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COMMERCIAL IN CONFIDENCE

NOT FOR CONSTRUCTION

G 23/7/21 Additional plan pages supplied responding to council RFI.
Drawings 31 onwards

ISSUE	DATE	REVISION	SCALE	DATE	DRAWN
			as shown	4/8/21	SCW
DWG NO				REV	
as shown				G	

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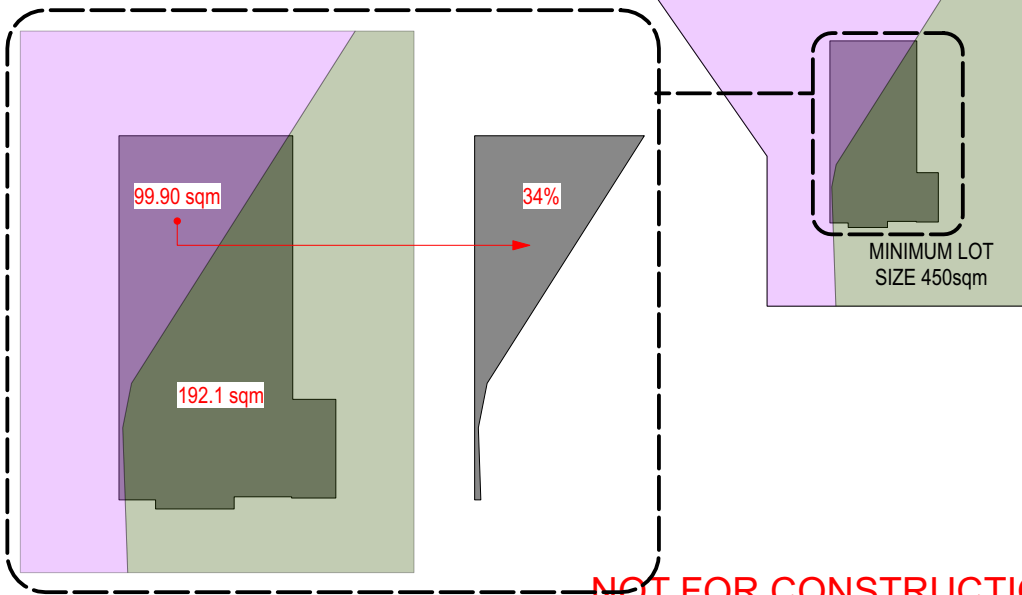
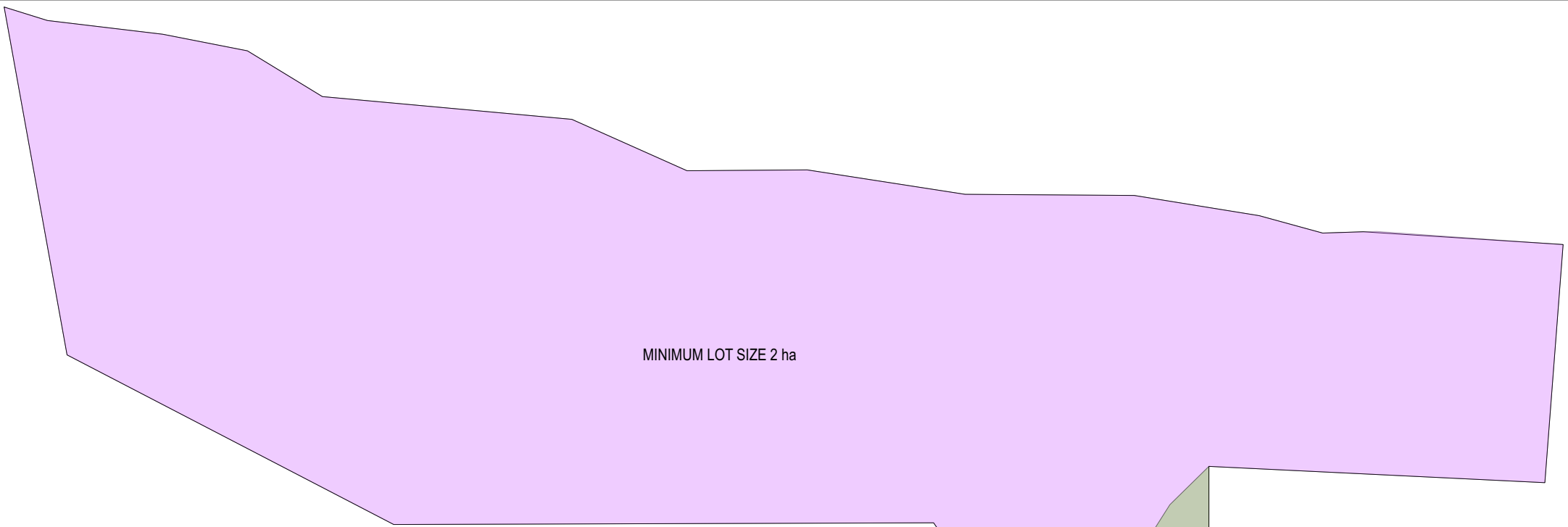
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MAILDM (487) & MAIH (5085)

