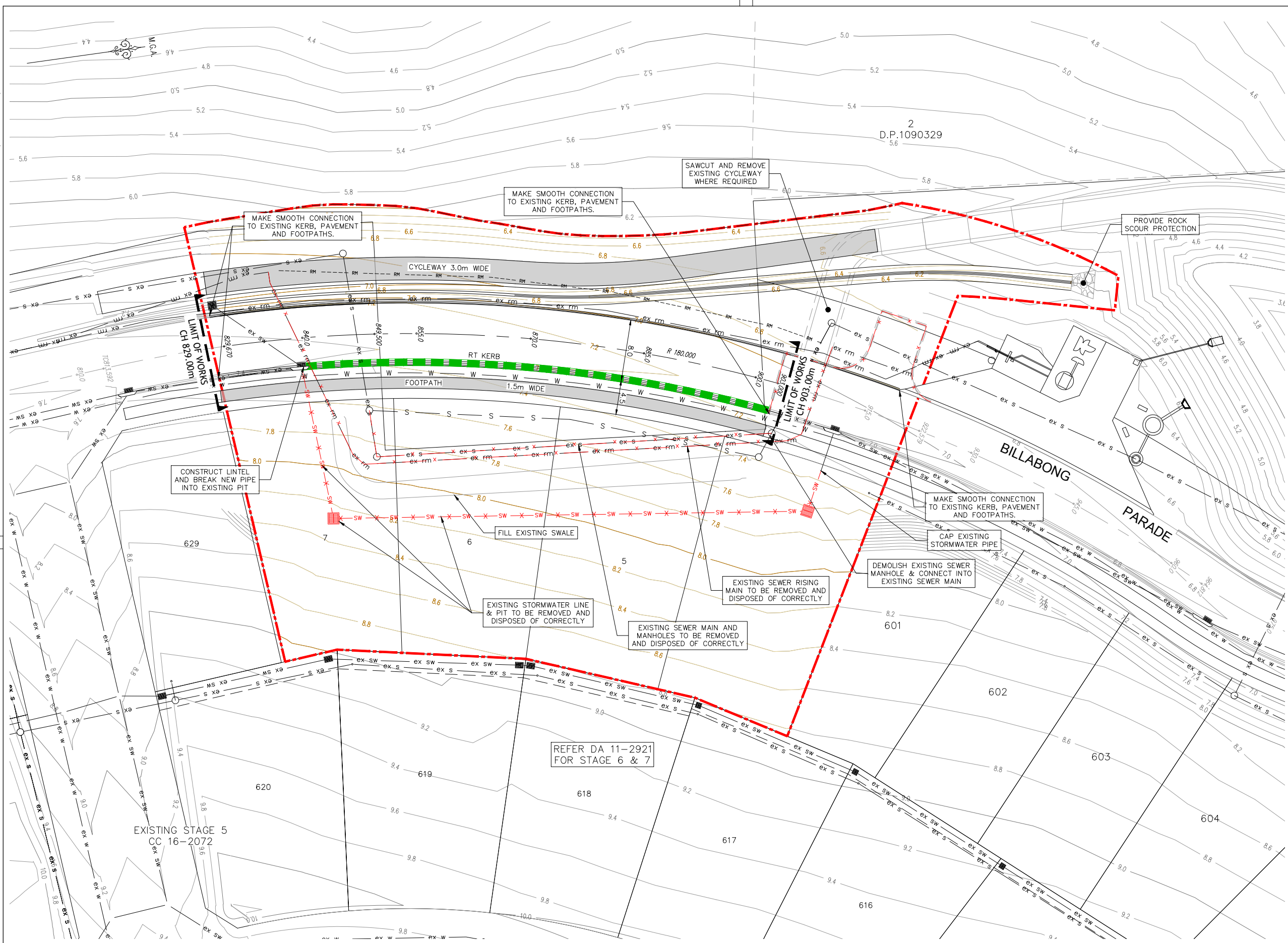


DETAIL PLAN SCALE 1:500



NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES			Central Coast 5 Pioneer Avenue, P.O. Box 3717, Tuggerah N.S.W. 2259 Phone: (02) 4305 4300 Fax: (02) 4305 4399 email: coast@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	CLIENT 	PROPERTY DESCRIPTION "DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600 IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN D.P.1090329 & LOT 728 IN D.P.1240614 RAYMOND TERRACE ROAD, CHISHOLM			PROJECT PROPOSED SUBDIVISION		
A	20.01.2021	INITIAL ISSUE	M.V.	J.J.	M.L.	M.K.						PLAN TITLE DETAIL PLAN SHEET 1			PROJECT No. 50031(6N & 7N) - DISCIPLINE CENG - NUMBER 101 - REV. A		



LEGEND

- SITE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- FUTURE LOT BOUNDARY
- MAJOR CONTOURS (NATURAL)
- MINOR CONTOURS (NATURAL)
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPOSED KERB
- EXISTING KERB
- FUTURE KERB
- EXTENTS OF BATTER
- PROPOSED SAWCUT
- PROPOSED FOOTPATH
- PROPOSED STORMWATER
- S --- PROPOSED SEWER
- W --- PROPOSED WATER
- RM --- PROPOSED RISING MAIN
- ex sw --- EXISTING STORMWATER
- ex s --- EXISTING SEWER
- ex rm --- EXISTING RISING MAIN
- ex w --- EXISTING WATER
- ex g --- EXISTING GAS
- X SW --- EXISTING STORMWATER TO BE REMOVED
- X --- EXISTING TO BE REMOVED
- [Symbol] --- PROPOSED SW PIT
- [Symbol] --- PROPOSED LINTEL

CONTOUR INTERVAL = 0.2m

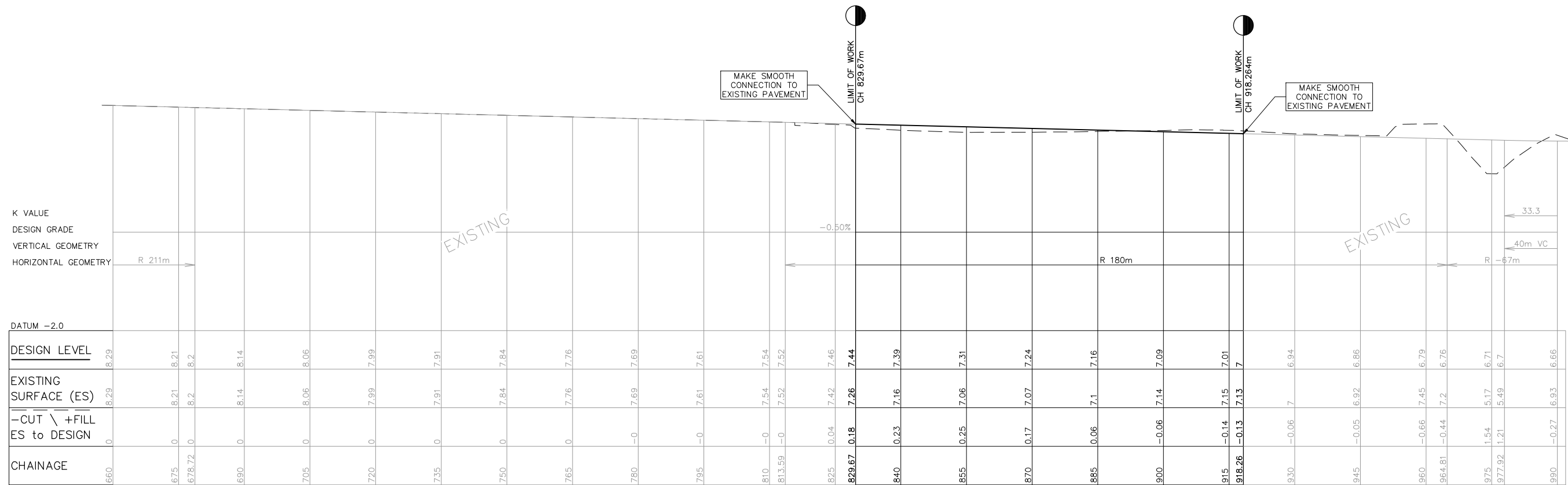
- GENERAL NOTES:-**
- FOR TYPICAL ROAD CROSS SECTIONS, KERB PROFILES REFER SHEET 221.
 - SETOUT INFORMATION IS TO BE VERIFIED BY THE CONTRACTOR AGAINST THE PLAN VIEW, LONGITUDINAL SECTIONS AND ELECTRONIC 12D DATA BEFORE BEING USED. IF THERE IS A DISCREPANCY THE SUPERINTENDENT IS TO BE NOTIFIED AND DIRECTION WITH BE PROVIDED IN WRITING BEFORE PROCEEDING.

