

MAITLAND COUNCIL
based on
maitland dcp 2011

site area:	701.7 SQM
proposed roof coverage	
roof coverage area:	356.91 sqm
site coverage	
HOUSE FOOTPRINT:	329.63 sqm
ESTIMATED DRIVEWAY & PATHS:	44.73 sqm
TOTAL SITE COVERAGE:	374.36 sqm
	53.3 %
MAX. ALLOWABLE BY COUNCIL:	60 %

landscaped area	
total landscaped area:	290.82 SQM
EXCL. ALL HARD SURFACES	41.4%
min. required by Council:	40%

PRIVATE OPEN SPACE	
PRIVATE OPEN SPACE:	213.24 SQM
min. required by council:	10 sqm
MINIMUM DIMENSION OF 3M	

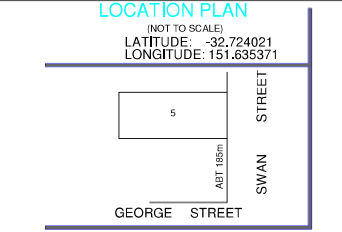
building height restriction	
MAXIMUM 8.0M RIDGE HEIGHT (F.F.L. MUST BE ACCURATE TO COMPLY)	
MAXIMUM 900MM CUT MAXIMUM 600MM FILL adjacent to ANY BOUNDARY	

FLOOD PRONE LAND

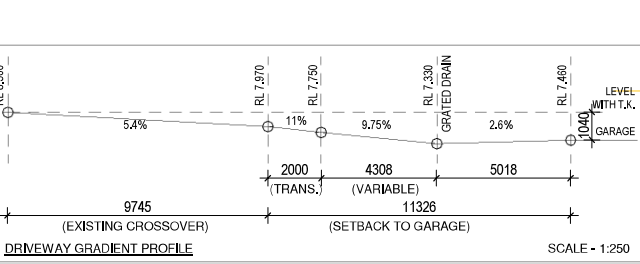
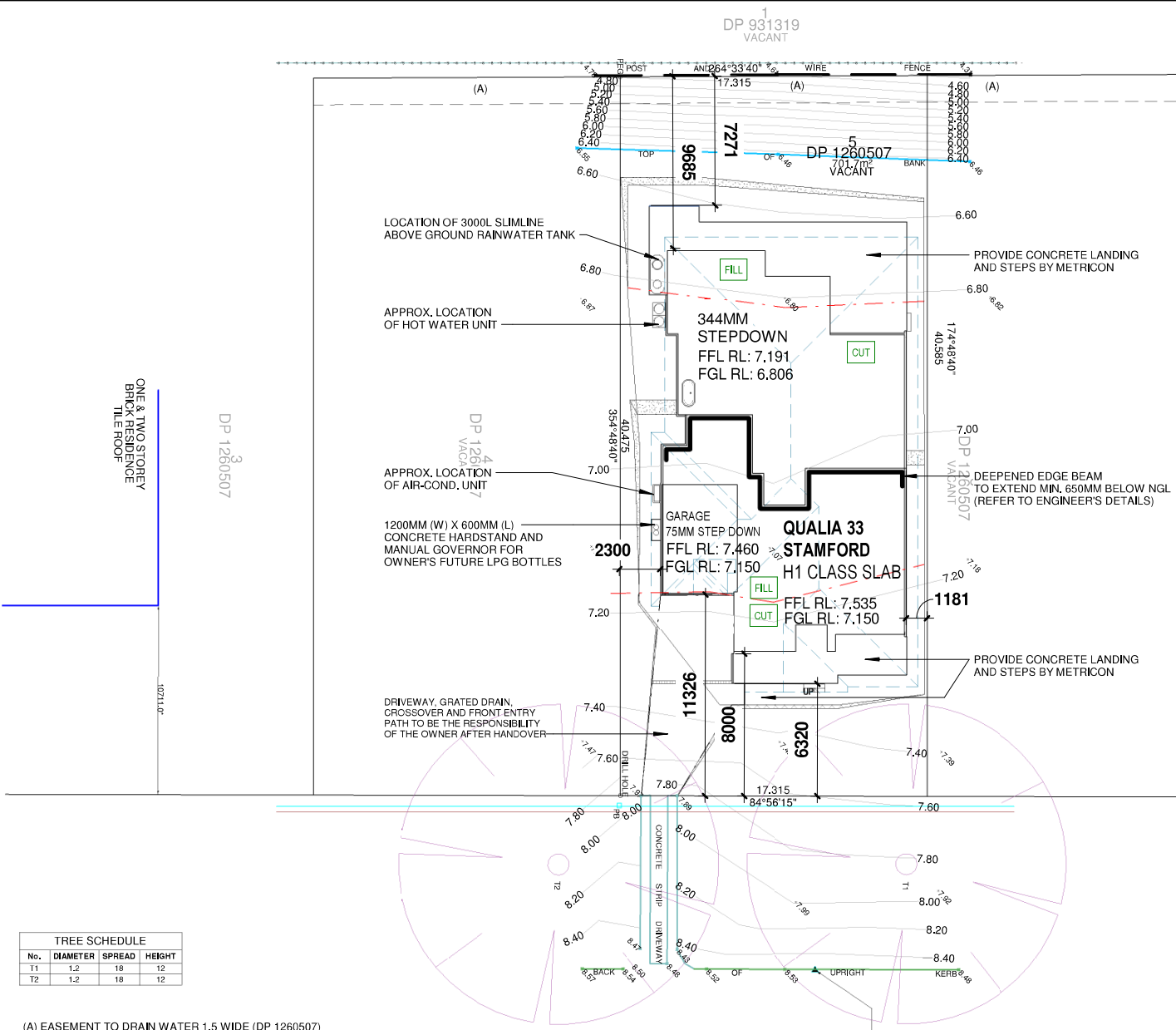
THIS ALLOTMENT IS LOCATED IN A FLOOD PRONE AREA AND HAS A MIN. REQUIRED F.F.L. RELATED TO A.H.D. LEVELS:-
HOUSE F.F.L. 6.51 A.H.D.
GARAGE F.F.L. 6.51 A.H.D.

