

NORTH POINT SURVEYS (NSW) PTY LTD
 ATF NORTH POINT SURVEYS TRUST ABN 52 041 968 075
 SURVEYING AND LAND DEVELOPMENT CONSULTANTS
 Level 1 | 19 Stockton Street | Nelson Bay NSW 2315
 PO Box 378 | Nelson Bay NSW 2315
 Phone: 02 4984 2606
 Email: admin@northpointsurveys.com.au

ALL AREAS SHOWN HEREON ARE FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT ONLY AND ARE APPROXIMATE.

OFFSETS & LINE BOUNDARIES ARE PROLONGATIONS OF WALLS OR STRUCTURES UNLESS SHOWN OTHERWISE.

THE STRATUM OF THE COURT YARD AREAS ARE LIMITED IN HEIGHT TO BETWEEN METRES BELOW THE UPPER SURFACE OF THE GROUND FLOOR (EXCEPT WHERE PAVED AND IS THEN LIMITED BY THE UPPER SURFACE OF THE PAVING) TO THE UNDER SURFACE OF THE CEILING OF ITS RESPECTIVE UNIT EXCEPT WHERE COVERED WITHIN THIS HEIGHT LIMIT.

ALL FIXED STRUCTURES INCLUDING SAILS, PAVING AND RAILINGS FORM PART OF THE COMMON PROPERTY.

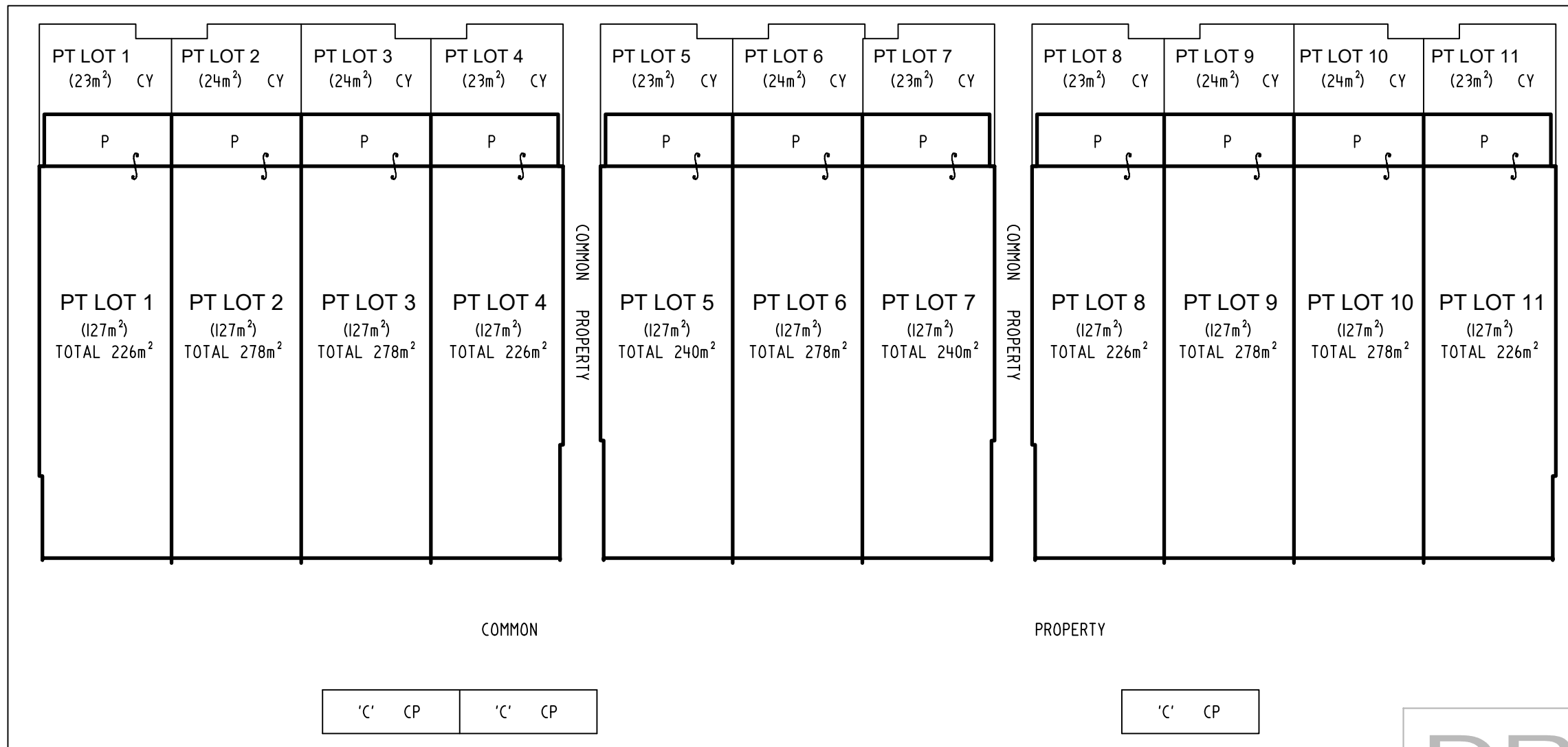
EAVES AND GUTTER OVERHANGING COMMON PROPERTY ARE PART OF THE LOT AND NOT COMMON PROPERTY.