DETAIL PLAN
SCALE 1:250



NOT FOR CONSTRUCTION

REV. DATE AMENDMENT	DESIGN DRAWN CHECKED APPROVED SCALES			Central Coast 5 Pioneer Avenue, P.O. Box 3717, Tuggerah N.S.W. 2259 Phone: (02) 4305 4300 Fax: (02) 4305 4399 email: coast@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	CLIENT 	PROPERTY DESCRIPTION	PROJECT		
A 20.01.2021 INITIAL ISSUE	M.V. J.J. M.L. M.K.					"DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600 IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN D.P.1090329 & LOT 728 IN D.P.1240614 RAYMOND TERRACE ROAD, CHISHOLM	PROPOSED SUBDIVISION PLAN TITLE DETAIL PLAN SHEET 2		
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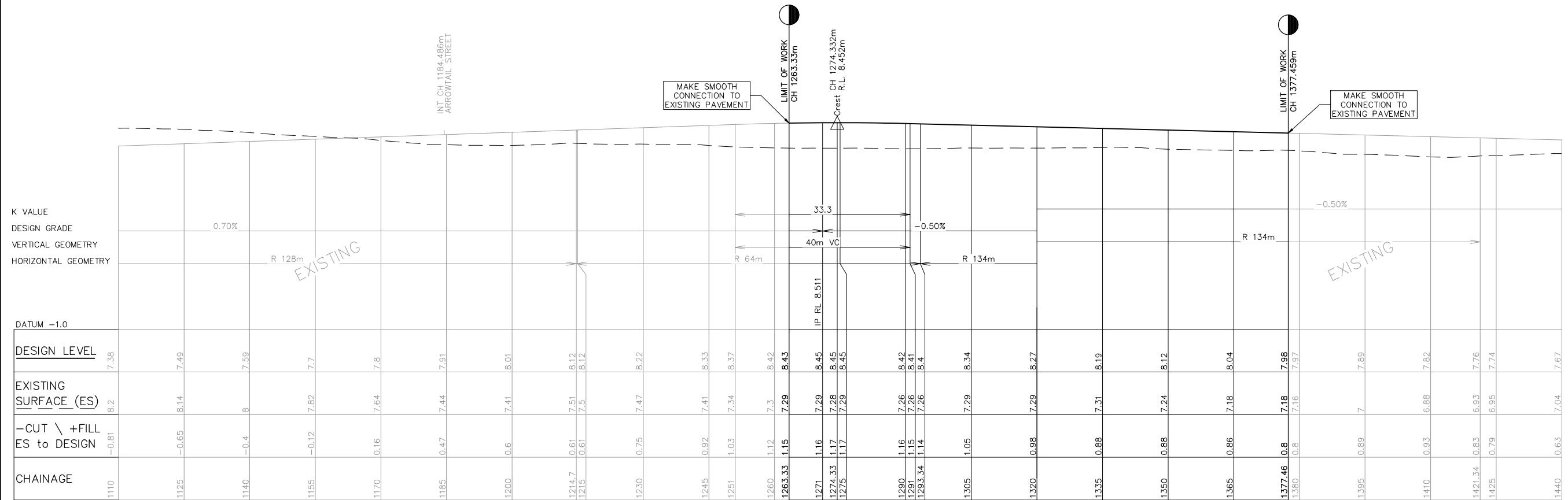


LONGITUDINAL SECTION – BILLABONG PARADE
 HORIZONTAL SCALE 1:500
 VERTICAL SCALE 1:100



NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES	Central Coast 5 Pioneer Avenue, P.O. Box 3717, Tuggerah N.S.W. 2259 Phone: (02) 4305 4300 Fax: (02) 4305 4399 email: coast@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	CLIENT	PROPERTY DESCRIPTION	PROJECT
A	20.01.2021	INITIAL ISSUE	M.V.	J.J.	M.L.	M.K.	A1 1:500 0 12.5 25.0m A3 1:1000 A1 1:100 0 2.5 5.0m A3 1:200		AVID Property Group	"DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600 IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN D.P.1090329 & LOT 728 IN D.P.1240614 RAYMOND TERRACE ROAD, CHISHOLM	PROPOSED SUBDIVISION ROAD LONGITUDINAL SECTION BILLABONG PARADE SHEET 1
DESIGN FILE S:\50031\50031(6)\Design\120\STAGE 6 ENG DESIGN\STAGE_6_ENG_DESIGN.project			ALL DIMENSIONS ARE IN METRES. DO NOT SCALE			SURVEYED ADWJ DATUM A.H.D.		PROJECT No. 50031(6N & 7N) - CENG - 201		DISCIPLINE - NUMBER - REV. A	



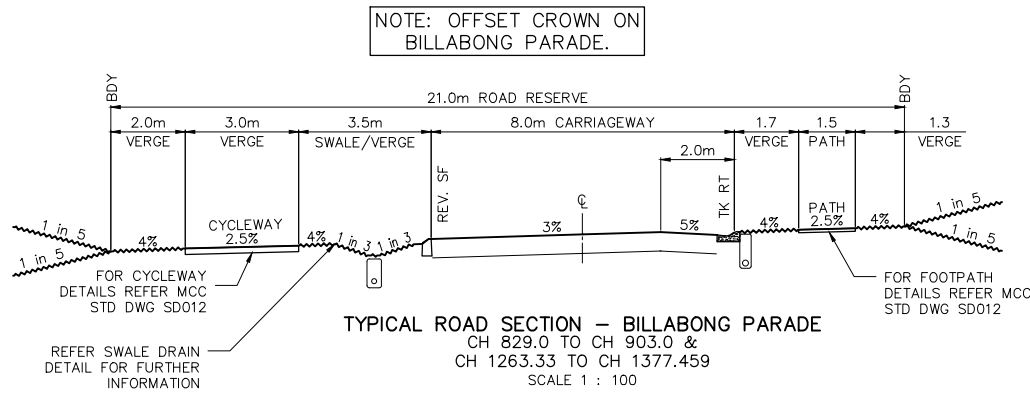
LONGITUDINAL SECTION – BILLABONG PARADE
 HORIZONTAL SCALE 1:500
 VERTICAL SCALE 1:100

