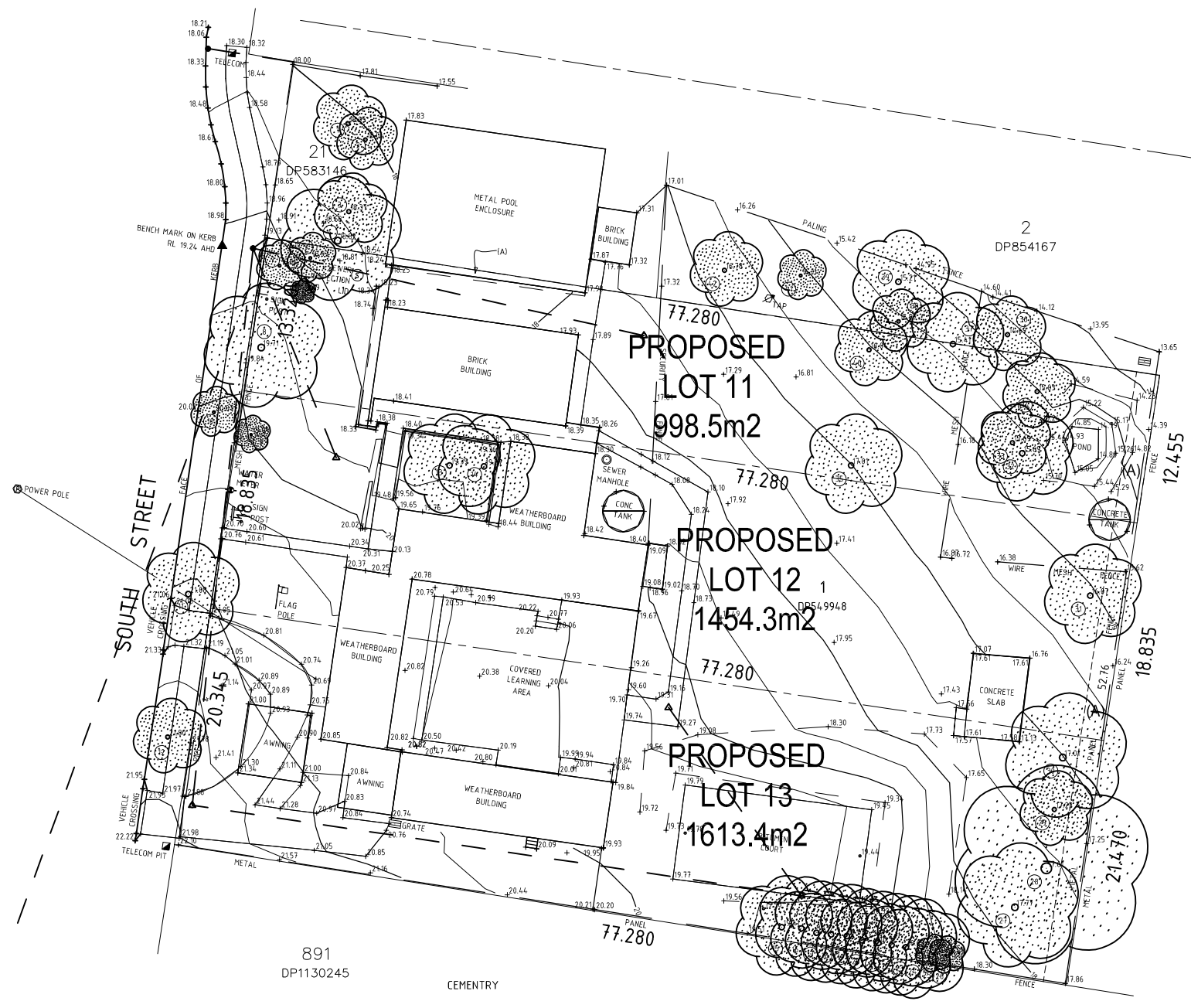
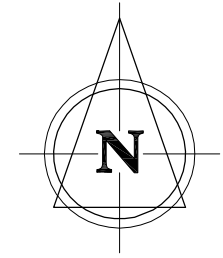


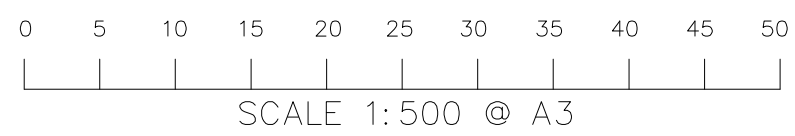
\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE


M.G.A.