FENCING, RETAINING WALLS, PERGOLAS, HARDSTANDS & ALL FIXED STRUCTURES ARE COMMON PROPERTY.

ANY SERVICE LINE WITHIN ONE LOT SERVICING ANOTHER LOT IS COMMON PROPERTY.

DRAINAGE LINES, PITS AND STRUCTURES ARE COMMON PROPERTY.

NOTE: ALL DISTANCES, AREAS AND EASEMENTS ARE SUBJECT TO FINAL SURVEY AND REGISTRATION OF A PLAN OF SUBDIVISION



GROUND FLOOR PLAN

DRAFT
 REVISION A 7/06/2021

SURVEYOR Name: ANDREW EDWARD DALY Date: . Reference: 36376	PLAN OF PROPOSED SUBDIVISION OF LOT 1 DP 521620, LOTS 1 & 3 DP 538510 & LOT 321 DP 1226898	LGA: MAITLAND Locality: MORPETH Reduction Ratio 1:250 Lengths are in metres	REGISTERED	REV. A PRELIMINARY ISSUE	DATE 7/6/21

SWAN

STREET

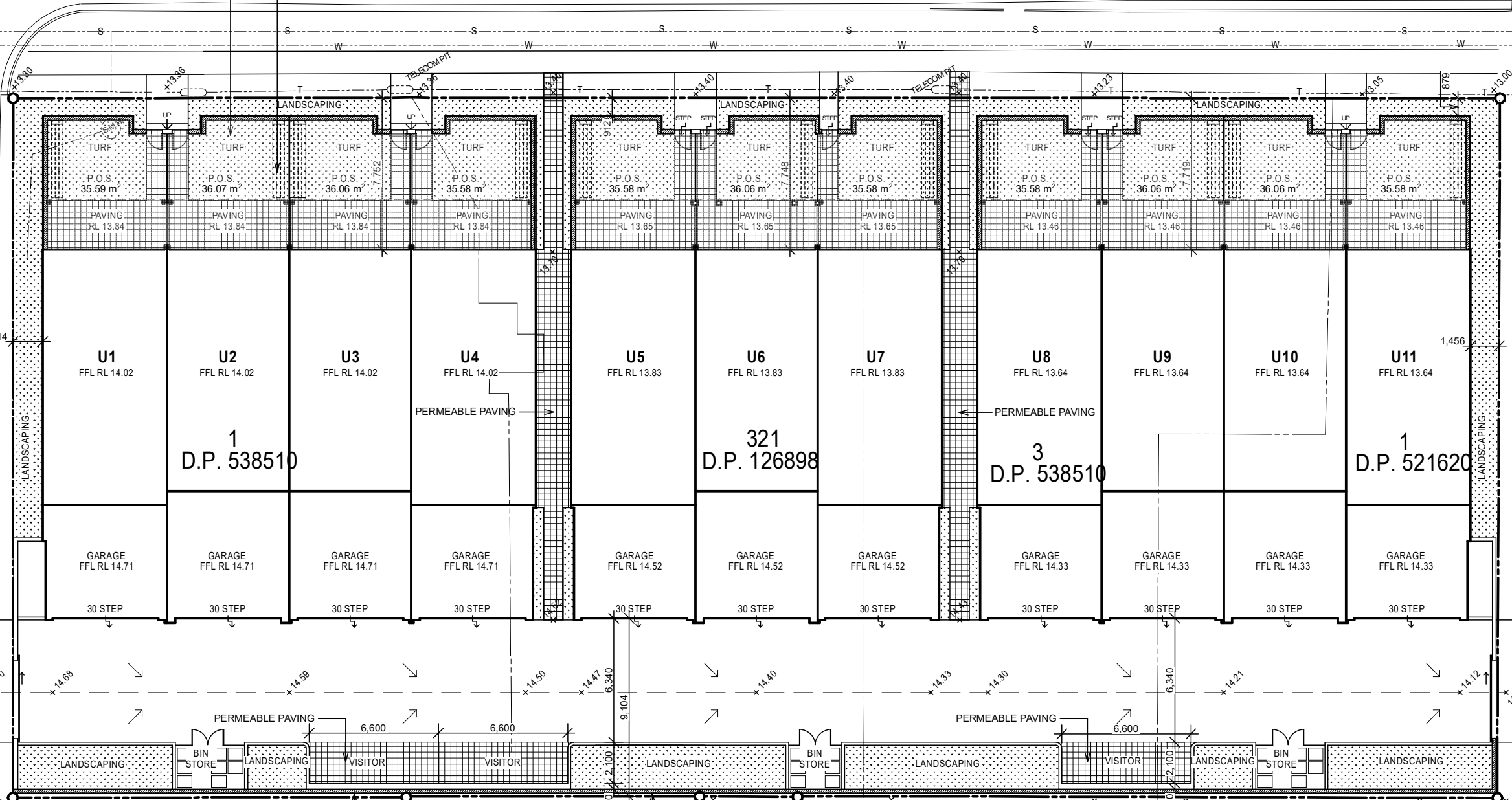
MARKET

STREET

WILLIAM

STREET

ALL DWELLINGS MIN. DIMENSION 5m x 5m POS
ALL DWELLINGS 15L/M CLOTHES LINE NOT INCLUDED IN P.O.S. 1.5m HIGH SO NOT VISIBLE FROM STREET