100mm AT FULL SIZE



NOT FOR CONSTRUCTION

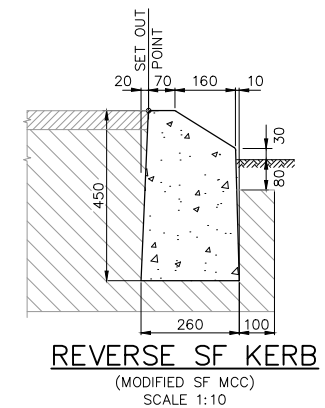
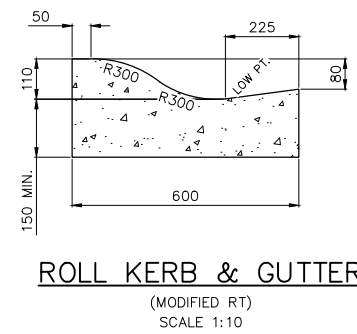
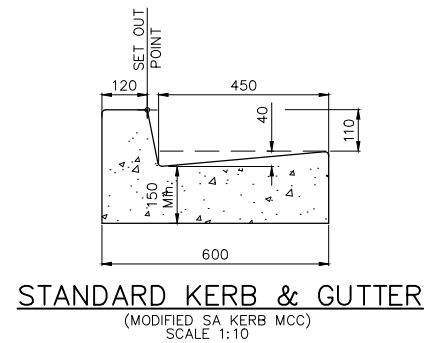
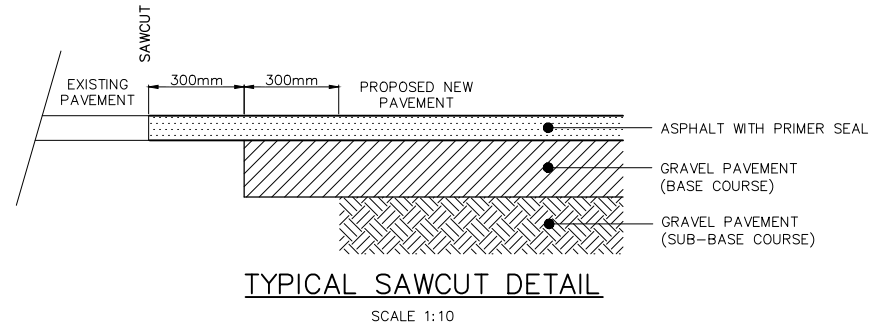
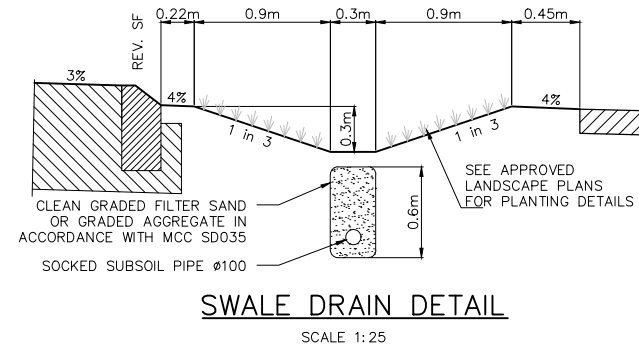
REV. A	DATE 20.01.2021	AMENDMENT INITIAL ISSUE	DESIGN M.V.	DRAWN J.J.	CHECKED M.L.	APPROVED M.K.	SCALES A1 1:500 A3 1:1000 A1 1:100 A3 1:200	<p>Central Coast 5 Pioneer Avenue, P.O. Box 3717, Tuggerah N.S.W. 2259 Phone: (02) 4305 4300 Fax: (02) 4305 4399 email: coast@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398</p>	CLIENT 	PROPERTY DESCRIPTION "DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600 IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN D.P.1090329 & LOT 728 IN D.P.1240614 RAYMOND TERRACE ROAD, CHISHOLM	PROJECT PROPOSED SUBDIVISION PLAN TITLE ROAD LONGITUDINAL SECTION BILLABONG PARADE SHEET 2	SURVEYED ADWJ	DATUM A.H.D.	PROJECT No. 50031(6N & 7N) - CENG - 202	DISCIPLINE CENG	NUMBER 202	REV. A
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PAVEMENT COMPOSITIONS - FLEXIBLE PAVEMENTS	
ROAD SECTION	ALL ROADS
WEARING COURSE ⁽¹⁾ (mm)	30(AC10)
BASECOURSE (mm)	160
SUBBASE(mm)	125
TOTAL THICKNESS(mm)	315
SUBGRADE MATERIAL	FILL/SANDSTONE
SELECT SUBGRADE (CBR 15%)	300*(4)
SUBGRADE DESIGN CBR	8%
DESIGN TRAFFIC	1.5 x 10 ⁶ DESA

PAVEMENT NOTES:

- WITH 7mm PRIMER SEAL.
- PAVEMENT BASED ON 'REPORT ON GEOTECHNICAL INVESTIGATION' HARVEST ESTATE STAGE 6/7 - CARDNO GEOTECH SOLUTIONS
- CONFIRM SUBGRADE CONDITION WITH GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF SELECT MATERIALS.
- WHEN SUBGRADE IS CLAY OR FILL