(A) PROPOSED EASEMENT TO DRAIN WATER 2M WIDE

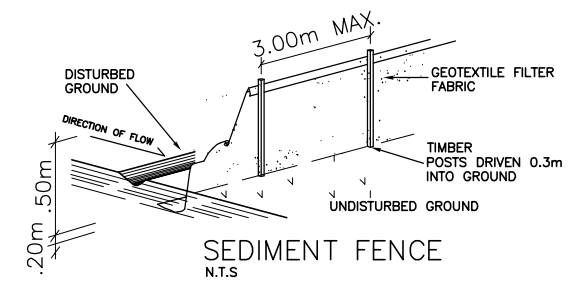
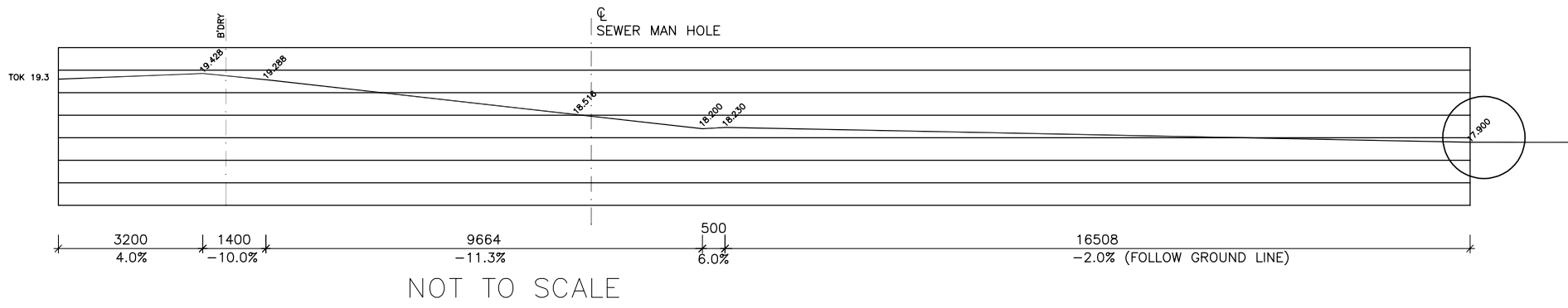
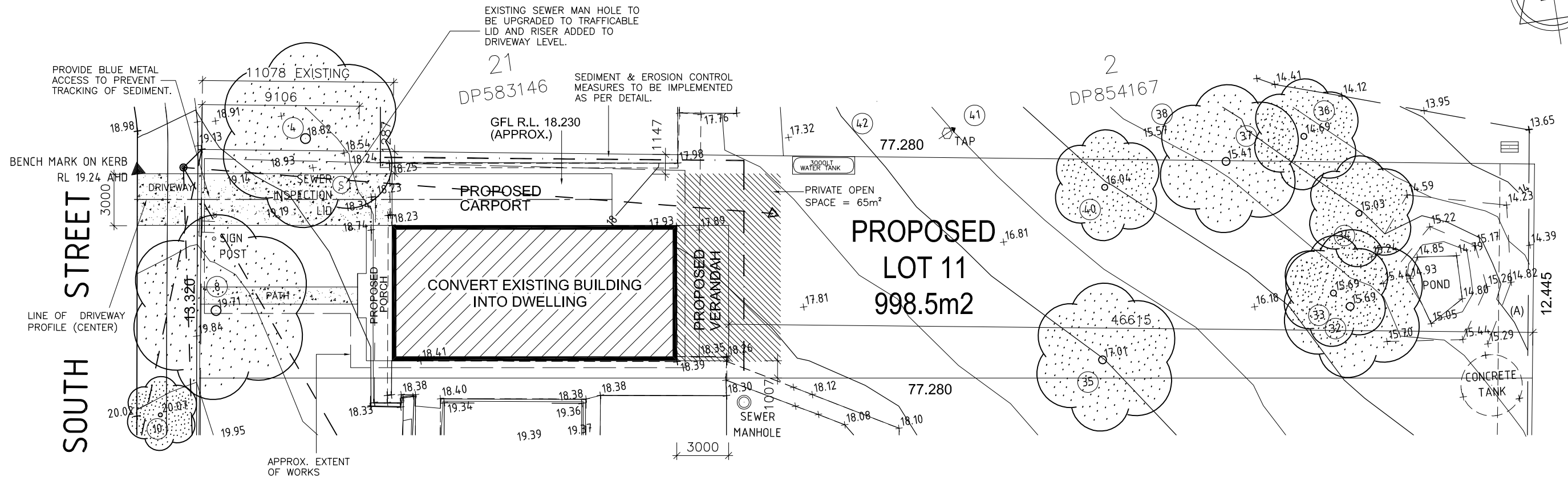
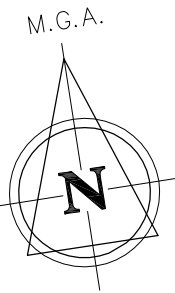
# PROPOSED SUBDIVISION TORRENS TITLE



 <p>DESIGNED BY</p>				CLIENT <b>L &amp; K JARVIS</b>				DESIGN CUSTOM		
PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT				SITE ADDRESS LOT 1 DP 549948 97 SOUTH STREET TELARAH NSW 2320				SHEET <b>S 03</b>	REV. <b>1</b>	JOB No. <b>22/051</b>
1	ES	11.05.22	ORIGINAL ISSUE				SCALE 1:500			
REV.	DRAWN	DATE	DESCRIPTION	REV.	DRAWN	DATE	*COPYRIGHT © All rights reserved. No part of this plan may be reproduced, stored in a retrieval system or transmitted in any form or by any means electronic, mechanical, photocopying, recording or otherwise without the written permission of URBAN LIVING SOLUTIONS.*			

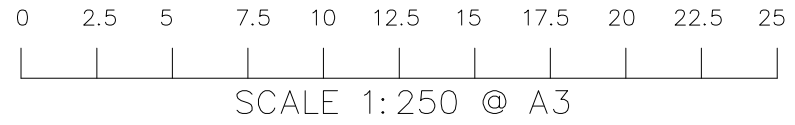
\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

AJ - ARTICULATION/ CONTROL JOINTS



(A) PROPOSED EASEMENT TO DRAIN WATER 2M WIDE

# LOT 11 PROPOSED - SITE PLAN



PRIVATE OPEN SPACE	
SITE AREA	998.5 m2
GROSS FLOOR AREA	129.6 m2
HARD STAND AREA	258.1 m2
SITE COVERAGE	25.8%
MAX. ALLOWED	60%

NOTE: ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE.

- SEDIMENT CONTROL NOTES**
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
  2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
  3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
  4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
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  7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

<p>DESIGNED BY</p> <p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p> <p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p>				CLIENT <b>L &amp; K JARVIS</b>			DESIGN <b>CUSTOM</b>		
				SITE ADDRESS <b>LOT 1 DP 549948 97 SOUTH STREET TELARAH NSW 2320</b>			SHEET <b>S 05</b>	REV. <b>1</b>	JOB No. <b>22/051</b>
1	ES	11.05.22	ORIGINAL ISSUE				SCALE 1:100		
REV.	DRAWN	DATE	DESCRIPTION	REV.	DRAWN	DATE	DESCRIPTION	*COPYRIGHT © All rights reserved. No part of this plan may be reproduced, stored in a retrieval system or transmitted in any form or by any means electronic, mechanical, photocopying, recording or otherwise without the written permission of URBAN LIVING SOLUTIONS.*	