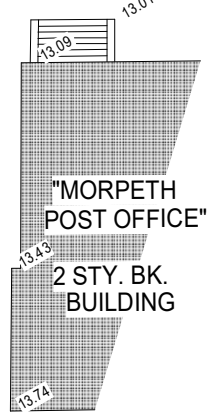


2
D.P. 158165

322
D.P. 126898

4
D.P. 158165

2
D.P. 521620



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B
A
ISSUE
25/06/21 - DA ISSUE
28/05/21 - HEIGHT REDUCED
DETAILS

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Nelson Bay NSW 2315

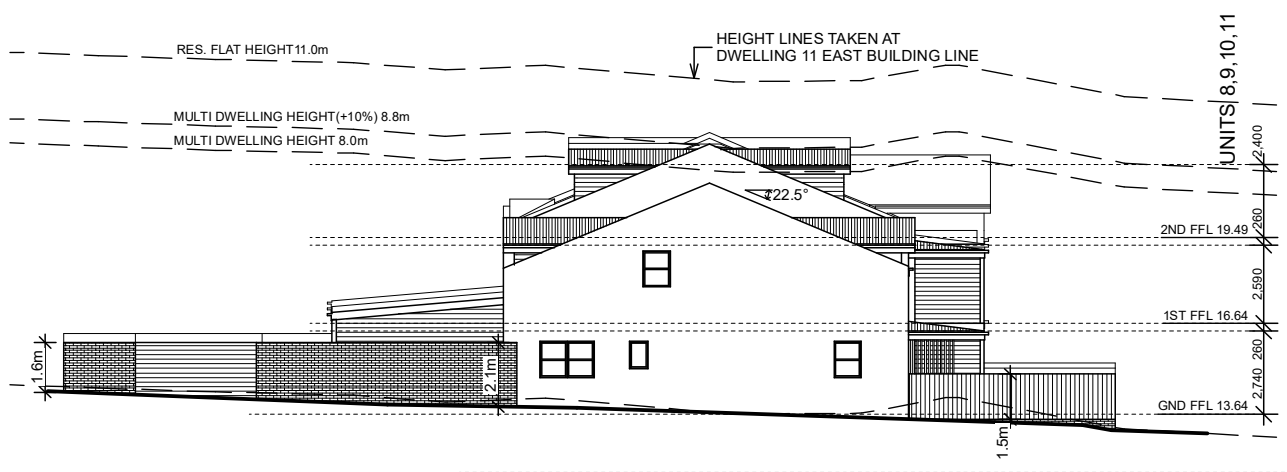
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PROJECT:	PROPOSED RESIDENCES AT 107-117 SWAN STREET MORPETH		
CLIENT:	UNICOMB		
TITLE:	SITE PLAN		
FILE:	2003016	DATE:	7/05/2021
SHEET:	2	OF	21
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NORTH ELEVATION
1:250



EAST ELEVATION
1:250



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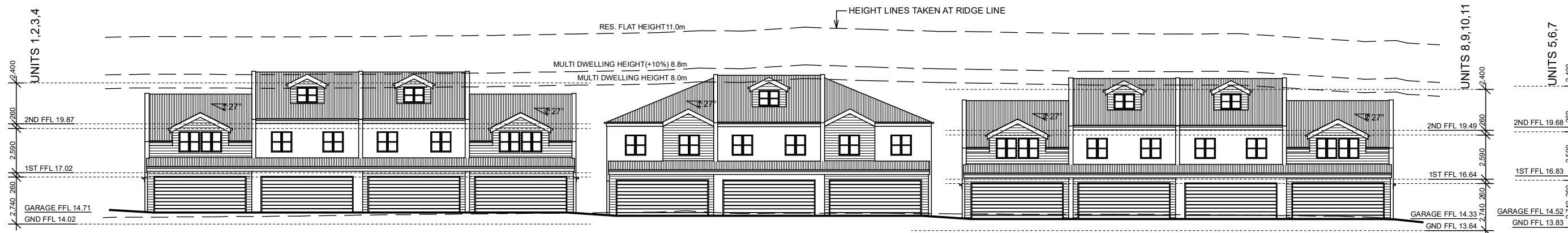


