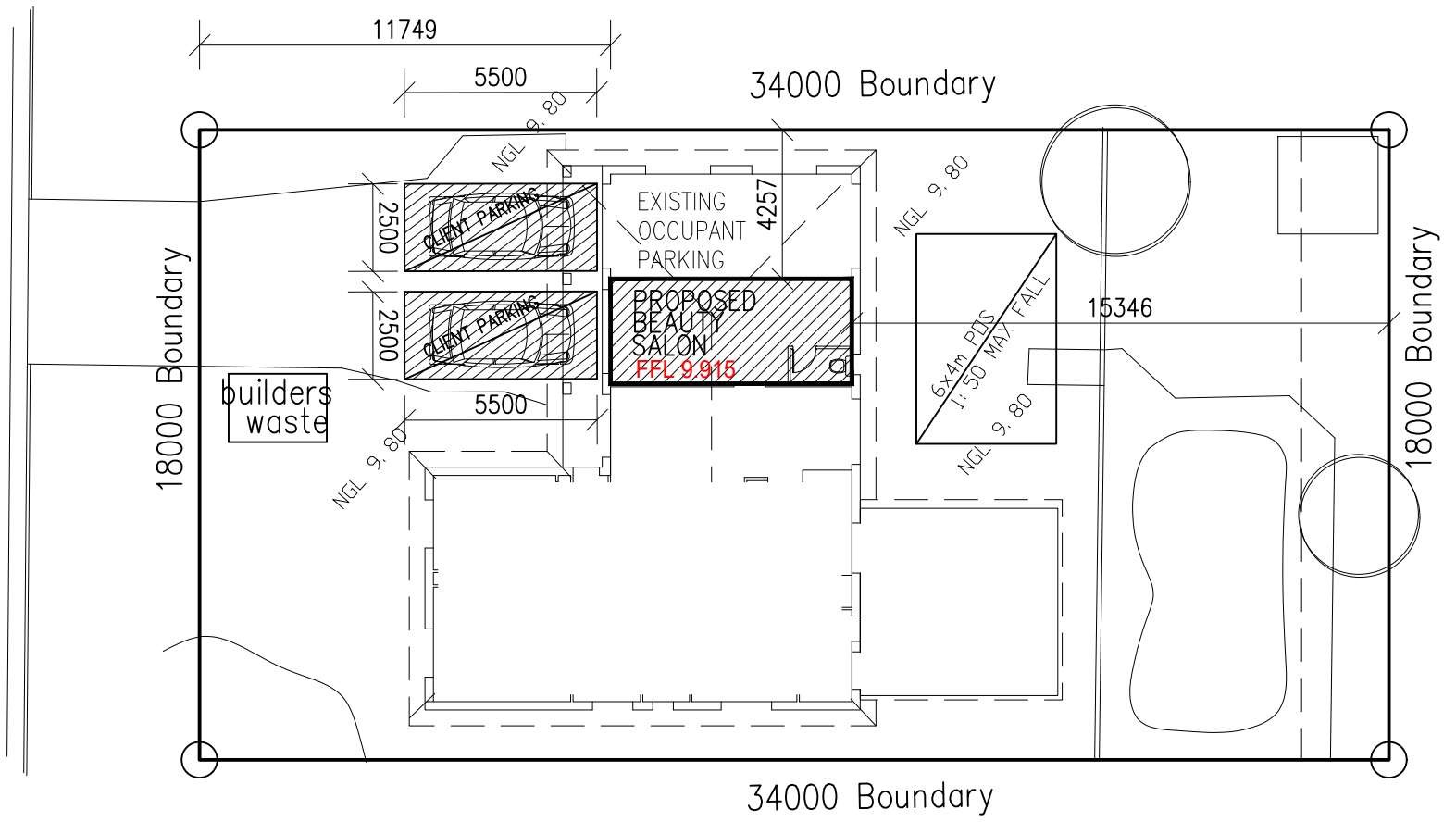
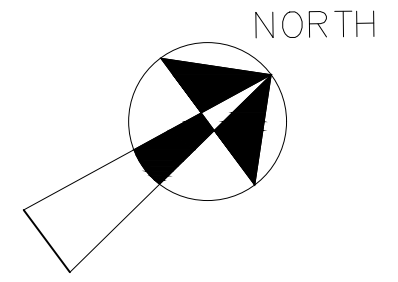
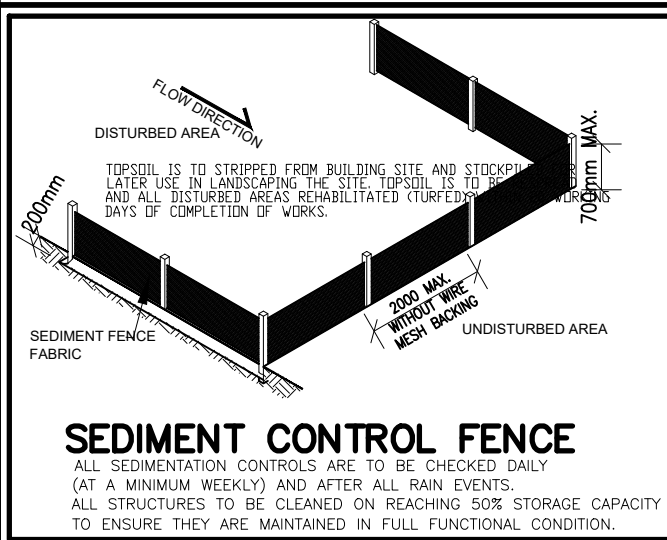
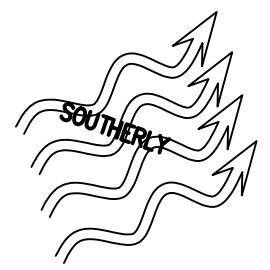