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

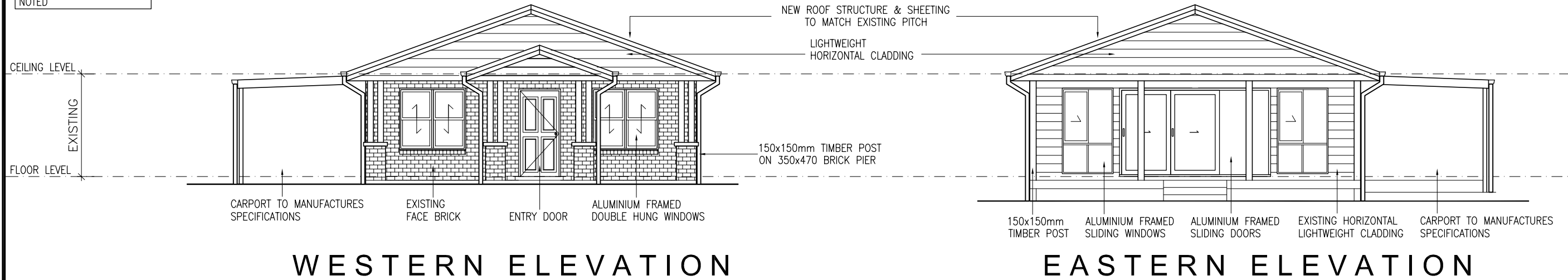
AJ - ARTICULATION/ CONTROL JOINTS

MECHANICAL VENTILATION DISCHARGE TO EXTERNAL WALL/ EAVE

BRICK CONTROL JOINTS TO BE IN ACCORDANCE WITH N.C.C & AS3700 & AS4773

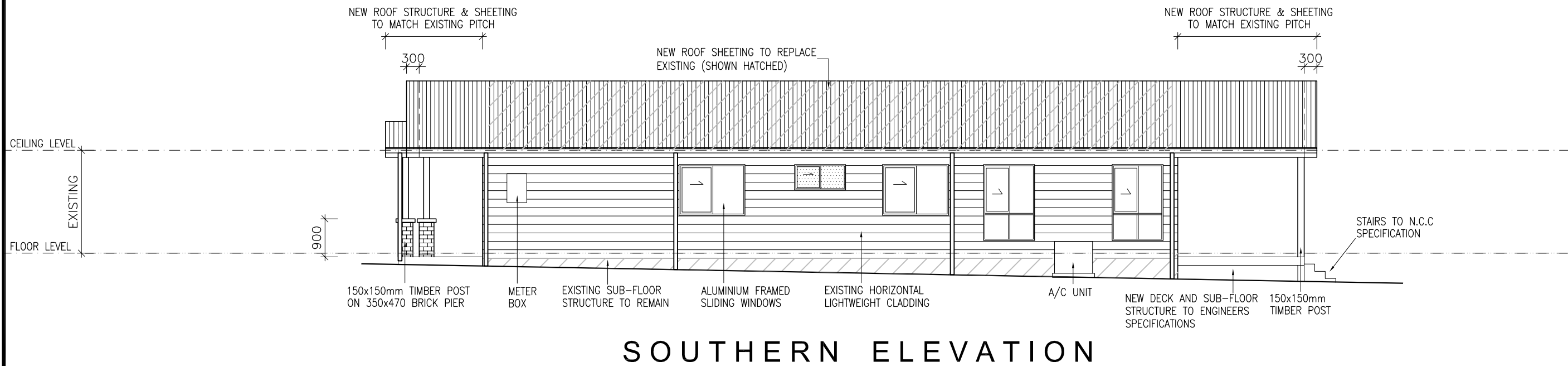
REFER TO BASIX TABLE FOR CONSTRUCTION REQUIREMENTS

ALL WINDOW HEAD HEIGHTS 2100H UNLESS OTHERWISE NOTED




WESTERN ELEVATION

EASTERN ELEVATION



SOUTHERN ELEVATION

 <p>DESIGNED BY</p>								<p>CLIENT L &amp; K JARVIS</p>		<p>DESIGN CUSTOM</p>		
<p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p>								<p>SITE ADDRESS LOT 1 DP 549948 97 SOUTH STREET TELARAH NSW 2320</p>		<p>SHEET <b>S 08</b></p>	<p>REV. <b>1</b></p>	<p>JOB No. <b>22/051</b></p>
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REV.	DRAWN	DATE	DESCRIPTION	REV.	DRAWN	DATE	DESCRIPTION					