NOT FOR CONSTRUCTION

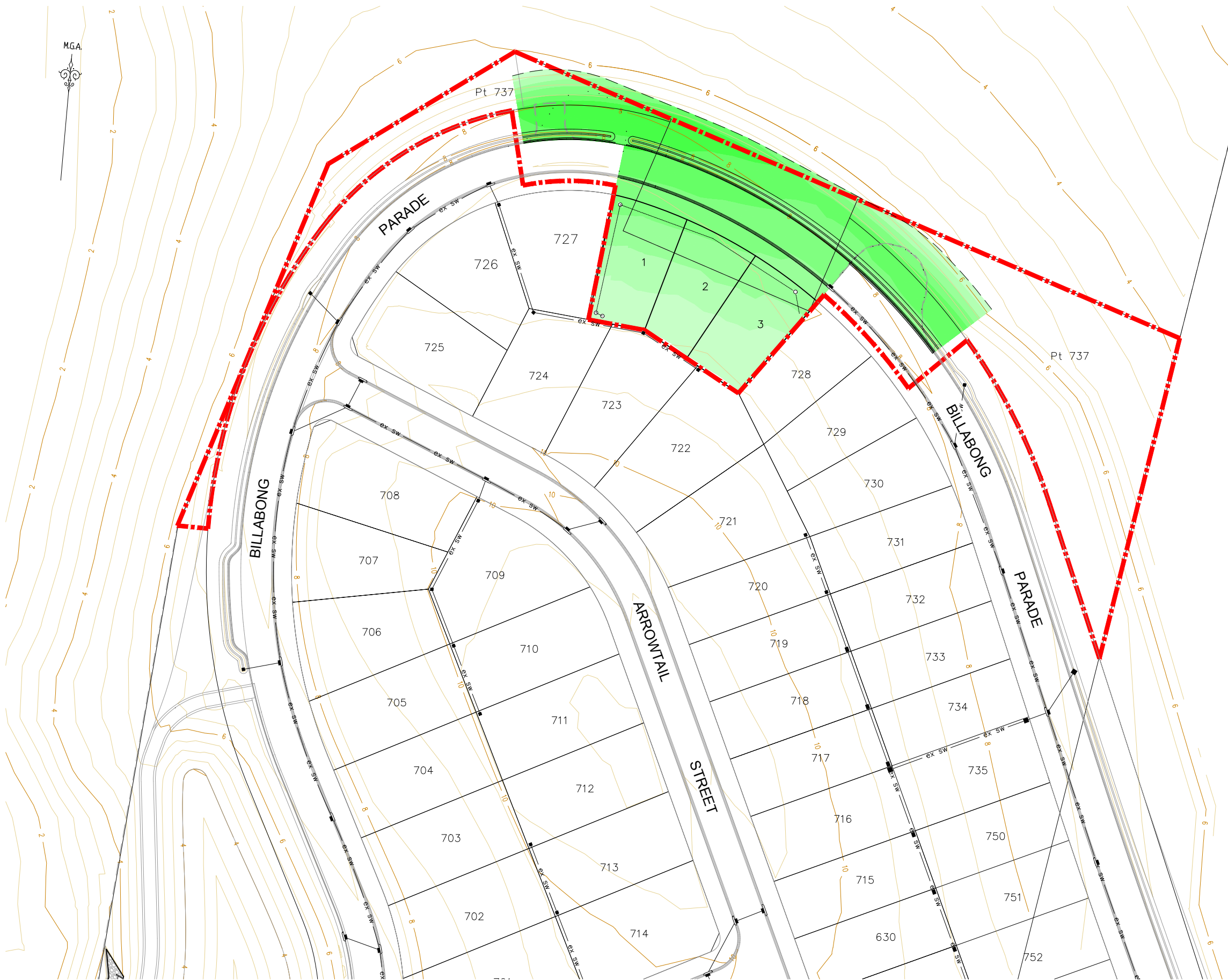
REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT
A	20.01.2021	INITIAL ISSUE	M.V.	J.J.	M.L.	M.K.	A1 1:100 A2 1:200 A3 1:100 A4 1:50 A5 1:25 A6 1:10 A7 1:5 A8 1:2 A9 1:1	AVID Property Group Central Coast 5 Pioneer Avenue, P.O. Box 3717, Tuggerah N.S.W. 2259 Phone: (02) 4305 4300 Fax: (02) 4305 4399 email: coast@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	"DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600 IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN D.P.1090329 & LOT 728 IN D.P.1240614 RAYMOND TERRACE ROAD, CHISHOLM	PROPOSED SUBDIVISION TYPICAL ROAD PROFILES & KERB DETAILS
DESIGN FILE S:\50031\50031(6)\Design\120\STAGE 6 ENG DESIGN\STAGE_6_ENG_DESIGN.project		ALL DIMENSIONS ARE IN METRES. DO NOT SCALE		ADW		JOHNSON		SURVEYED: ADWJ DATUM: A.H.D.		PROJECT No. 50031(6N & 7N) - CENG - 221 DISCIPLINE - NUMBER - REV. A



LEGEND	
	SITE BOUNDARY
	PROPOSED LOT BOUNDARY
	EXISTING LOT BOUNDARY
	FUTURE LOT BOUNDARY
	MAJOR CONTOURS (NATURAL)
	MINOR CONTOURS (NATURAL)
	MAJOR CONTOURS
	MINOR CONTOURS
	PROPOSED KERB
	EXISTING KERB
	PROPOSED STORMWATER
	PROPOSED SEWER

CONTOUR INTERVAL = 0.5m

LEGEND (+ FILL - CUT)			Colour
Lower_value	Upper_value		
-9999	to -4	m	
-4	to -3.5	m	
-3.5	to -3	m	
-3	to -2.5	m	
-2.5	to -2	m	
-2	to -1.75	m	
-1.75	to -1.5	m	
-1.5	to -1.25	m	
-1.25	to -1	m	
-1	to -0.75	m	
-0.75	to -0.5	m	
-0.5	to -0.25	m	
-0.25	to 0	m	
0	to 0.250	m	
0.250	to 0.5	m	
0.500	to 0.75	m	
0.75	to 1	m	
1	to 1.25	m	
1.25	to 1.5	m	
1.5	to 1.75	m	
1.75	to 2	m	
2	to 2.5	m	
2.5	to 3	m	
3	to 3.5	m	
3.5	to 4	m	
4	to 99999	m	