BLAKEWELL ROAD

ALL NEW DOWNPIPES TO BE CONNECTED TO EXISTING STORMWATER LINES



SITE PLAN



NOTES

Note:
DRAWINGS FOR CONSTRUCTION PURPOSES WHEN:

- STRUCTURAL DETAILS SIGNED BY QUALIFIED STRUCTURAL ENGINEER
- AND ALL ELEMENTS CHECKED TO COMPLY WITH THE BCA AND RELEVANT AS BY BUILDER OR ACCREDITED CERTIFIER ALL NEW WORKS TO ADHERE TO THE BCA AND CURRENT AUSTRALIAN STANDARDS
- NOTE- DIMENSIONS ARE TAKEN FROM EXISTING DWELLING, VERIFY DIMENSIONS ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION
- ENSURE STAIR DETAILS CONFIRMED PRIOR TO MANUFACTURE
- DO NOT SCALE DRAWINGS

SITE NOTES	
EXISTING DWELLING	149.8m ²
PROPOSED SALON	20.1sqm
CONNECTED TO SEWER MAIN	Y
SITE AREA	612sqm
HERITAGE AREA	N
MAX FILL	0mm
RETAINING WALL REQUIRED	N
RETAINING WALL HEIGHT	NA
TREES TO BE REMOVED	NA

NO STORMWATER RUNOFF WILL AFFECT PROPOSED DEVELOPMENT

proprietor
RESOLVE
LOT 881, DP719518
24 BLAKEWELL RD
THORNTON

project
proposed
FITOUT PLAN

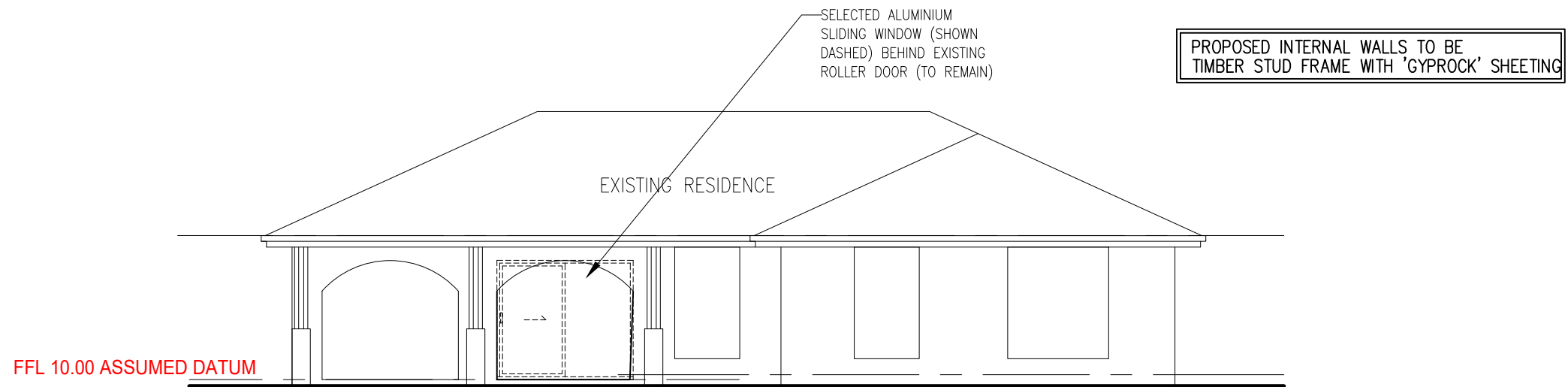
drawing
SITE PLAN

ECODIMENSIONS
JUSTIN CROFT
0417436249
© copyright
all dimensions to be clarified on site