SURVEYOR'S NOTES

- THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.
- AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.
- SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVETED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



"ALL BOUNDARIES NOT FENCED UNLESS NOTED OTHERWISE"

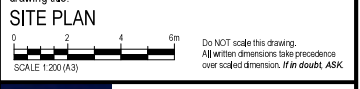


TREE SCHEDULE				
No.	DIAMETER	SPREAD	HEIGHT	
T1	1.2	18	18	12
T2	1.2	18	18	12

(A) EASEMENT TO DRAIN WATER 1.5 WIDE (DP 1260507)

EXCAVATION NOTES	
50MM (+/-) TOLERANCE TO NOMINATED R.L.'S	
UPPER LEVEL	EXCAVATE APPROX. 200MM, FILL APPROX. 250MM ON RL 7.150
LOWER LEVEL	EXCAVATE APPROX. 200MM, FILL APPROX. 250MM ON RL 6.806
EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT. IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY	
EXCAVATION	
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD	
PRELIMINARY SITE PLAN NOTES	
SITING IS SUBJECT TO THE CONFIRMATION OF COUNCIL'S BUILDING REGULATIONS AND REQUIREMENTS	
TEMPORARY SITE FENCING	
METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES	
ALL WEATHER ACCESS	
METRICON TO SUPPLY UP TO 5m SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION	
STORMWATER DRAINAGE TO	
EXISTING EASEMENT VIA RWT	
SURVEY LEGEND	
<ul style="list-style-type: none"> □ GULLY PIT ⊕ HYDRANT ⊕ SURFACE INLET PIT ⊕ SEWER INSPECTION COVER ⊕ SEWER MANHOLE ⊕ WATER METER ⊕ ELECTRICITY BOX ⊕ STORMWATER MANHOLE ⊕ TELSTRA PIT 	<ul style="list-style-type: none"> — S SEWER LINE — V VEHICLE CROSSING — SV STOP VALVE — DEB DEEP EDGE BEAM ⊕ GM GAS METER ⊕ LP LIGHT POLE ⊕ INVERT ⊕ TK TOP OF KERB ⊕ KO KERB OUTLET