PROJECT
LANDSCAPE DESIGN
10 Riverside Street, BOLWARRA

CLIENT

TITLE
LANDSCAPE PLANS TO ACCOMPANY
METRICON DEVELOPMENT
APPLICATION



46 HOUSE LOCATION TO MINIMUM LOT SIZE MAPPING
Scale: 1:700

COMMERCIAL IN CONFIDENCE

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Drawings 37 onwards
ISSUE DATE REVISION

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APPLICATION
- ADDITIONAL PLANS by request -

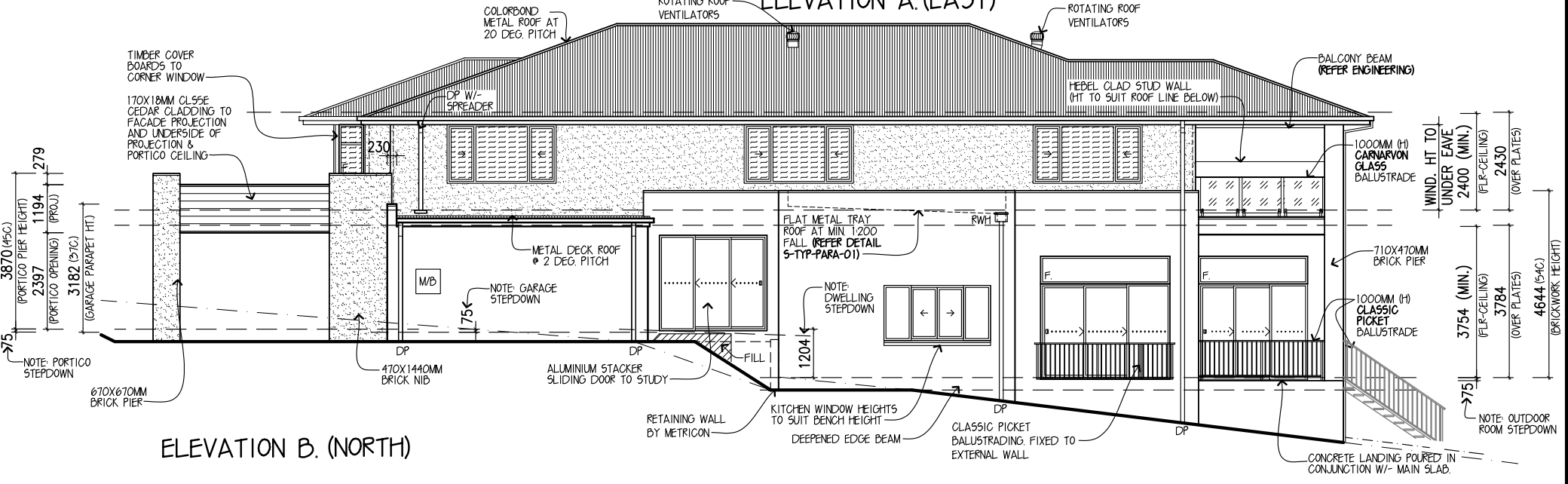
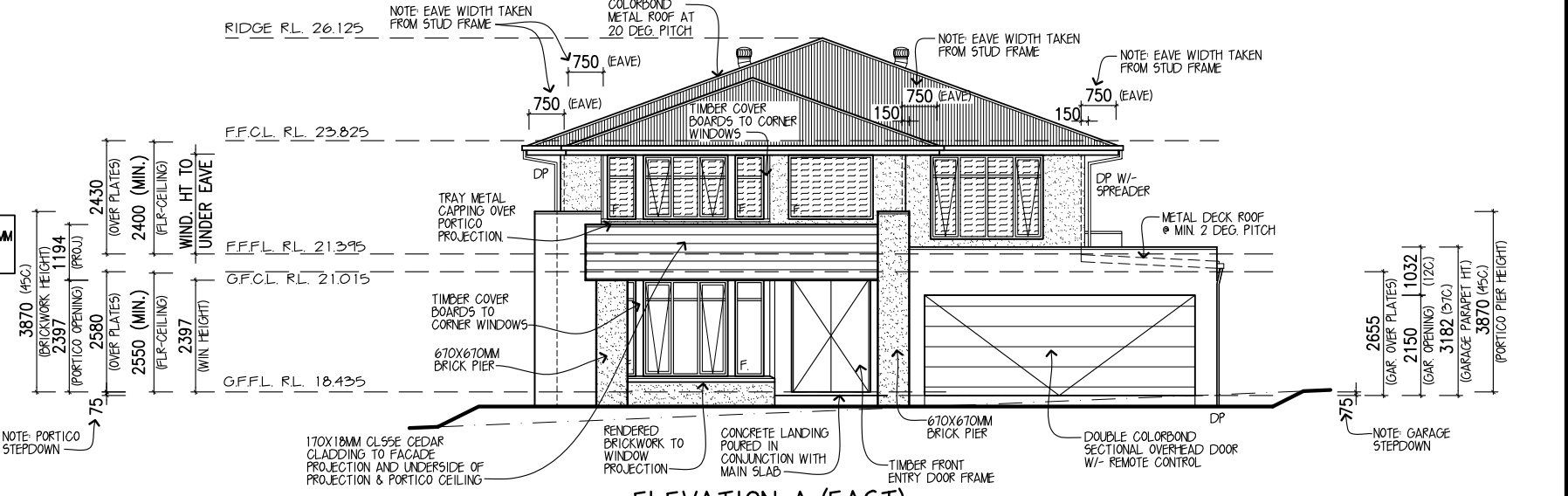
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DWG NO	REV	
as shown	G	

IMPORTANT NOTE
REFER TO FACADE DETAIL
REF. NO. **S-TYP-VERV-01**





PROVIDE **RENDERED EPS CLADDING**
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: **S-TYP-CLAD-06**

PROVIDE **SELECTED FACE BRICKWORK**
TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)

 DENOTES WINDOWS/DOORS WITH **4MM SMART GLASS SP10**



SYMBOL LEGEND

-  RECESSED ELECTRICITY METER BOX
-  DOWNPIPE W/- RAINWATER HEAD
-  ROTATING ROOF VENTILATOR
-  ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS