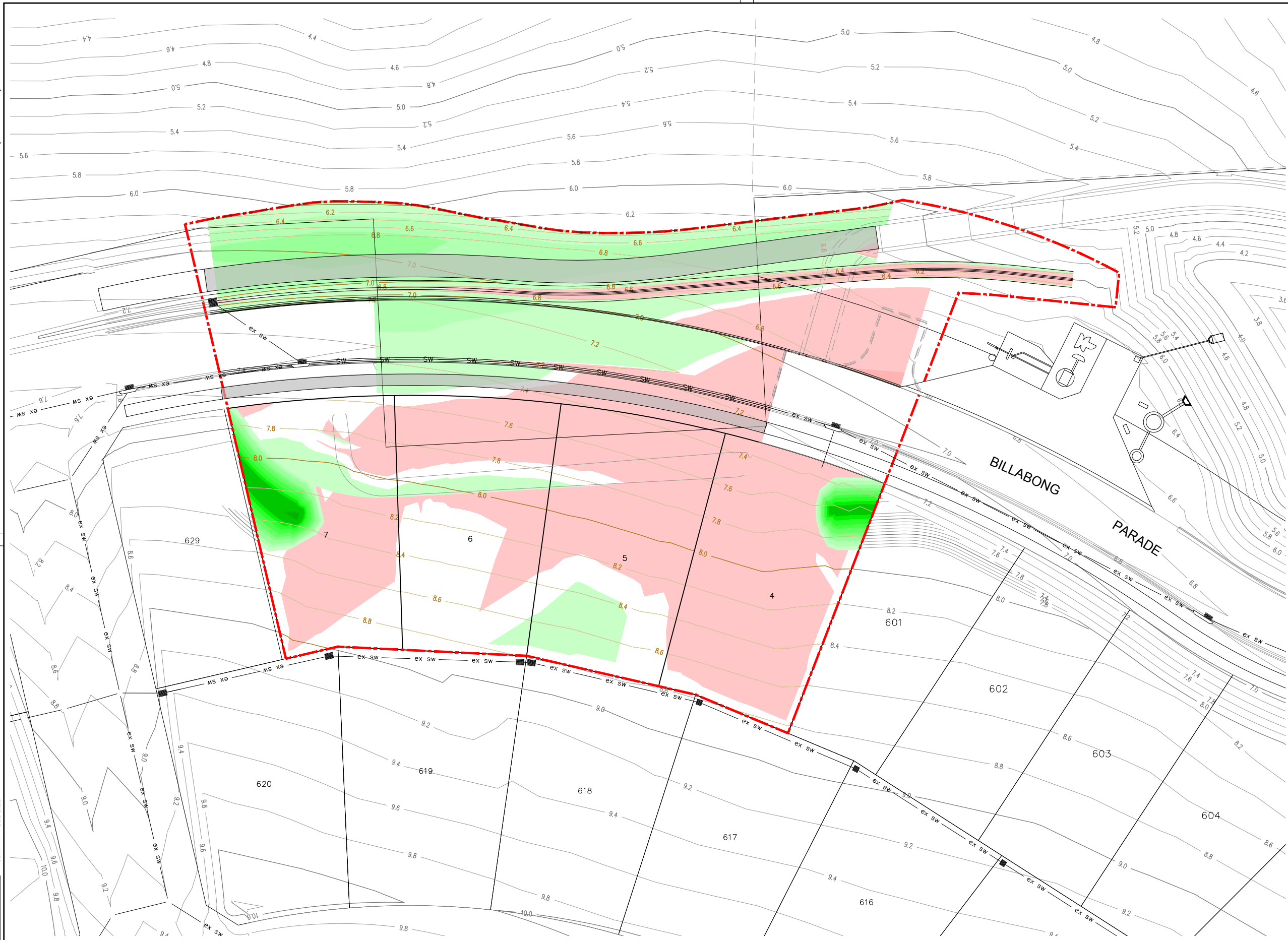


SITE REGRADE PLAN
SCALE 1:500



NOT FOR CONSTRUCTION

REV. DATE AMENDMENT	DESIGN DRAWN CHECKED APPROVED	SCALES		Central Coast 5 Pioneer Avenue, P.O. Box 3717, Tuggerah N.S.W. 2259 Phone: (02) 4305 4300 Fax: (02) 4305 4399 email: coast@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	CLIENT 	PROPERTY DESCRIPTION "DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600 IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN D.P.1090329 & LOT 728 IN D.P.1240614 RAYMOND TERRACE ROAD, CHISHOLM		PROJECT PROPOSED SUBDIVISION	
A 20.01.2021 INITIAL ISSUE	M.V. J.J. M.L. M.K.	A1 1:500 A3 1:1000				PLAN TITLE SITE REGRADE PLAN SHEET 1			
DESIGN FILE S:\50031\50031(6)\Design\12\STAGE 6 ENG DESIGN\STAGE_6_ENG_DESIGN.project Plotted By: Michael Vella Plot Date: 20/01/21 11:03:34AM Cad File: S:\50031\50031(6N 7N)\DRAWINGS\ENGINEERING\CIVIL\CENG\50031(6N & 7N)-CENG-501.DWG			ALL DIMENSIONS ARE IN METRES. DO NOT SCALE		SURVEYED ADWJ DATUM A.H.D.		PROJECT No. 50031(6N & 7N) - DISCIPLINE CENG - NUMBER 501 - REV. A		



LEGEND

- SITE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- FUTURE LOT BOUNDARY
- MAJOR CONTOURS (NATURAL)
- MINOR CONTOURS (NATURAL)
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPOSED KERB
- EXISTING KERB
- PROPOSED STORMWATER
- PROPOSED SEWER

CONTOUR INTERVAL = 0.2m

LEGEND (+ FILL - CUT)

Lower_value	Upper_value	Colour
-9999	to -4 m	Dark Red
-4	to -3.5 m	Red
-3.5	to -3 m	Red
-3	to -2.5 m	Red
-2.5	to -2 m	Red
-2	to -1.75 m	Red
-1.75	to -1.5 m	Red
-1.5	to -1.25 m	Red
-1.25	to -1 m	Red
-1	to -0.75 m	Red
-0.75	to -0.5 m	Red
-0.5	to -0.25 m	Red
-0.25	to 0 m	Red
0	to 0.250 m	Light Green
0.250	to 0.5 m	Light Green
0.500	to 0.75 m	Light Green
0.75	to 1 m	Light Green
1	to 1.25 m	Light Green
1.25	to 1.5 m	Light Green
1.5	to 1.75 m	Light Green
1.75	to 2 m	Light Green
2	to 2.5 m	Light Green
2.5	to 3 m	Light Green
3	to 3.5 m	Light Green
3.5	to 4 m	Light Green
4	to 99999m	Light Green

SITE REGRADE PLAN
SCALE 1:250



NOT FOR CONSTRUCTION

<table border="1"> <tr><th>REV.</th><th>DATE</th><th>AMENDMENT</th></tr> <tr><td>A</td><td>20.01.2021</td><td>INITIAL ISSUE</td></tr> </table>		REV.	DATE	AMENDMENT	A	20.01.2021	INITIAL ISSUE	<table border="1"> <tr><th>DESIGN</th><th>DRAWN</th><th>CHECKED</th><th>APPROVED</th></tr> <tr><td>M.V.</td><td>J.J.</td><td>M.L.</td><td>M.K.</td></tr> </table>				DESIGN	DRAWN	CHECKED	APPROVED	M.V.	J.J.	M.L.	M.K.	<p>SCALES</p>		<p>Central Coast 5 Pioneer Avenue, P.O. Box 3717, Tuggerah N.S.W. 2259 Phone: (02) 4305 4300 Fax: (02) 4305 4399 email: coast@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398</p>		<p>CLIENT</p>		<p>PROPERTY DESCRIPTION</p> <p>"DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600 IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN D.P.1090329 & LOT 728 IN D.P.1240614 RAYMOND TERRACE ROAD, CHISHOLM</p>		<p>PROJECT</p> <p>PROPOSED SUBDIVISION</p>	
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<p>DESIGN FILE S:\50031\50031(6)\Design\12\STAGE 6 ENG DESIGN\STAGE_6_ENG_DESIGN.project</p>										<p>PLAN TITLE</p> <p>SITE REGRADE PLAN SHEET 2</p>																			
<p>Plotted By: Michael Vella Plot Date: 20/01/21 11:03:38AM Cad File: S:\50031\50031(6N & 7N)\DRAWINGS\ENGINEERING\CIVIL\CENG\50031(6N & 7N)-CENG-502.DWG</p>		<p>ALL DIMENSIONS ARE IN METRES. DO NOT SCALE</p>		<p>SURVEYED</p> <p>ADWJ</p>		<p>DATUM</p> <p>A.H.D.</p>		<p>PROJECT No.</p> <p>50031(6N & 7N) - CENG - 502</p>		<p>DISCIPLINE</p> <p>CENG</p>		<p>NUMBER</p> <p>502</p>		<p>REV.</p> <p>A</p>															