	approval type: Council
	developer approval: N/A
	zone: R1
	WIND SPEED N2 SLAB CLASS H1



design: QUALIA 33	© COPYRIGHT 2019 metricon owns copyright in this drawing. Unauthorised use, reproduction or adaptation is forbidden and will be prosecuted.
facade: F5, STAMFORD	
Built: E Level 4, 33 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7610, Northwest Business Park NSW 2153 Contractor Licence N°: 174 656 - A.C.N. 005 108 752 Tel: (02)8887-9000 - Fax: (02)8079-5901 www.metricon.com.au	

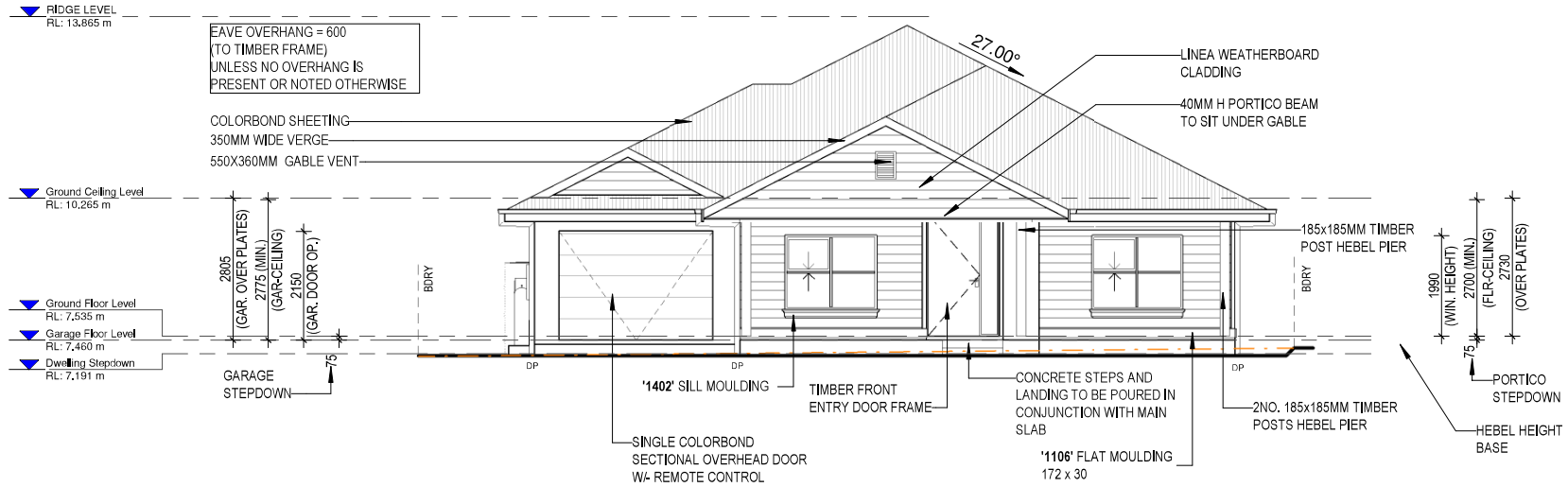
owner:
MR & MRS HILL

LOT 5, NO.26 SWAN STREET,
MORPETH

VARIATION 01

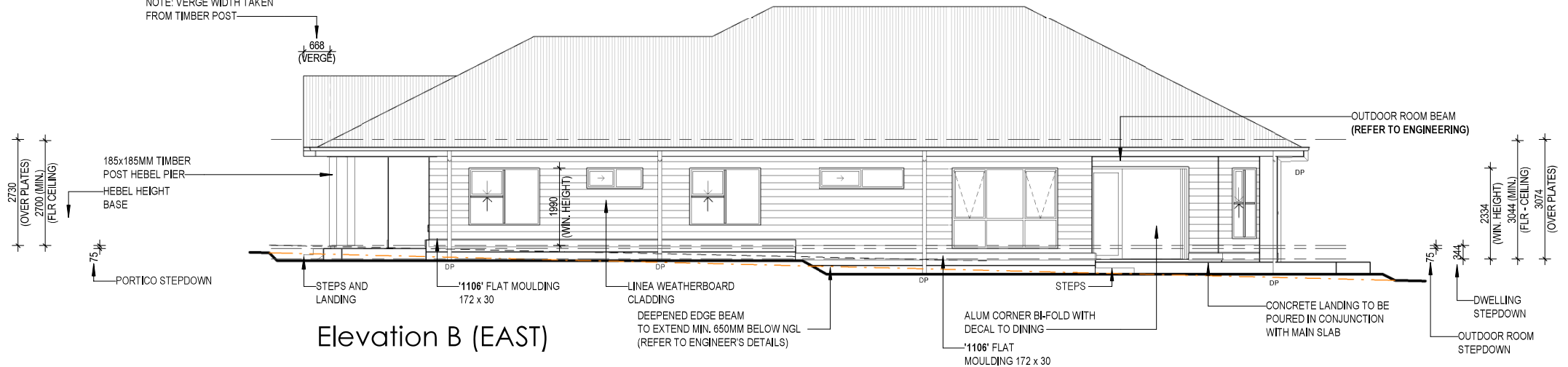
job no: 716639	DP no: 1260507	date: 08/01/2021
council/LGA: MAITLAND CITY	sheet: 1 of 10	revision:
drawn: PG	check: OMH	master version: 29/05/2020