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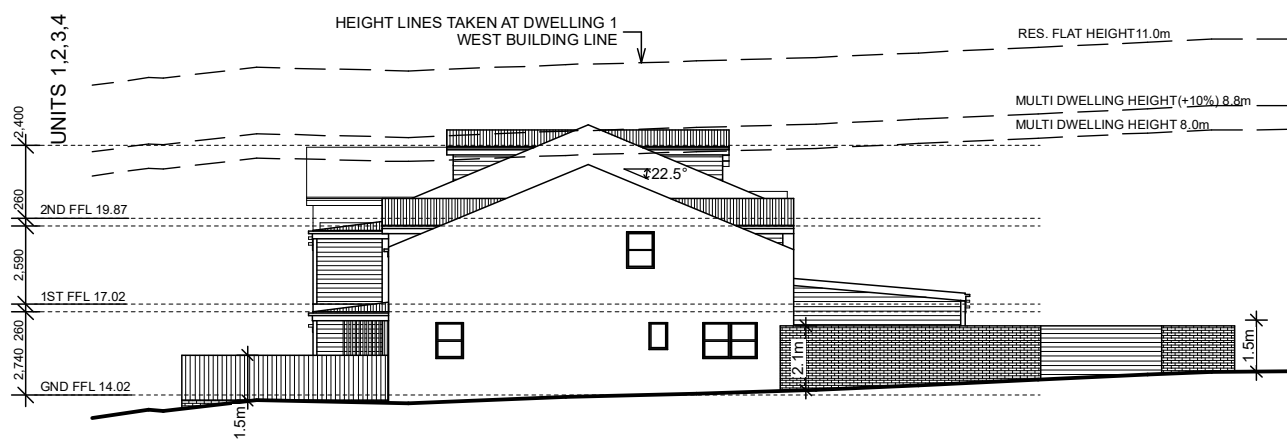
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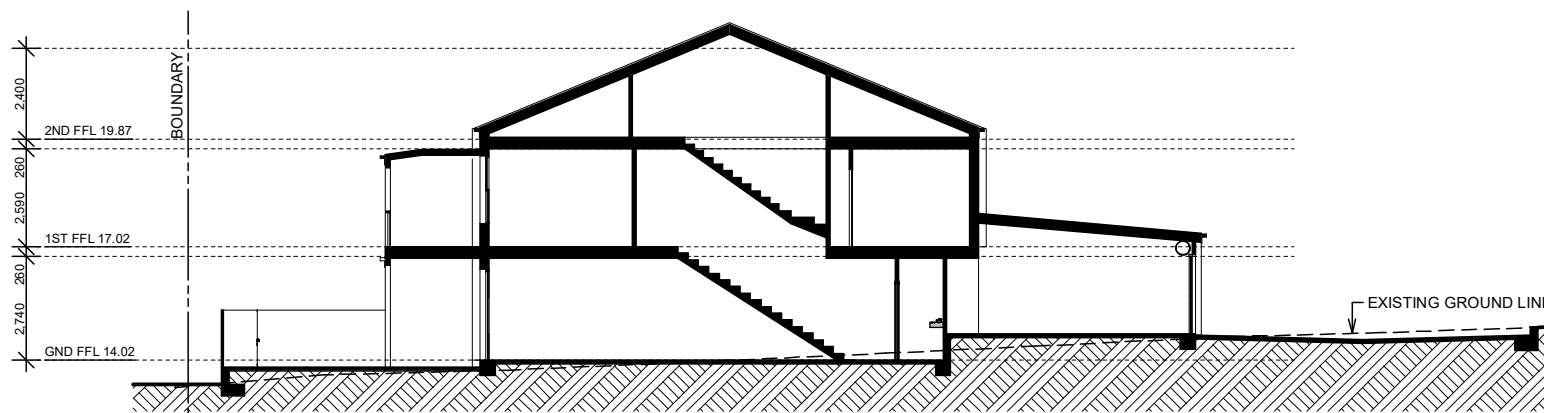
PROJECT:	PROPOSED RESIDENCES AT 107-117 SWAN STREET MORPETH		
CLIENT:	UNICOMB		
TITLE:	ELEVATIONS		
FILE:	2003016	DATE:	7/05/2021
		SHEET:	7 of 21
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SOUTH ELEVATION
1:250



WEST ELEVATION
1:250



SECTION A-A
1:200



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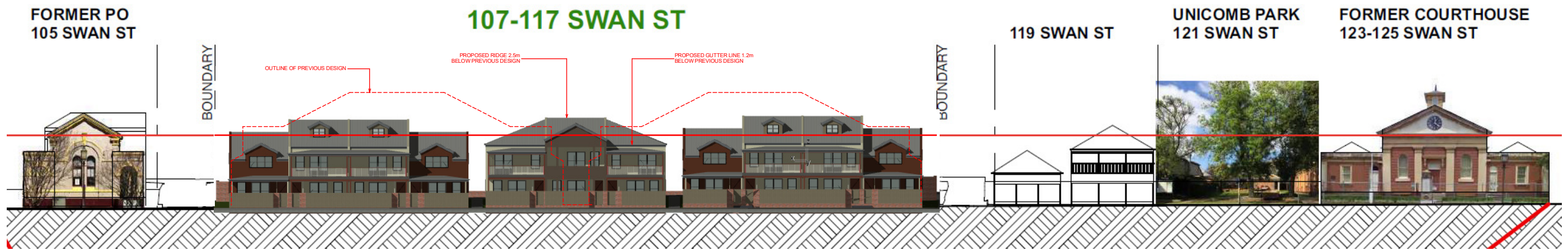