DESIGN: **DOULTON 56**
FACADE: **LODGE** CEILING: 25, R
GARAGE: **DOUBLE** LOCATION: **F**

DESIGNER 
BY METRICON

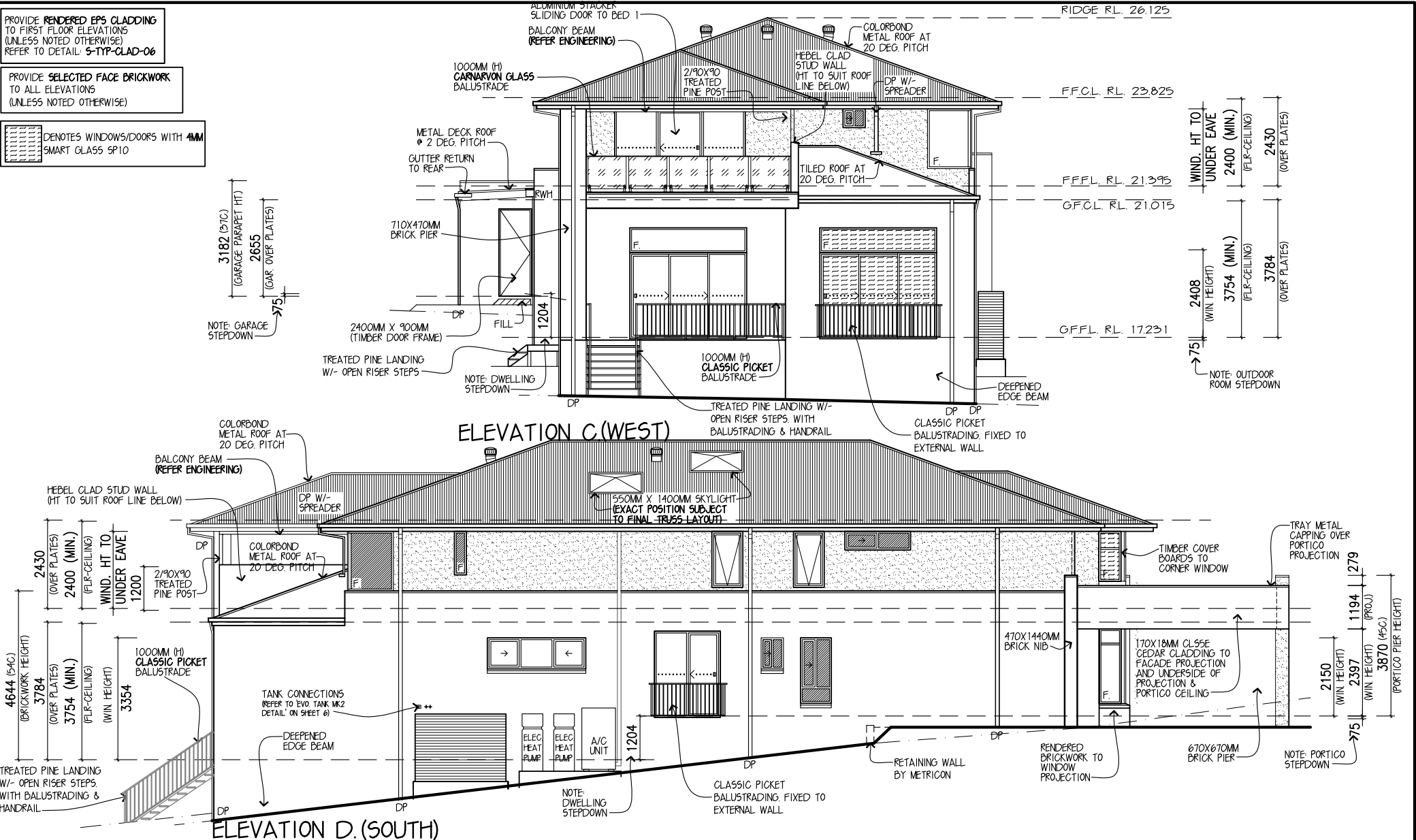
OWNER: **LOT 217 (NO.10) RIVERSIDE STREET BOLWARRA**

ELEVATIONS

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JOB No: **710418** DATE: **13.08.2020**
FC DATE: **DD.MM.YYYY** MST VER: **04.03.2019**
SCALE: **1:100 ON A3 SHEET** REVISION: **H**
DRAWN: **PG** CHECK: **CWK** SHEET: **4 of 11**



PROVIDE RENDERED EPS CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: S-TYP-CLAD-06

PROVIDE SELECTED FACE BRICKWORK TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)