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

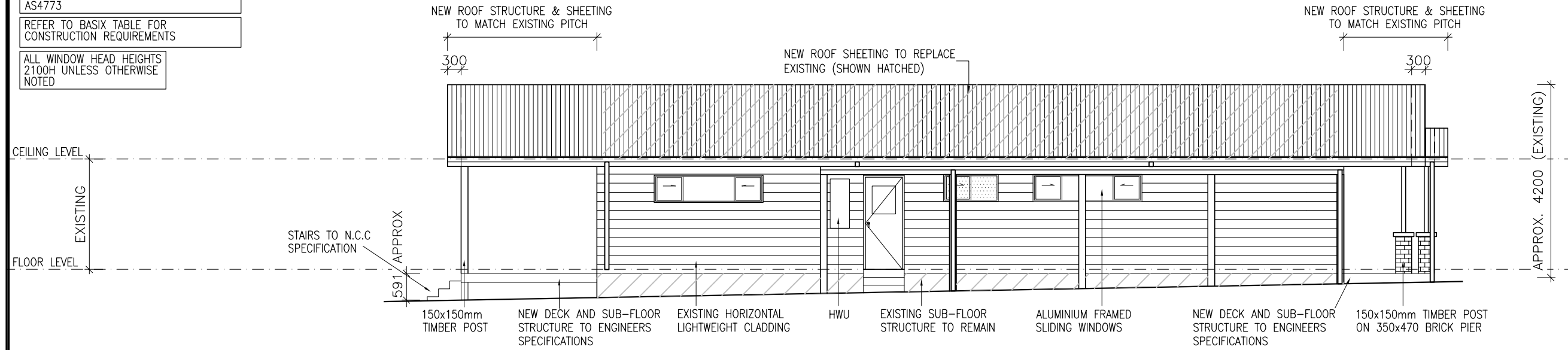
AJ - ARTICULATION/ CONTROL JOINTS

MECHANICAL VENTILATION DISCHARGE TO EXTERNAL WALL/ EAVE

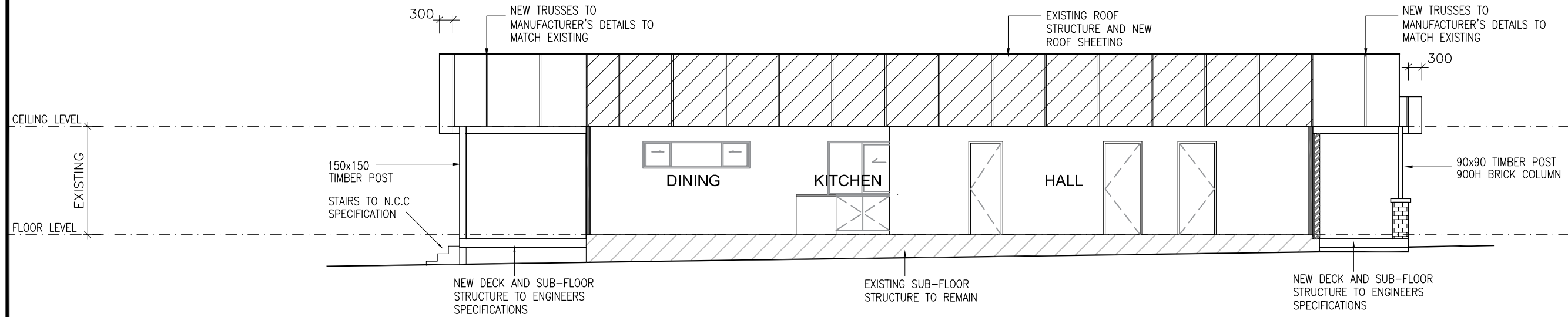
BRICK CONTROL JOINTS TO BE IN ACCORDANCE WITH N.C.C & AS3700 & AS4773

REFER TO BASIX TABLE FOR CONSTRUCTION REQUIREMENTS


ALL WINDOW HEAD HEIGHTS 2100H UNLESS OTHERWISE NOTED



## NORTHERN ELEVATION

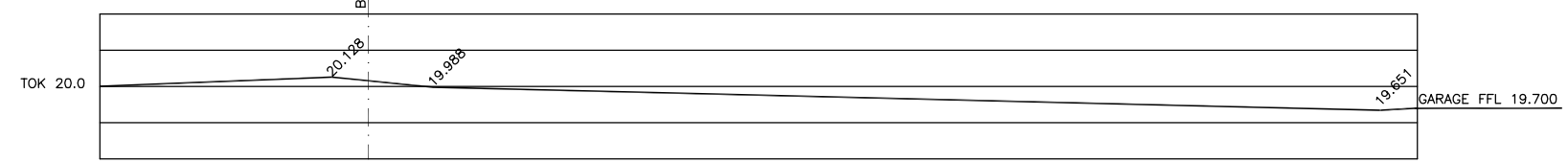
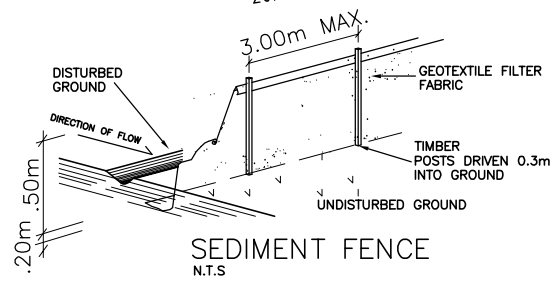
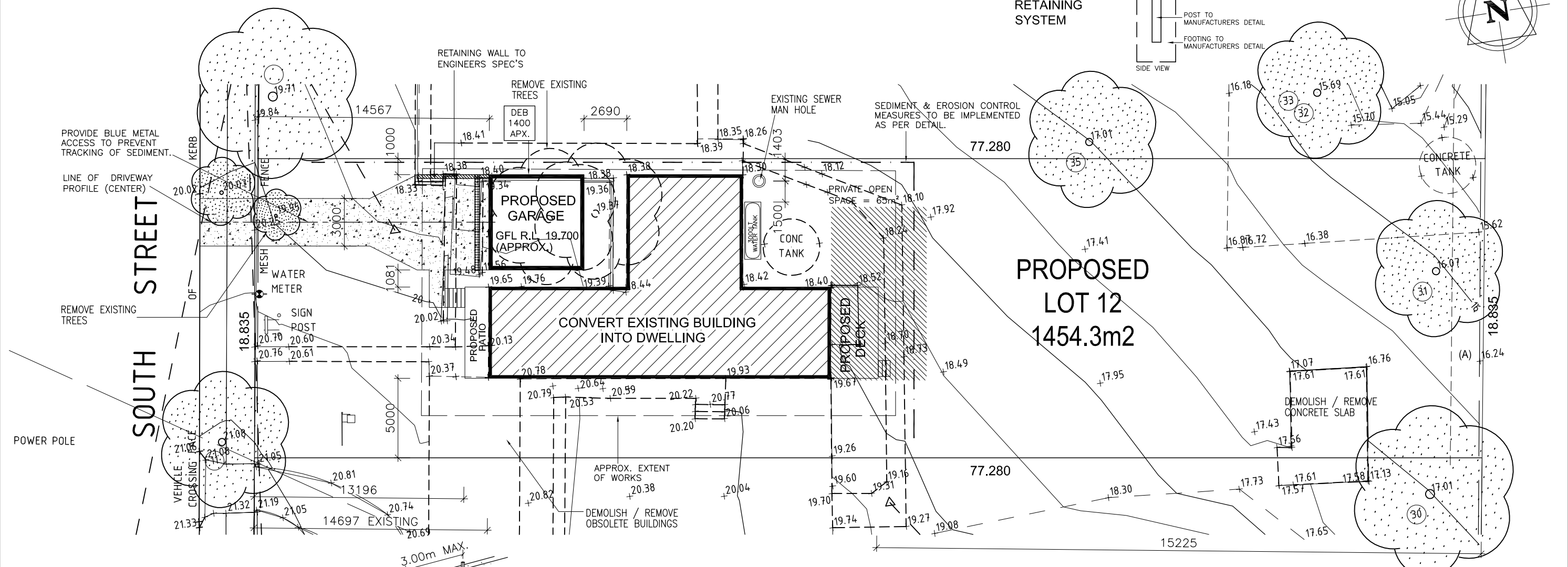
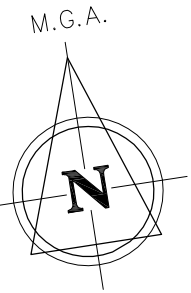
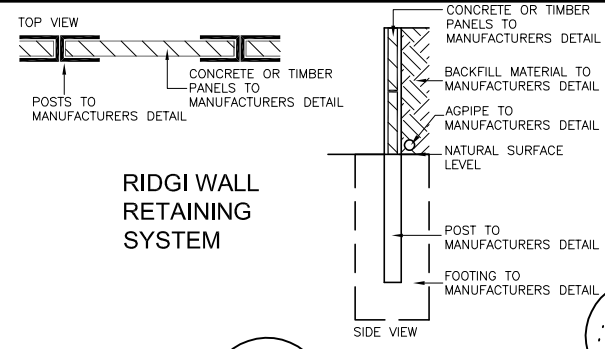


## SECTION A-A

 <p>DESIGNED BY</p>								CLIENT <b>L &amp; K JARVIS</b>		DESIGN <b>CUSTOM</b>			
PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT								SITE ADDRESS <b>LOT 1 DP 549948          97 SOUTH STREET TELARAH NSW 2320</b>		SHEET <b>S 09</b>		REV. <b>1</b>	JOB No. <b>22/051</b>
1	ES	11.05.22	ORIGINAL ISSUE					SCALE <b>1:100</b>					
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\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

NOTE: ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE.