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CLIENT:	UNICOMB		
TITLE:	ELEVATIONS & SECTION		
FILE:	2003016	DATE:	7/05/2021
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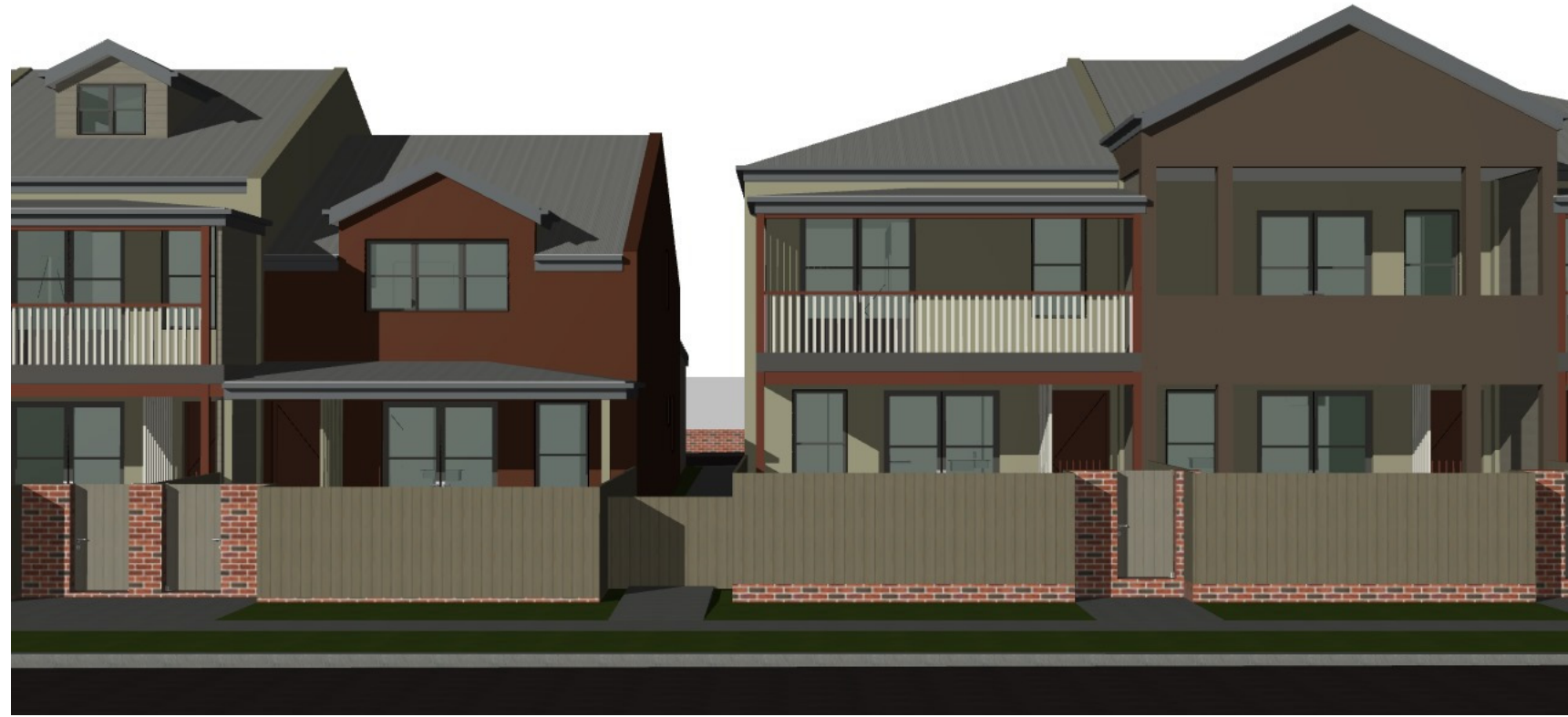


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PROJECT:	PROPOSED RESIDENCES AT 107-117 SWAN STREET MORPETH		
CLIENT:	UNICOMB		
TITLE:	STREETSCAPE		
FILE:	2003016	DATE:	7/05/2021
SHEET:	9 of 21		
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BRICKWORK PAINTED & EXTERIOR FRETWORK AND POSTS 'TERRAIN'



BRICKWORK PAINTED 'COVE'



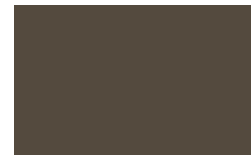
FACE BRICKWORK PGH 'TRIBECA'



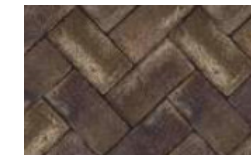
CONCRETE DRIVEWAY



CUSTOM ORB ROOF SHEETING, FASCIA & BARGE COLORBOND 'WINDSPRAY'



BRICKWORK PAINTED & LIGHTWEIGHT CLADDING 'GULLY'



PAVING PGH 'ANTIQUE GREENWAY'



EXTERIOR FRETWORK AND POSTS 'SURFMIST'



FENCE & LIGHTWEIGHT CLADDING 'HARVEST TOWN'



PERMEABLE PAVING ADBRI MASONRY ECOPAVE 'CHARCOAL'