EROSION & SEDIMENT CONSTRUCTION NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSISTENT WITH THE APPROVED MASTERPLAN DOCUMENTS AND THE "MANAGING URBAN STORMWATER" - 3RD EDITION (1998) PREPARED BY THE NSW DEPARTMENT OF HOUSING.
2. DISTURBED AREAS TO BE KEPT TO A MINIMUM. NO MORE THAN 2.5HA OF THE SITE SHALL BE EXPOSED TO EROSION AT ANY ONE TIME.
3. CONTROL CLEAN WATER FROM ABOVE THE SITE, THROUGH THE SITE.
4. KEEP CLEAN WATER SEPARATE FROM DIRTY WATER.
5. CONSERVE ALL TOPSOIL, STOCKPILE AND PROTECT FOR REUSE ON SITE.
6. PROTECT ALL DISTURBED AREAS FROM EROSION.
7. MINIMISE SEDIMENTATION.
8. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL COMPLETE REHABILITATION IS ACHIEVED.
9. CONSTRUCT STABILISED EARTH BERMS TO DIRECT CLEAN RUNOFF FROM ENTERING THE DISTURBED SITE.
10. CONSTRUCT STABILISED DIVERSION BANKS TO COLLECT RUNOFF FROM DISTURBED AREAS AND DIRECT IT TO A SEDIMENT CONTROL PIT.
11. PLACE SEDIMENT INLET TRAPS AROUND ALL PITS WITHIN AND DOWNSTREAM OF THE DEVELOPMENT.
12. PLACE GRAVEL BAG GROYNES IN GUTTERS AT 20 - 25m INTERVALS.
13. STOCKPILES OF MATERIAL TO BE PLACED AWAY FROM DRAINAGE FLOW PATHS AND HEAVILY TRAFFICABLE AREAS AND TO BE SURROUNDED BY SILT FENCING AT ALL TIMES.
14. CONSTRUCT AN ALL WEATHER CONSTRUCTION ACCESS TO THE SITE.
15. ALL DISTURBED AREAS ARE TO BE REVEGETATED OR OTHERWISE PROTECTED AS SOON AS PRACTICAL.
16. ERECT AND MAINTAIN SILT FENCES AT THE DOWNSLOPE SIDE OF DISTURBED AREA DURING CONSTRUCTION.
17. AREAS OUTSIDE THE BOUNDARIES OF THE PROPOSED DEVELOPMENT WILL BE FENCED WITH NO GO FENCING TO KEEP THE AREAS FREE FROM DISTURBANCE OF MACHINERY, PARKED VEHICLES AND WASTE MATERIAL.
18. TREES TO BE RETAINED WITHIN THE CONSTRUCTION AREAS ARE TO BE PROTECTED BY TREE PROTECTION FENCING IN ACCORDANCE WITH THE APPROVED CMP.
19. ESTABLISH A RESTRICTION BOUNDARY AROUND PROTECTED PLANT WITH PARAWEB FENCING. TEMPORARILY RELOCATE FENCE TO ALLOW CONSTRUCTION OF REQUIRED WORKS AND RE-ESTABLISH PROTECTION ZONE AFTER WORKS COMPLETES.
20. ACCESS IS TO BE MAINTAINED TO EXISTING PROPERTIES ADJACENT TO THE WORK SITE AT ALL TIMES.

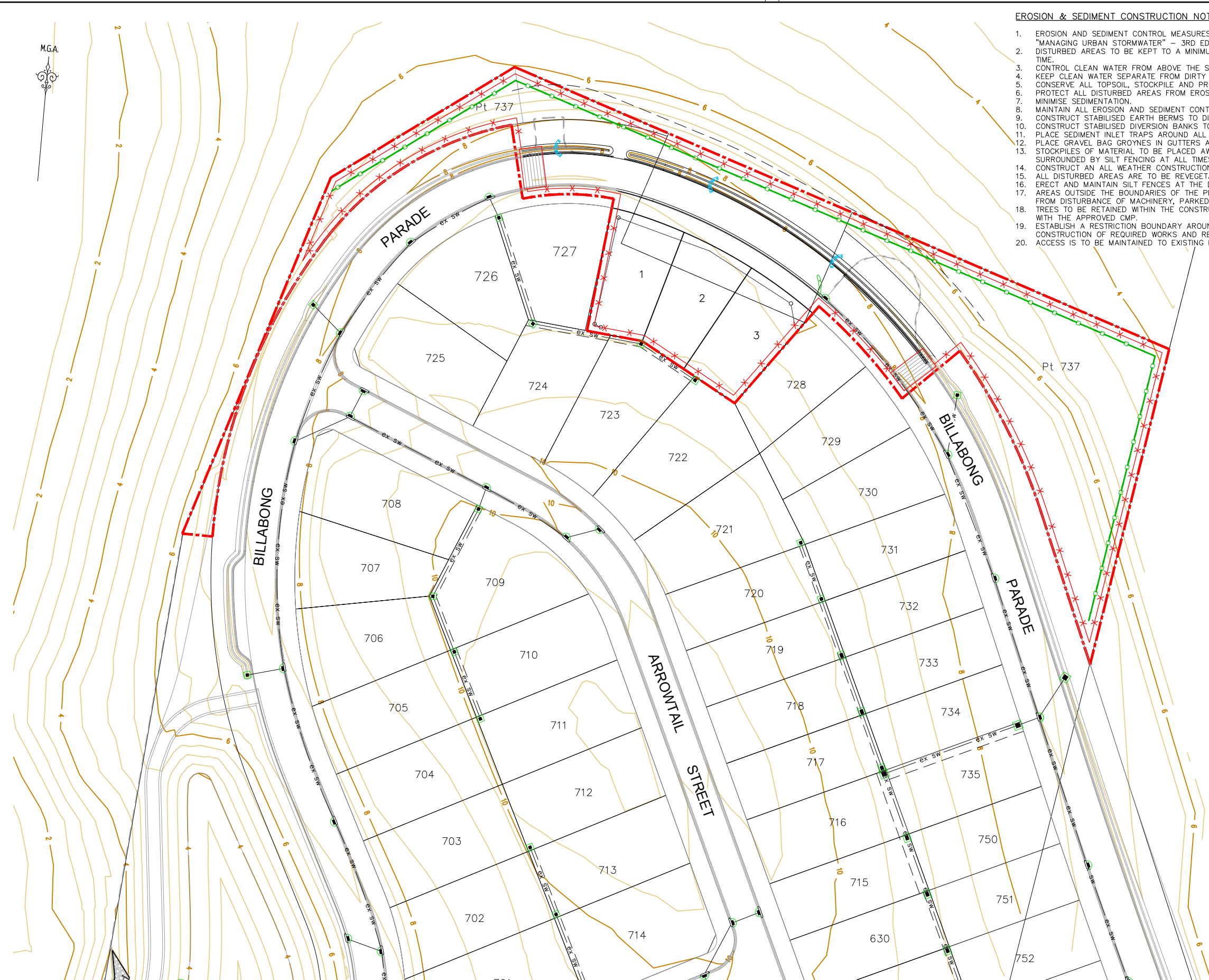
LEGEND

- SITE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- FUTURE LOT BOUNDARY
- MAJOR CONTOURS (NATURAL)
- MINOR CONTOURS (NATURAL)
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPOSED KERB
- EXISTING KERB
- EXTENTS OF BATTER
- PROPOSED STORMWATER
- EXISTING STORMWATER
- STORMWATER TO BE REMOVED
- PROPOSED SW PIT
- PROPOSED GPT
- PROPOSED LINTEL
- PROPOSED HEADWALL
- SEDIMENT/SILT FENCING
- NO-GO FENCING
- PROPOSED SW PIT
- PROPOSED LINTEL
- STRAWBALES
- GRAVEL/SAND BAGS
- SITE ACCESS/SHAKER RAMP

CONTOUR INTERVAL = 0.5m

GENERAL NOTES: -

1. FOR TYPICAL ROAD CROSS SECTIONS, KERB PROFILES REFER SHEET 221.
2. SETOUT INFORMATION IS TO BE VERIFIED BY THE CONTRACTOR AGAINST THE PLAN VIEW, LONGITUDINAL SECTIONS AND ELECTRONIC 12D DATA BEFORE BEING USED. IF THERE IS A DISCREPANCY THE SUPERINTENDENT IS TO BE NOTIFIED AND DIRECTION WITH BE PROVIDED IN WRITING BEFORE PROCEEDING.