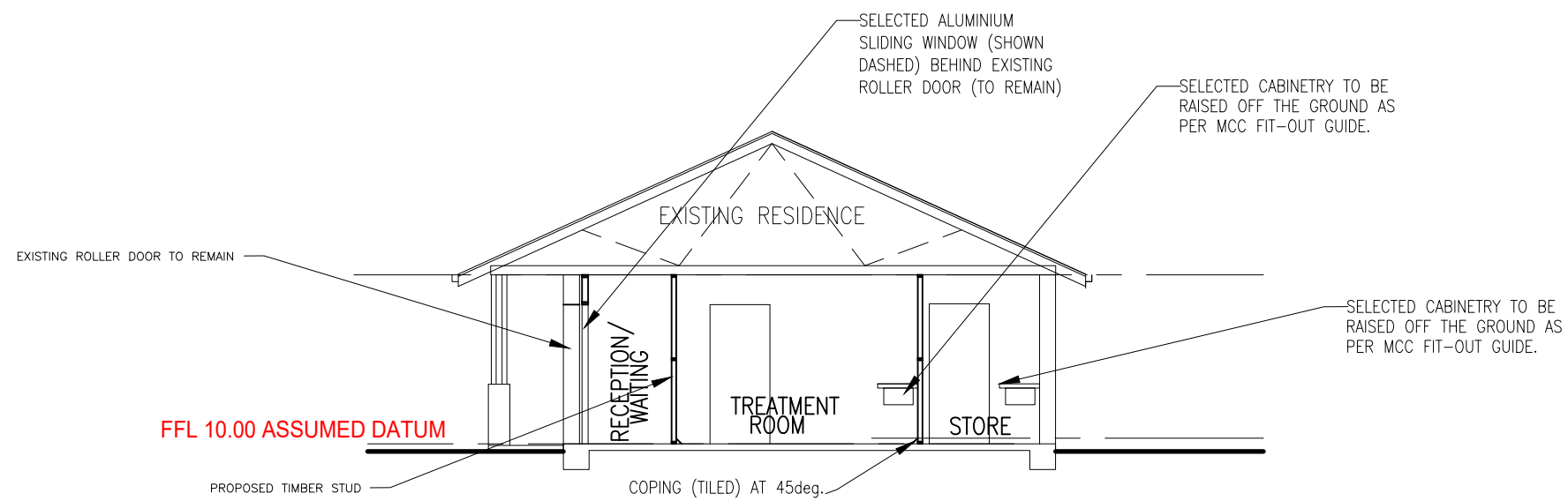
AMENDMENT
DATE
18.11.21
14.12.21
ADJUSTMENT
AMEND
AMEND

scale
1:200, 1:100
date
NOV'21
drawing no.
10F4
project no.
2122216
drawn by
jdc

NO STRUCTURAL ALTERATIONS
REQUIRED FOR NEW WORKS



SOUTH EAST ELEVATION



SECTION A-A

proprietor RESOLVE LOT 881, DP719518 24 BLAKEWELL RD THORNTON	project proposed FITOUT PLAN	drawing ELEVATION	ECODIMENSIONS		AMENDMENT DATE 14.12.21	ADJUSTMENT AMEND	scale 1:200, 1:100	date NOV'21	drawn by jdc
			<small>JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site</small>				drawing no. 3OF4	project no. 2122216	

3.0 The Proposal

This application seeks the use of one half of the existing attached garage for a Home Business, being the provision of beauty services to clients.

The use will involve the following:

- Utilisation of 20m² of floor area
- Minor internal alterations to facilitate the proposal including internal partition walls
- Change garage door to sliding door and window
- Use will not require employment of any persons in addition to occupant of the Dwelling
- Services performed onsite will predominately facial waxing and eye brow treatments

The area to be used for the premises is illustrated by **Figure 3**, with a floor plan provided at **Figure 4**.

Figure 3 Area of Proposed Works



Operational Details

Number of employees – 1, occupant of the dwelling only

Number of Clients – The use will be open by appointment only and only one client will be onsite at any one time

Opening Hours – Monday to Friday 9am to 5pm, Saturday 9am to 12pm, Sunday Closed

Waste – all waste will be disposed of via standard Council collection. No special waste generated by the use

Signage – any signage to be provided to the home business will be undertaken in accordance with exempt development provisions

Development consent is required for this use given the services are deemed to be skin penetrating. Exempt development provisions are therefore not applicable.