SCALE 1:250



Elevation A (SOUTH)

NOTE: VERGE WIDTH TAKEN FROM TIMBER POST

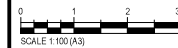


Elevation B (EAST)

SYMBOL LEGEND

- AJ ARTICULATION JOINT
 WHERE ARTICULATION JOINTS ARE NOT
 SHOWN REFER TO STRUCTURAL
 ENGINEERS DETAILS
- DENOTES WINDOWS/DOORS
 WITH 6mm SP10 CLEAR
 SMARTGLASS
- DENOTES WINDOWS/DOORS
 WITH 4mm OBSCURE DECOR
 SATIN GLAZING
- DENOTES WINDOWS/DOORS
 WITH TRANSLUCENT
 GLAZING

drawing title:
ELEVATIONS



Do NOT scale this drawing.
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over scaled dimension. If in doubt, ASK

design:
QUALIA 33

facade:
F5. STAMFORD

owner:
MR & MRS HILL
LOT 5, NO.26 SWAN STREET,
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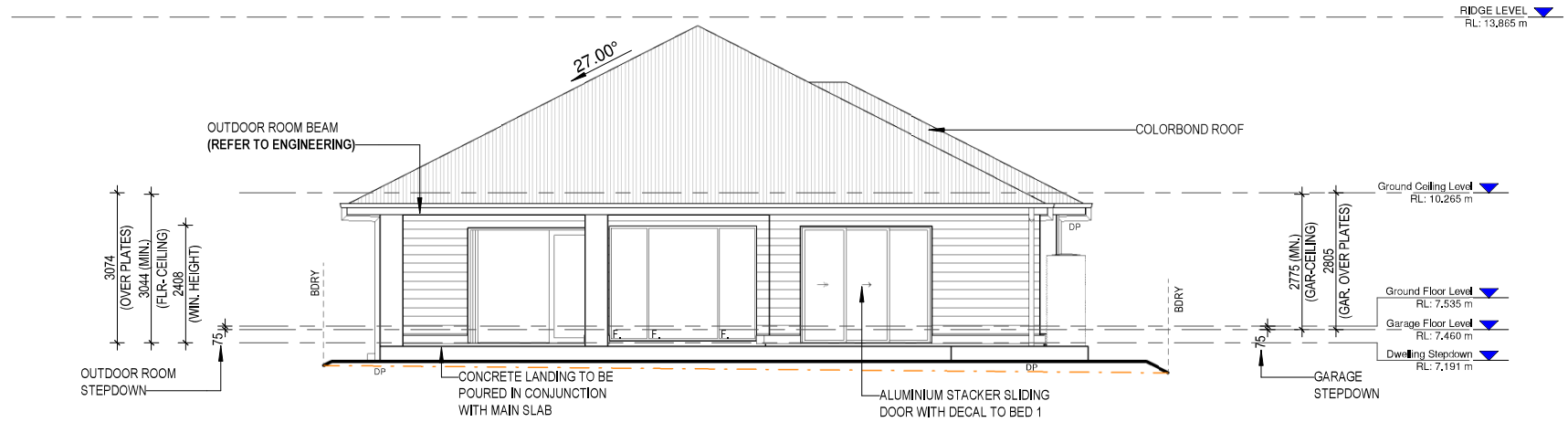
VARIATION 01