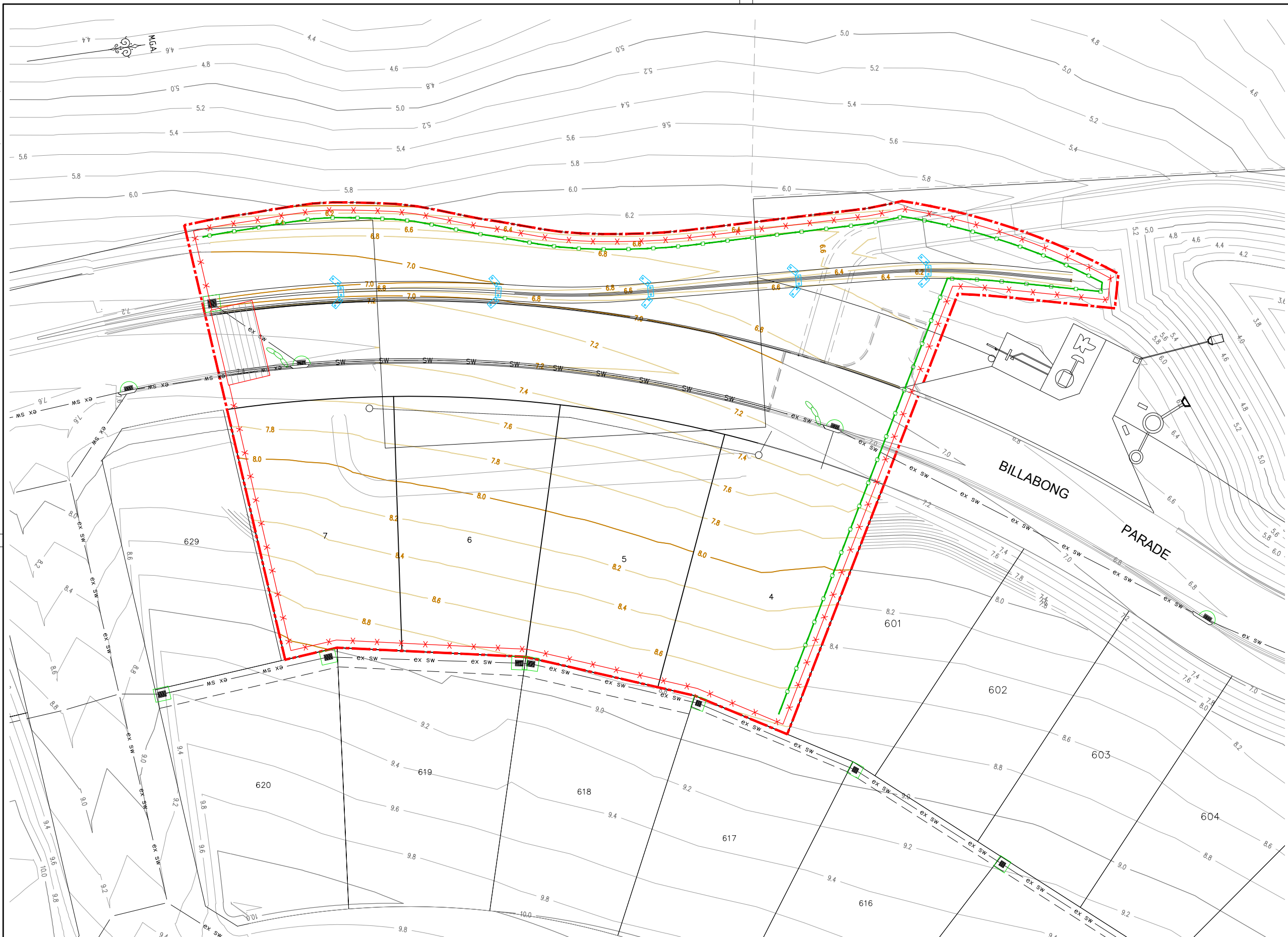


EROSION & SEDIMENT CONTROL PLAN
SCALE 1:500



NOT FOR CONSTRUCTION

<table border="1"> <tr> <th>REV.</th> <th>DATE</th> <th>AMENDMENT</th> </tr> <tr> <td>A</td> <td>20.01.2021</td> <td>INITIAL ISSUE</td> </tr> </table>		REV.	DATE	AMENDMENT	A	20.01.2021	INITIAL ISSUE	<table border="1"> <tr> <th>DESIGN</th> <th>DRAWN</th> <th>CHECKED</th> <th>APPROVED</th> </tr> <tr> <td>M.V.</td> <td>J.J.</td> <td>M.L.</td> <td>M.K.</td> </tr> </table>				DESIGN	DRAWN	CHECKED	APPROVED	M.V.	J.J.	M.L.	M.K.	<table border="1"> <tr> <th>SCALES</th> </tr> <tr> <td>A1 1:500</td> </tr> <tr> <td>A3 1:1000</td> </tr> </table>		SCALES	A1 1:500	A3 1:1000			<p>Central Coast 5 Pioneer Avenue, P.O. Box 3717, Tuggerah N.S.W. 2259 Phone: (02) 4305 4300 Fax: (02) 4305 4399 email: coast@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398</p>		<p>CLIENT</p>		<p>PROPERTY DESCRIPTION "DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600 IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN D.P.1090329 & LOT 728 IN D.P.1240614 RAYMOND TERRACE ROAD, CHISHOLM</p>		<p>PROJECT PROPOSED SUBDIVISION</p>	
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<p>DESIGN FILE S:\50031\50031(6)\Design\12D\STAGE 6 ENG DESIGN\STAGE_6_ENG_DESIGN.project</p>		<p>ALL DIMENSIONS ARE IN METRES. DO NOT SCALE</p>		<p>PLANNED BY: Michael Vella Plot Date: 20/01/21 11:03:42AM Cad File: S:\50031\50031(6N & 7N)\DRAWINGS\ENGINEERING\CIVIL\CENG\50031(6N & 7N)-CENG-601.DWG</p>		<p>SURVEYED ADWJ DATUM A.H.D.</p>		<p>PLAN TITLE EROSION & SEDIMENT CONTROL PLAN SHEET 1</p>		<table border="1"> <tr> <th>PROJECT No.</th> <th>DISCIPLINE</th> <th>NUMBER</th> <th>REV.</th> </tr> <tr> <td>50031(6N & 7N)</td> <td>CENG</td> <td>601</td> <td>A</td> </tr> </table>		PROJECT No.	DISCIPLINE	NUMBER	REV.	50031(6N & 7N)	CENG	601	A															
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50031(6N & 7N)	CENG	601	A																															



LEGEND

- - - SITE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
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- MINOR CONTOURS (NATURAL)
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- PROPOSED GPT
- ▤ PROPOSED LINTEL
- ▥ PROPOSED HEADWALL
- SEDIMENT/SILT FENCING
- x NO-GO FENCING
- PROPOSED SW PIT
- PROPOSED LINTEL
- STRAWBALES
- GRAVEL/SAND BAGS
- SITE ACCESS/SHAKER RAMP