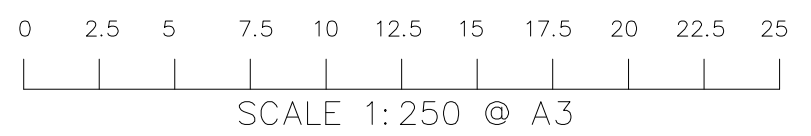
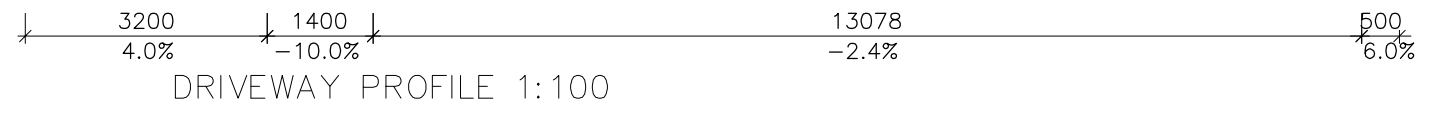


(A) PROPOSED EASEMENT TO DRAIN WATER 2M WIDE  
 ===== EXISTING TO BE REMOVED

# LOT 12 PROPOSED SITE PLAN

SCALE 1:250

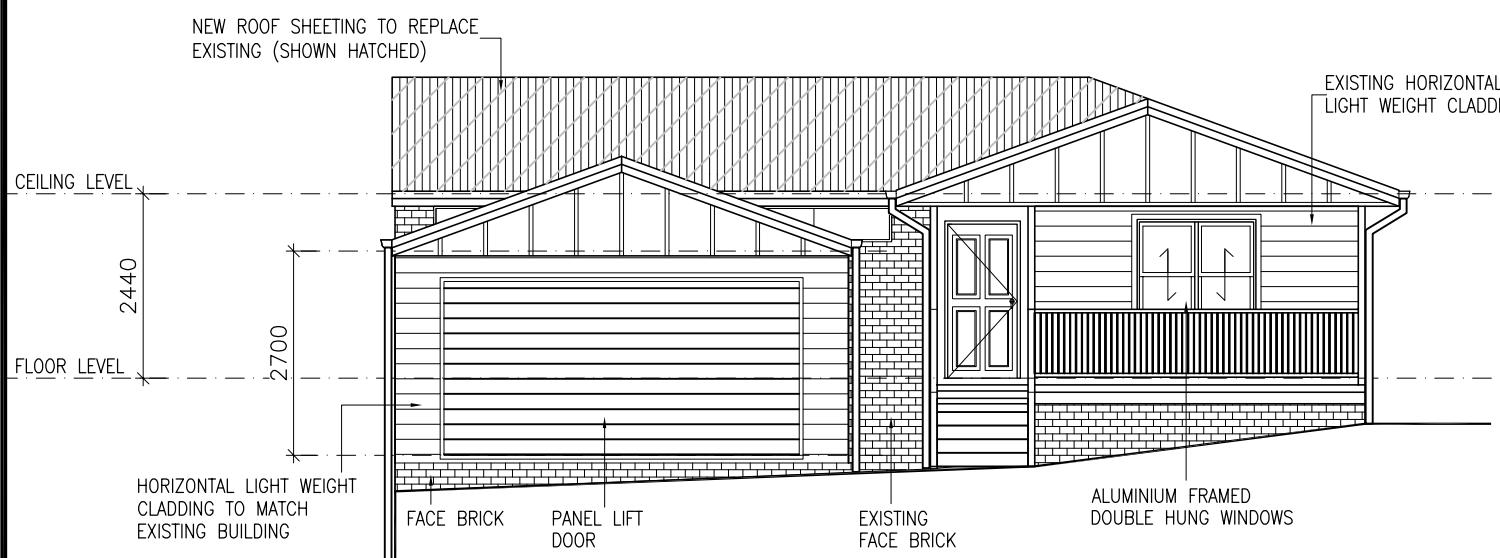
- SEDIMENT CONTROL NOTES**
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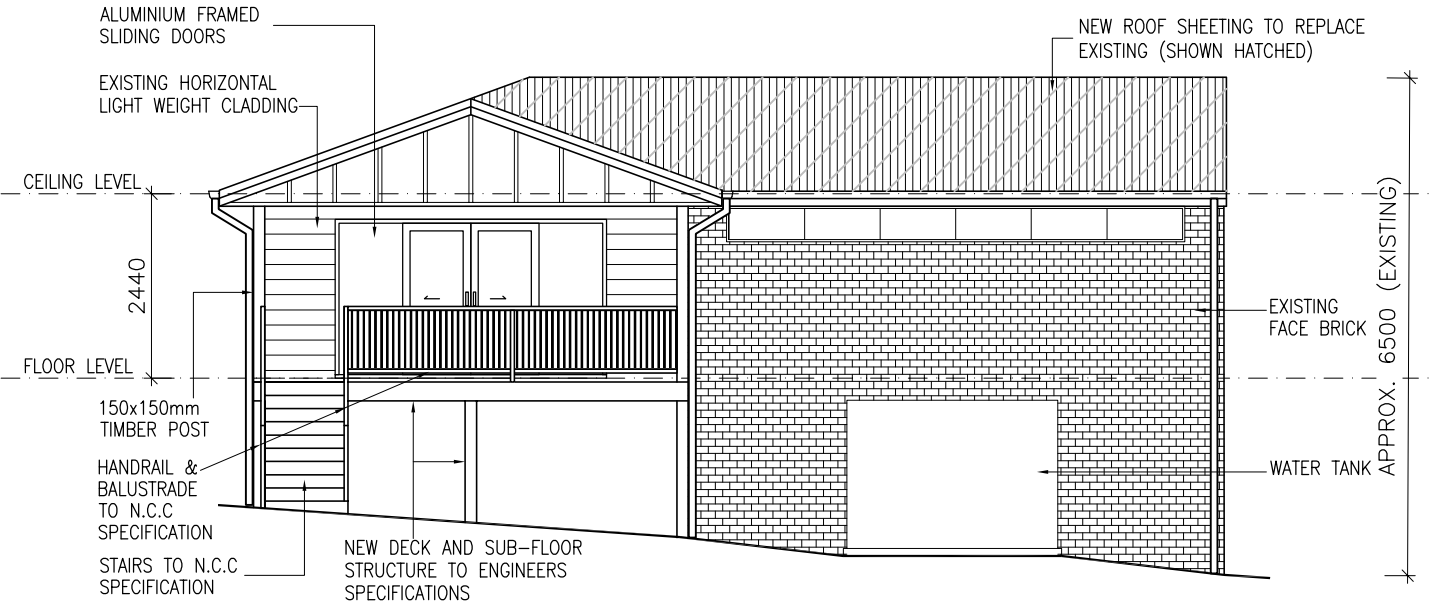
				DESIGNED BY				CLIENT <b>L &amp; K JARVIS</b>				DESIGN <b>CUSTOM</b>			
PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT				1 ES 11.05.22 ORIGINAL ISSUE				SITE ADDRESS LOT 1 DP 549948 97 SOUTH STREET TELARAH NSW 2320				SHEET <b>S 12</b>		REV. <b>1</b>	JOB No. <b>22/051</b>
REV. DRAWN DATE DESCRIPTION				REV. DRAWN DATE DESCRIPTION				*COPYRIGHT © All rights reserved. No part of this plan may be reproduced, stored in a retrieval system or transmitted in any form or by any means electronic, mechanical, photocopying, recording or otherwise without the written permission of URBAN LIVING SOLUTIONS.				SCALE <b>1:100</b>			