job no: 716639	DP no: 1260507	date: 08/01/2021
council/LGA: MAITLAND CITY	sheet: 3 of 10	revision:
drawn: PG	check: OMH	master version: 29/05/2020

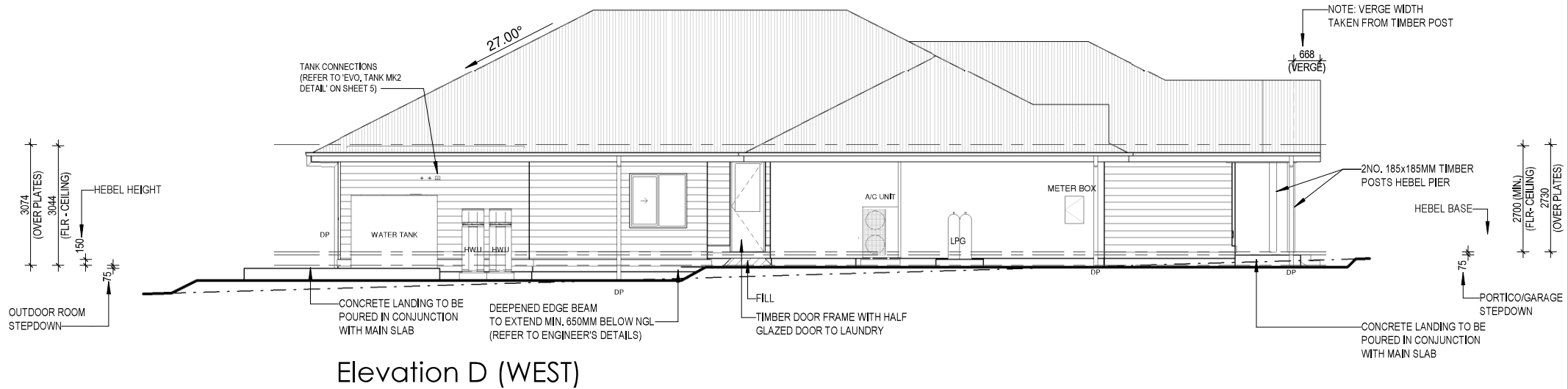


Built: E, Level 4, 32 Lexington Dr,
 Baulkham Hills NSW 2153
 P.O. Box 7510, Northwest Business Park, NSW 2153
 Contractor License 17, 174 666-A,C,N, 925 108 752
 Tel: (02)8887-5000 - Fax: (02)9079-5601
 www.metricon.com.au

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Elevation C (NORTH)

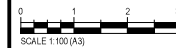


Elevation D (WEST)

SYMBOL LEGEND

- AJ ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEERS DETAILS
- DENOTES WINDOWS/DOORS WITH 6mm SP10 CLEAR SMARTGLASS
- DENOTES WINDOWS/DOORS WITH 4mm OBSCURE DECOR SATIN GLAZING
- DENOTES WINDOWS/DOORS WITH TRANSLUCENT GLAZING

drawing title:
ELEVATIONS



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VARIATION 01

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council/LGA: MAITLAND CITY	sheet: 4 of 10	revision:
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P.O. Box 7510, Northwest Business Park, NSW 2153
Contractor License L1: 174 686-A,C,N, Q95 108 752
Tel: (02)8887-5000 • Fax: (02)9079-5601
www.metricon.com.au

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