CONTOUR INTERVAL = 0.2m

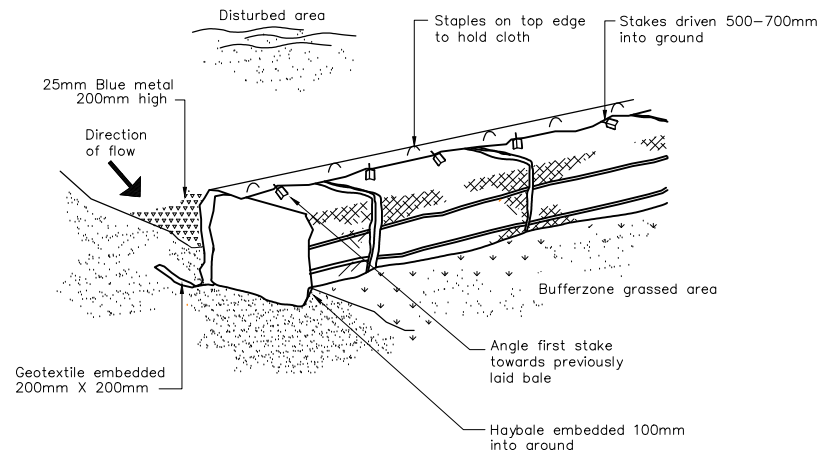
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EROSION & SEDIMENT CONTROL PLAN
SCALE 1:250

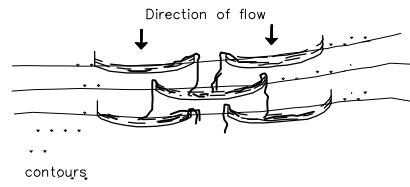


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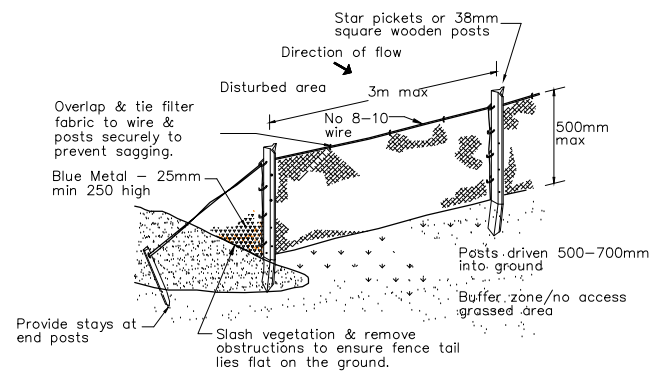
REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES			Central Coast 5 Pioneer Avenue, P.O. Box 3717, Tuggerah N.S.W. 2259 Phone: (02) 4305 4300 Fax: (02) 4305 4399 email: coast@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	CLIENT 	PROPERTY DESCRIPTION "DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600 IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN D.P.1090329 & LOT 728 IN D.P.1240614 RAYMOND TERRACE ROAD, CHISHOLM		PROJECT PROPOSED SUBDIVISION	
A	20.01.2021	INITIAL ISSUE	M.V.	J.J.	M.L.	M.K.						PLAN TITLE EROSION & SEDIMENT CONTROL PLAN SHEET 2		PROJECT No. 50031(6N & 7N) - CENG - 602	
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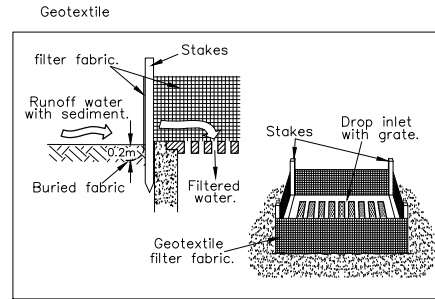
HAYBALE & GEOTEXTILE FENCE



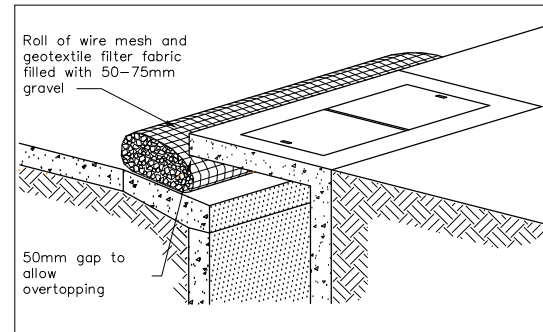
SILT FENCE CONFIGURATION



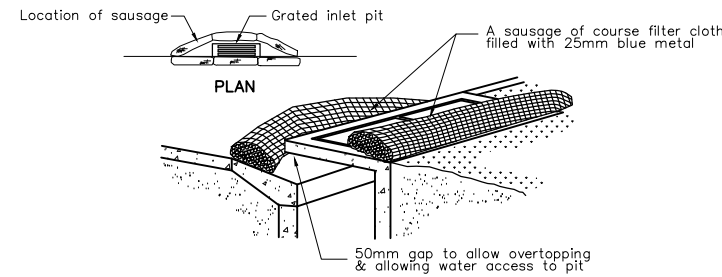
SILT FENCE



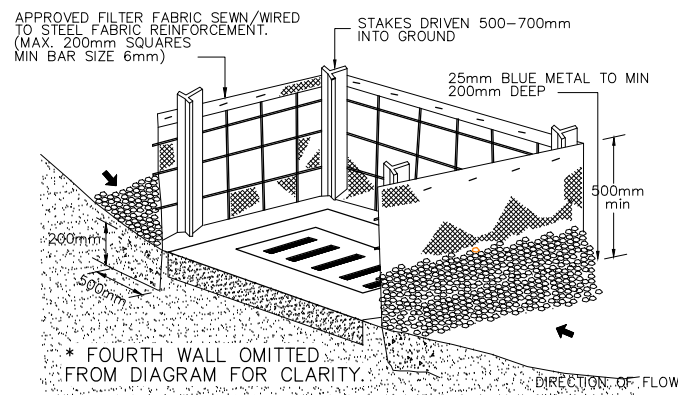
GEOTEXTILE FILTER FABRIC DROP INLET SEDIMENT TRAP



PORTABLE GRAVEL KERB INLET SEDIMENT TRAP



KERB INLET CONTROL - LOW POINT



STORM INLET SEDIMENT TRAP



NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DESIGN	DRAWN	CHECKED	APPROVED	SCALES
A	20.01.2021	INITIAL ISSUE	M.V.	J.J.	M.L.	M.K.	NOT TO SCALE

adw Johnson

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Fax: (02) 4305 4399
email: coast@adwjohnson.com.au
www.adwjohnson.com.au
ABN 62 129 445 398

CLIENT

AVID
Property Group

PROPERTY DESCRIPTION
"DRAFT LOT 5" OF LOT 2 IN D.P.1090329 & LOT 600
IN D.P.1240613 & "DRAFT LOT 6" OF LOT 3 IN
D.P.1090329 & LOT 728 IN D.P.1240614
RAYMOND TERRACE ROAD, CHISHOLM

SURVEYED ADWJ DATUM A.H.D.

PROJECT	PLAN TITLE	PROJECT No.	DISCIPLINE	NUMBER	REV.
PROPOSED SUBDIVISION	EROSION & SEDIMENT DETAILS CONTROL DETAILS & NOTES	50031(6N & 7N) -	CENG	611	A