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

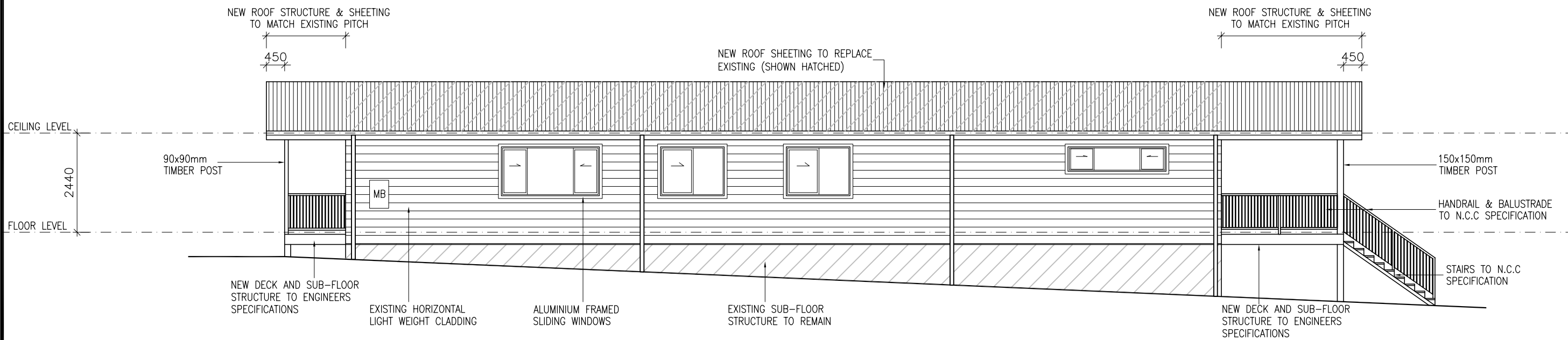
AJ - ARTICULATION/ CONTROL JOINTS



WESTERN ELEVATION



EASTERN ELEVATION



SOUTHERN ELEVATION



DESIGNED BY

PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au  
ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT

REV.	DRAWN	DATE	DESCRIPTION	REV.	DRAWN	DATE	DESCRIPTION
1	ES	11.05.22	ORIGINAL ISSUE				

CLIENT  
L & K JARVIS

SITE ADDRESS  
LOT 1 DP 549948  
97 SOUTH STREET TELARAH NSW 2320

DESIGN  
CUSTOM

SHEET  
**S 15**

REV.  
**1**

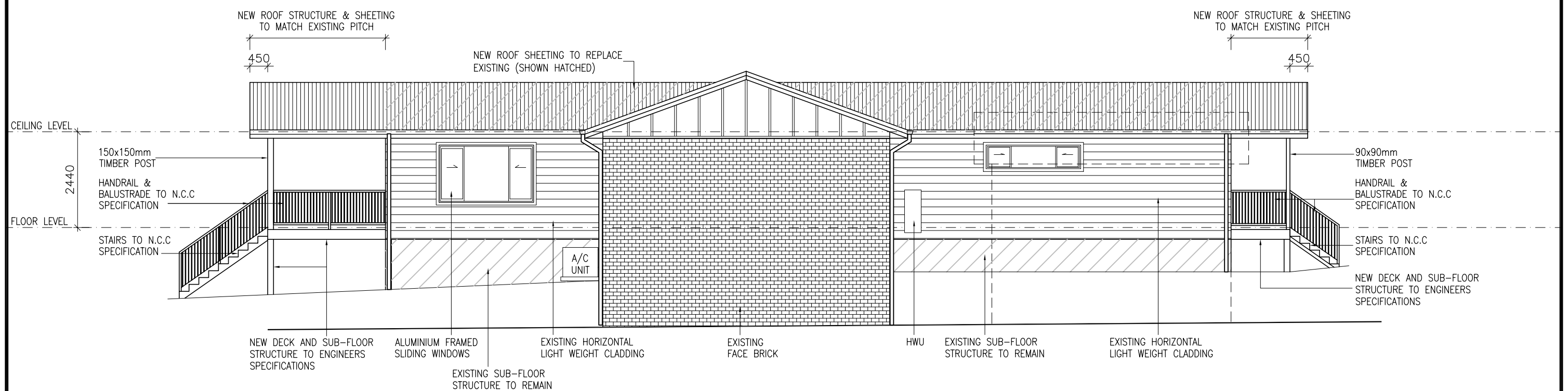
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**22/051**

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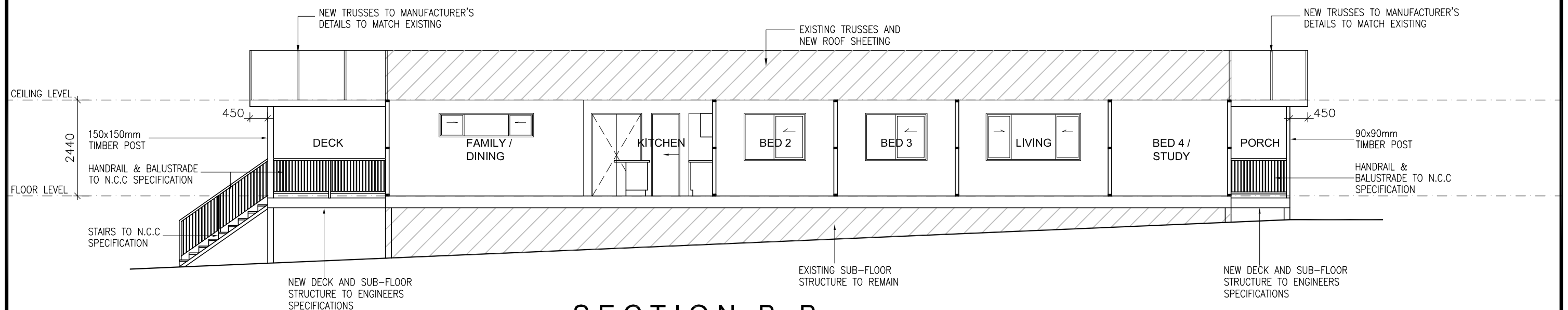
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\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE


AJ - ARTICULATION/ CONTROL JOINTS



## NORTHERN ELEVATION



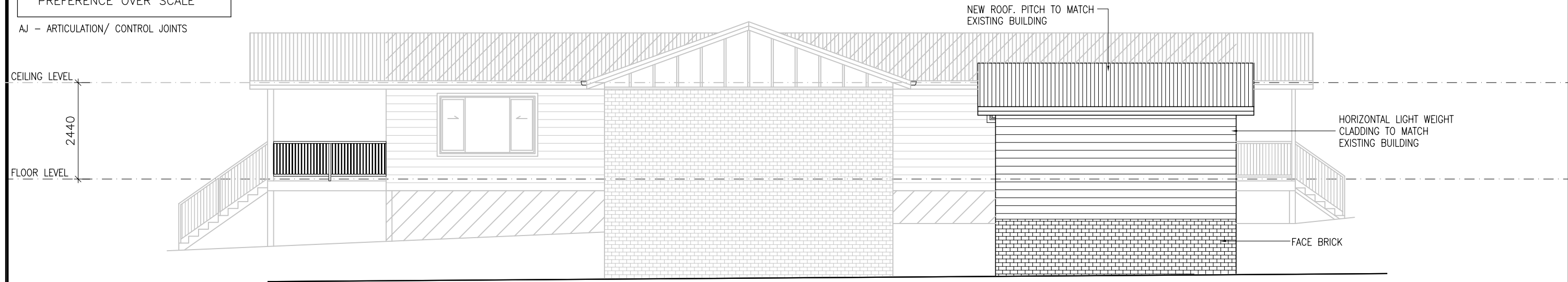
## SECTION B-B

 <p>DESIGNED BY</p> <p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p> <p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p>							CLIENT <b>L &amp; K JARVIS</b>	DESIGN <b>CUSTOM</b>		
							SITE ADDRESS <b>LOT 1 DP 549948</b> <b>97 SOUTH STREET TELARAH NSW 2320</b>	SHEET <b>S 16</b>	REV. <b>1</b>	JOB No. <b>22/051</b>
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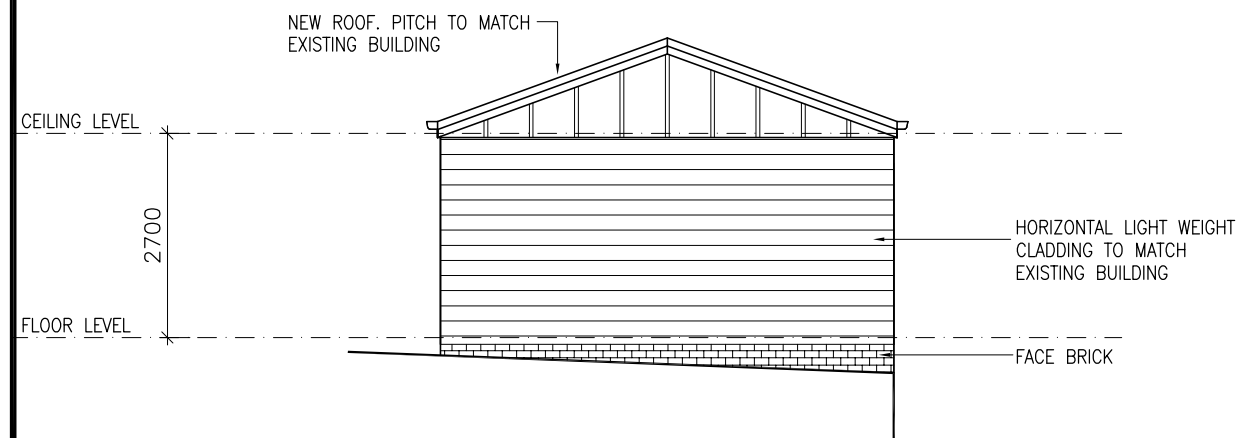
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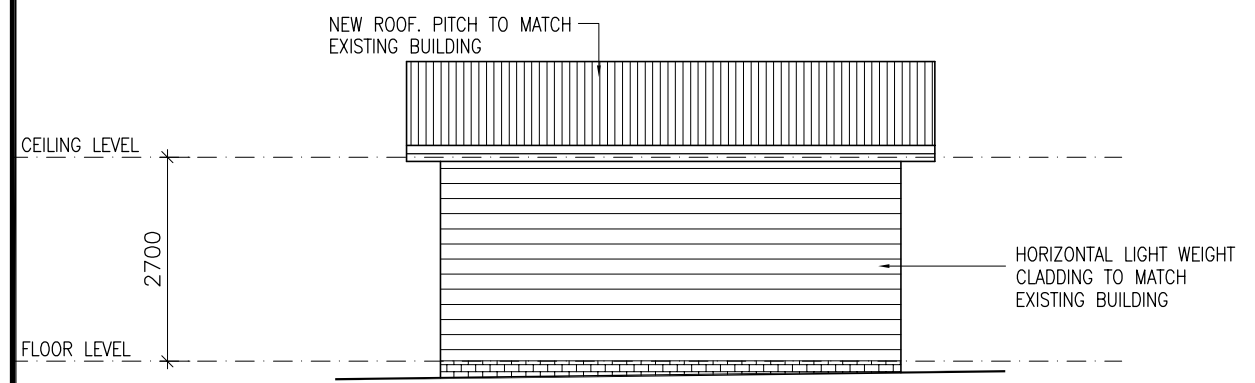
AJ - ARTICULATION/ CONTROL JOINTS




## NORTHERN ELEVATION GARAGE



## EASTERN ELEVATION GARAGE



## SOUTHERN ELEVATION GARAGE

 0401 002 099 info@ecorate.com.au www.ecorate.com.au	<b>SUMMARY OF BASIX COMMITMENTS</b> This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au									
	The following specification details the requirements to achieve BASIX Compliance as indicated on the Basis Report. Once the development is approved by Council, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, or need further information, please contact ecoRATE Australia immediately.									
<b>WATER COMMITMENTS</b> New or altered fixture requirements: Shower Heads must have a flow rate no greater than 9 L per minute or a 3 Star Rating Toilets must have a flow rate no greater than 4L per avg flush or a min 3 Star Rating Taps must have a flow rate no greater than 9 L per minute or a 3 Star Rating										
<b>LIGHTING COMMITMENTS</b> A min of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps										
Hot Water: Gas Instantaneous										
Ventilation to external wall/Eave										
<b>CONSTRUCTION AND INSULATION REQUIREMENTS</b> Existing										
<table border="1"> <thead> <tr> <th>Windows</th> <th>Glass and frame type</th> <th>U/SHGC</th> <th>Area sq m</th> </tr> </thead> <tbody> <tr> <td>Generic</td> <td>Single clear Aluminium</td> <td>U - 7.63 SHGC - 0.75</td> <td>As drawn</td> </tr> </tbody> </table> <p>U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 10% higher or lower than the above figures.</p>			Windows	Glass and frame type	U/SHGC	Area sq m	Generic	Single clear Aluminium	U - 7.63 SHGC - 0.75	As drawn
Windows	Glass and frame type	U/SHGC	Area sq m							
Generic	Single clear Aluminium	U - 7.63 SHGC - 0.75	As drawn							
<b>Fixed shading Eaves - Other</b> Eaves incl gutter, Verandahs, Pergolas (type and description) Shaded areas and shade devices as drawn										