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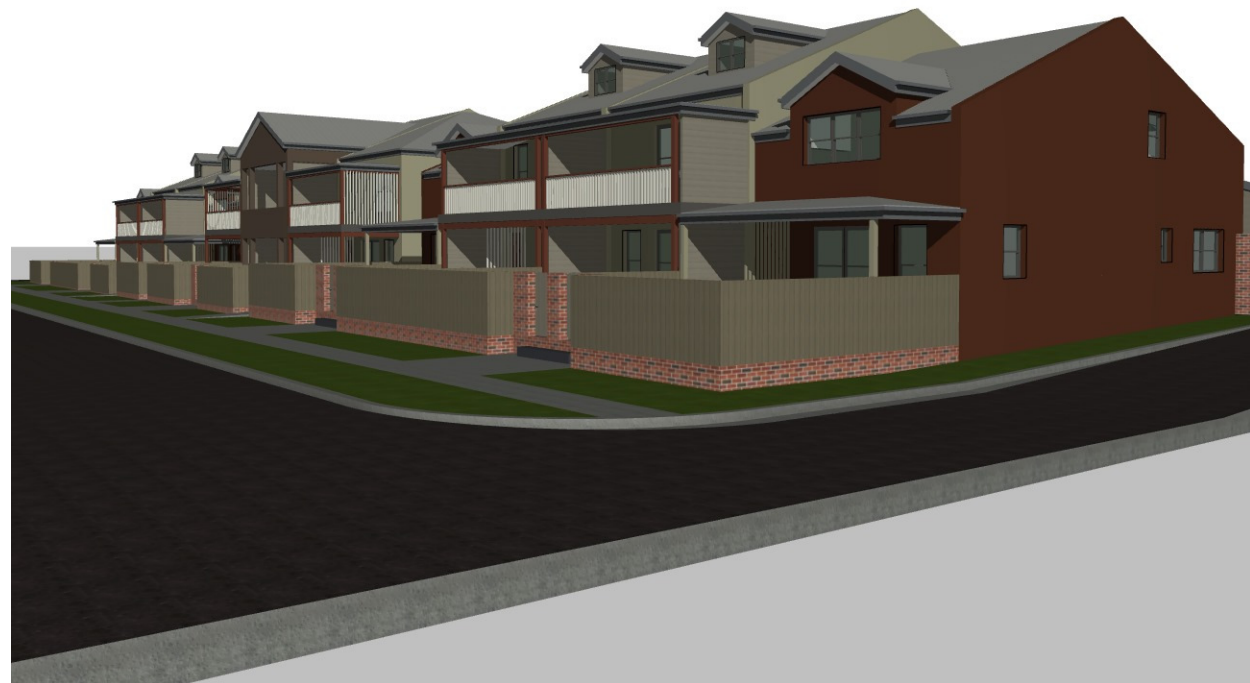