■ DENOTES WINDOWS/DOORS WITH 4MM SMART GLASS SP10

RIDGE RL 26.125

FFCL RL 23.825

FFFL RL 21.395

GFCL RL 21.015

GFFL RL 17.231

WIND. HT TO UNDER EAVE 2400 (MIN.) (FLR-CEILING) (OVER PLATES) 2430

WIND. HT TO UNDER EAVE 3754 (MIN.) (FLR-CEILING) (OVER PLATES) 3784

NOTE: OUTDOOR ROOM STEPDOWN

3182 (371C) (GARAGE PARAPET HT) 2655 (CAR. OVER PLATES) 75

NOTE: GARAGE STEPDOWN

4644 (54C) (BRICKWORK HEIGHT) 3784 (OVER PLATES) (MIN.) (FLR-CEILING) (WIN HEIGHT) 3354 1000MM (H) CLASSIC PICKET BALUSTRADE

2430 (OVER PLATES) (MIN.) (FLR-CEILING) (WIN HEIGHT) 2400 (MIN.) (FLR-CEILING) (OVER PLATES) 1200

WIND. HT TO UNDER EAVE 1200

2/90X90 TREATED PINE POST

TREATED PINE LANDING W/- OPEN RISER STEPS WITH BALUSTRADING & HANDRAIL

DEEPEDED EDGE BEAM

TANK CONNECTIONS (REFER TO EVO TANK MK2 DETAIL 'N' ON SHEET 0)

NOTE: DWELLING STEPDOWN

TRAY METAL CAPPING OVER PORTICO PROJECTION 1279

TIMBER COVER BOARDS TO CORNER WINDOW

470X1440MM BRICK NIB

170X18MM CL55 CEDAR CLADDING TO FACADE PROJECTION AND UNDERSIDE OF PROJECTION & PORTICO CEILING

670X670MM BRICK PIER

NOTE: PORTICO STEPDOWN

2150 (WIN HEIGHT) 2397 (WIN HEIGHT) 1194 (PROJ.) 3870 (45C) (PORTICO PIER HEIGHT)

ELEVATION C (WEST)

ELEVATION D (SOUTH)

550MM X 1400MM SKYLIGHT (EXACT POSITION SUBJECT TO FINAL TRUSS LAYOUT)

CLASSIC PICKET BALUSTRADING: FIXED TO EXTERNAL WALL

ELEC HEAT PUMP A/C UNIT

DEEPEDED EDGE BEAM

1000MM (H) CLASSIC PICKET BALUSTRADE

WIND. HT TO UNDER EAVE 1200

2/90X90 TREATED PINE POST

2430 (OVER PLATES) (MIN.) (FLR-CEILING) (WIN HEIGHT) 2400 (MIN.) (FLR-CEILING) (OVER PLATES) 1200

4644 (54C) (BRICKWORK HEIGHT) 3784 (OVER PLATES) (MIN.) (FLR-CEILING) (WIN HEIGHT) 3354 1000MM (H) CLASSIC PICKET BALUSTRADE

TREATED PINE LANDING W/- OPEN RISER STEPS WITH BALUSTRADING & HANDRAIL

NOTE: DWELLING STEPDOWN

2400MM X 900MM (TIMBER DOOR FRAME)

710X470MM BRICK PIER

GUTTER RETURN TO REAR

METAL DECK ROOF @ 2 DEG. PITCH

1000MM (H) CARNARVON GLASS BALUSTRADE

ALUMINIUM STACKER SLIDING DOOR TO BED 1

BALCONY BEAM (REFER ENGINEERING)

HEBEL CLAD STUD WALL (HT TO SUIT ROOF LINE BELOW)

COLORBOND METAL ROOF AT 20 DEG. PITCH

DESIGN: DOULTON 56
 FACADE: LODGE CEILING: 25, R
 GARAGE: DOUBLE LOCATION: F

DESIGNER **m** **metricon**

OWNER **LOT 217 (NO.10) RIVERSIDE STREET BOLWARRA**

ELEVATIONS

BY METRICON

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SCALE: 1:100 ON A3 SHEET **REVISION: H**

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REVISION: H