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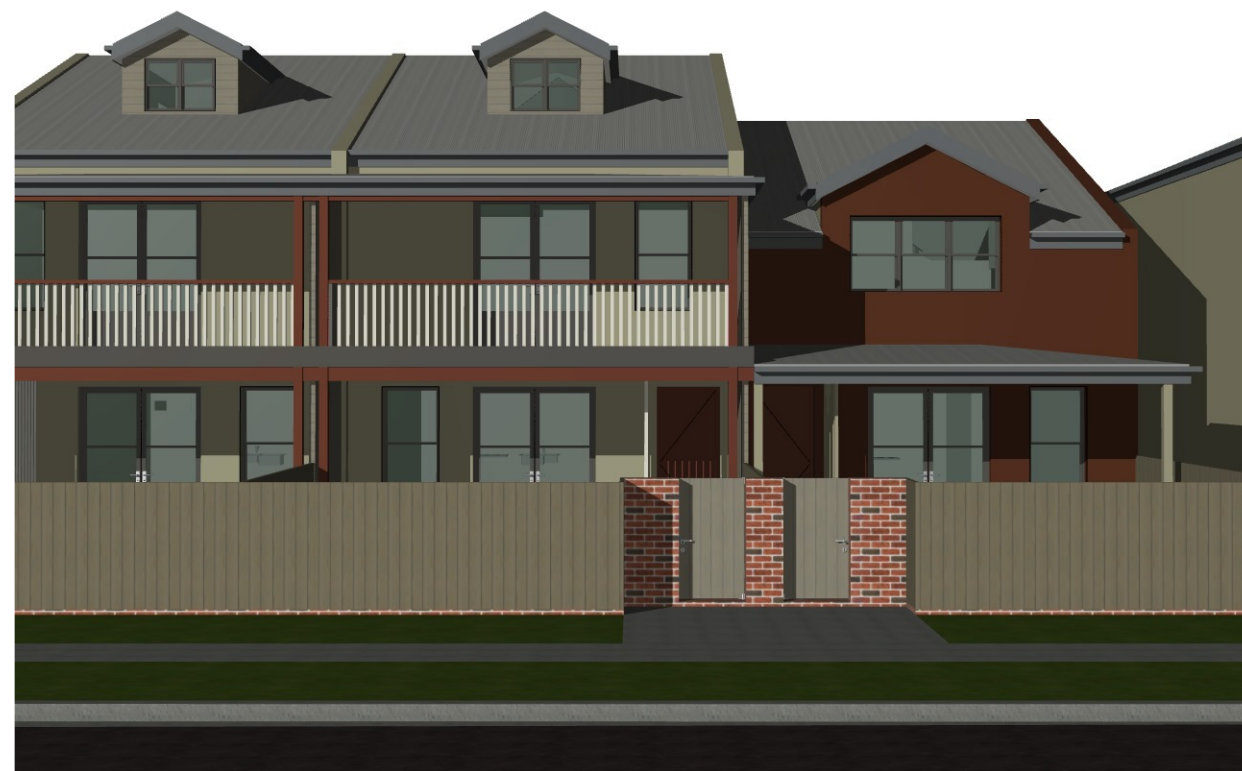
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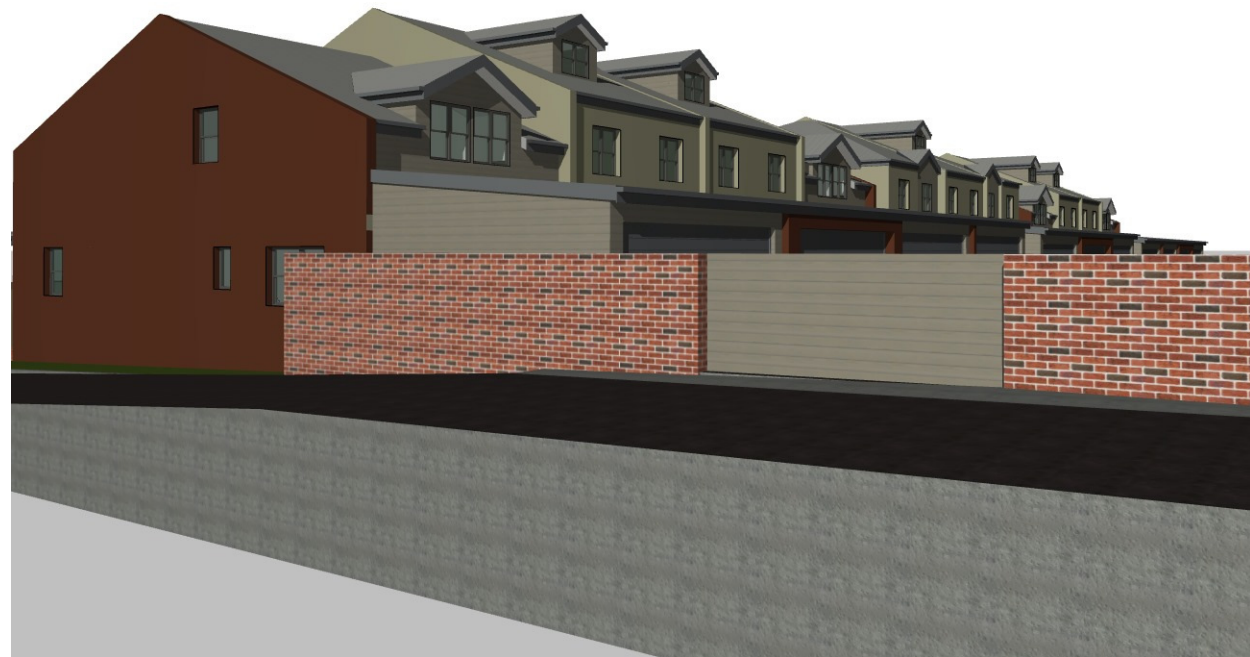
PROJECT:	PROPOSED RESIDENCES AT 107-117 SWAN STREET MORPETH		
CLIENT:	UNICOMB		
TITLE:	COLOUR SCHEME		
FILE:	2003016	DATE:	7/05/2021
SHEET:	10	OF:	21
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VIEW FROM NORTH WEST



VIEW FROM NORTH



VIEW FROM SOUTH EAST



VIEW FROM NORTH EAST



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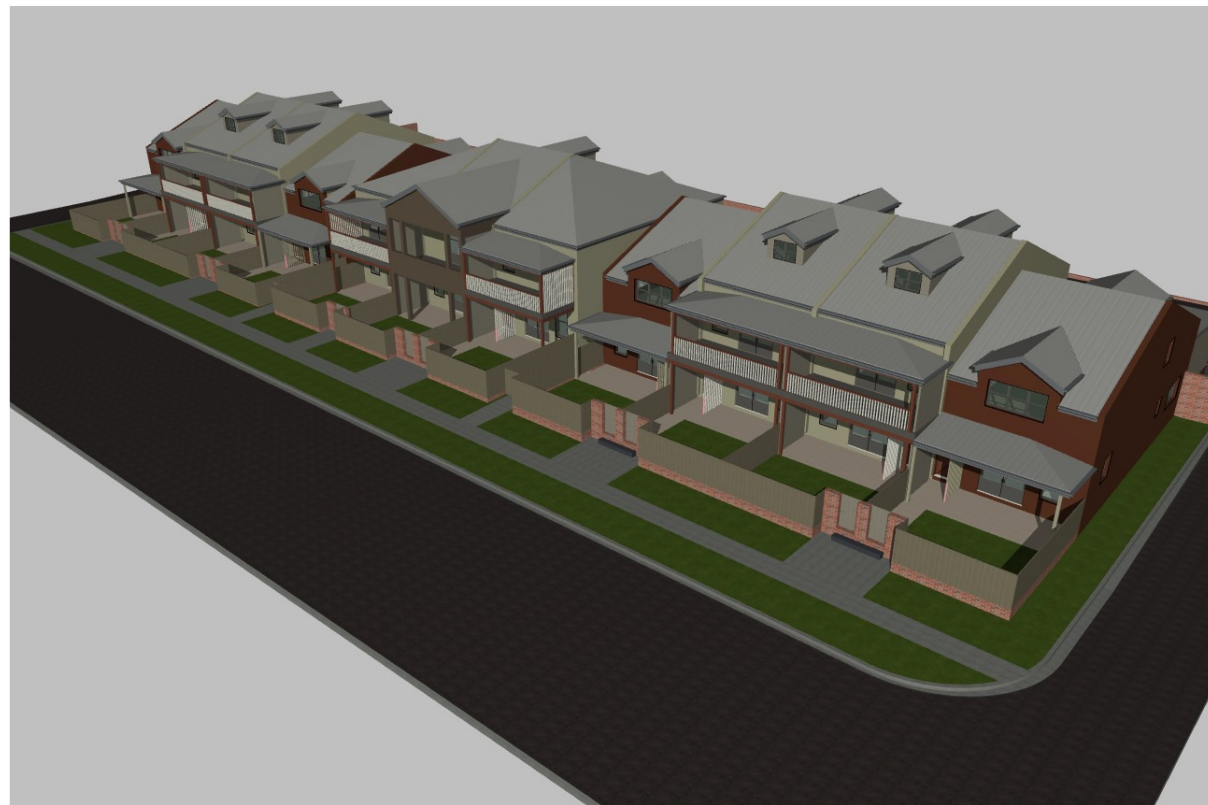
PROJECT:	PROPOSED RESIDENCES AT 107-117 SWAN STREET MORPETH		
CLIENT:	UNICOMB		
TITLE:	3D VIEWS		
FILE:	2003016	DATE:	7/05/2021
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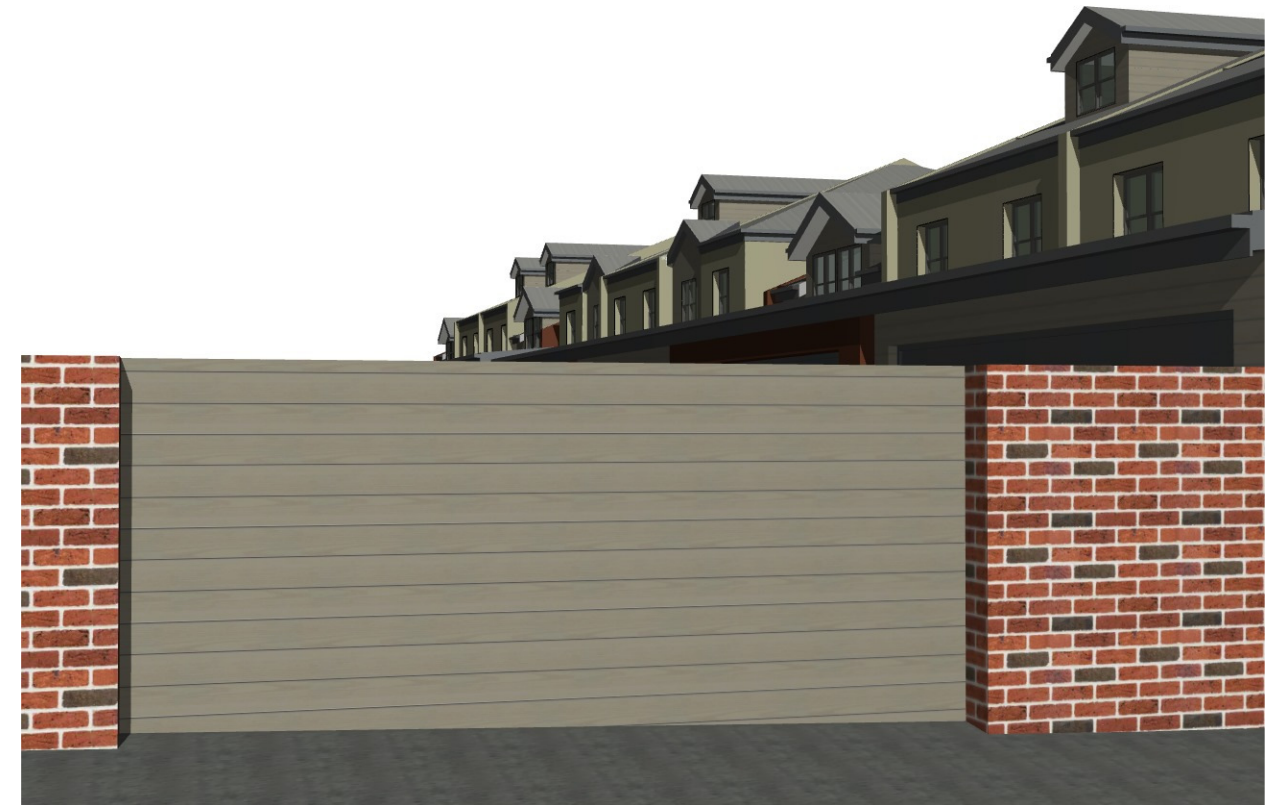
SOUTH ELEVATION



NORTH ELEVATION



AERIAL VIEW



DRIVEWAY



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PROJECT:	PROPOSED RESIDENCES AT 107-117 SWAN STREET MORPETH		
CLIENT:	UNICOMB		
TITLE:	3D VIEWS		
FILE:	2003016	DATE:	7/05/2021
		SHEET:	12 of 21
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