**BASIX** Building Sustainability Index

BASIX Help Line: 1300 650 908  
Weekdays: 2:00pm - 5:00pm

Planning Department of Planning & Environment,  
23-27 Bridge Street, Sydney NSW 2000  
GPO Box 39, Sydney NSW 2001

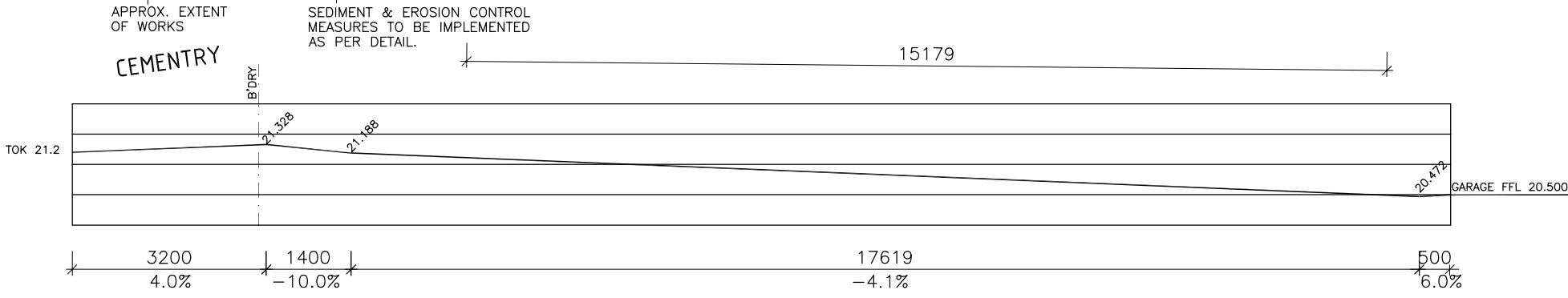
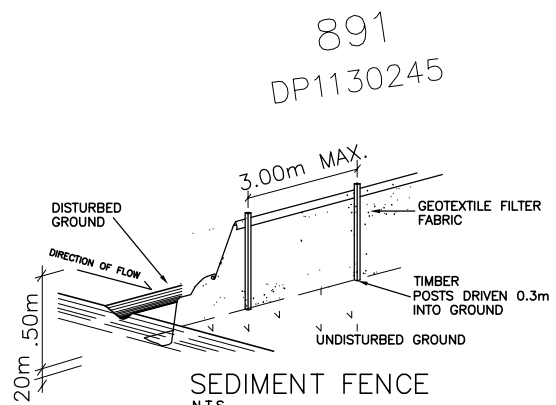
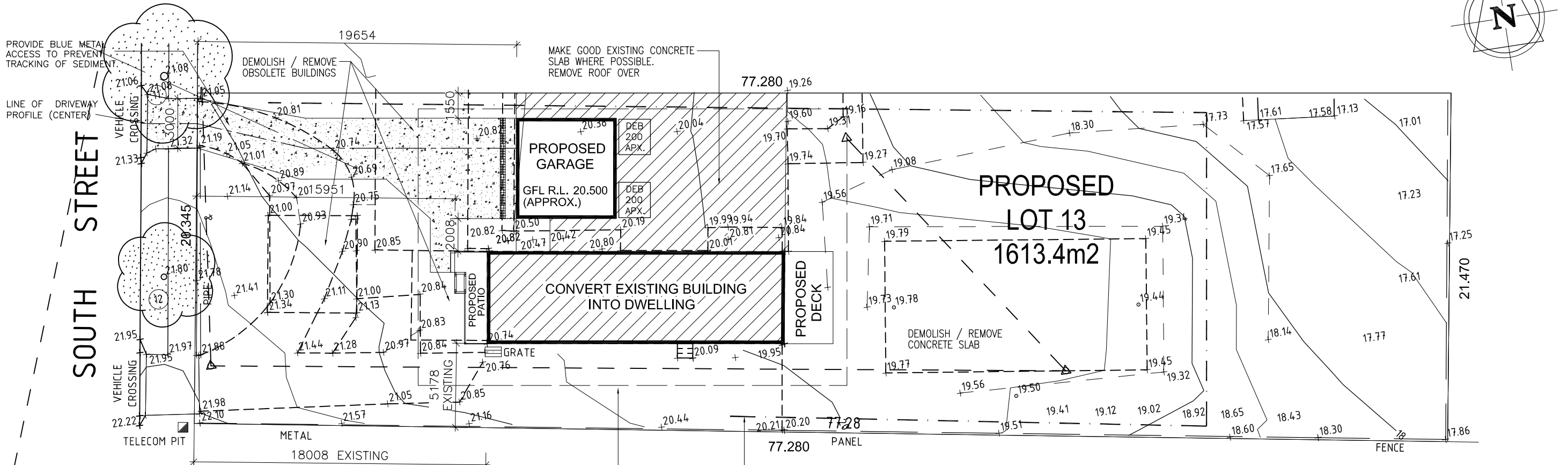
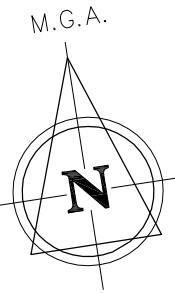
Email: basix@planning.nsw.gov.au

## BASIX REQUIREMENTS

 DESIGNED BY PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT							CLIENT <b>L &amp; K JARVIS</b>	DESIGN <b>CUSTOM</b>	
							SITE ADDRESS <b>LOT 1 DP 549948          97 SOUTH STREET TELARAH NSW 2320</b>	SHEET <b>S 17</b>	REV. <b>1</b>
1 ES 11.05.22 ORIGINAL ISSUE						*COPYRIGHT © All rights reserved. No part of this plan may be reproduced, stored in a retrieval system or transmitted in any form or by any means electronic, mechanical, photocopying, recording or otherwise without the written permission of URBAN LIVING SOLUTIONS.			
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\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



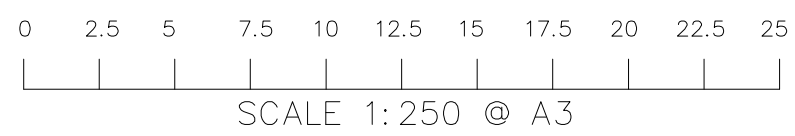
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NOTE: ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE.

==== EXISTING TO BE REMOVED

**LOT 13  
PROPOSED  
SITE PLAN**

SCALE 1:250



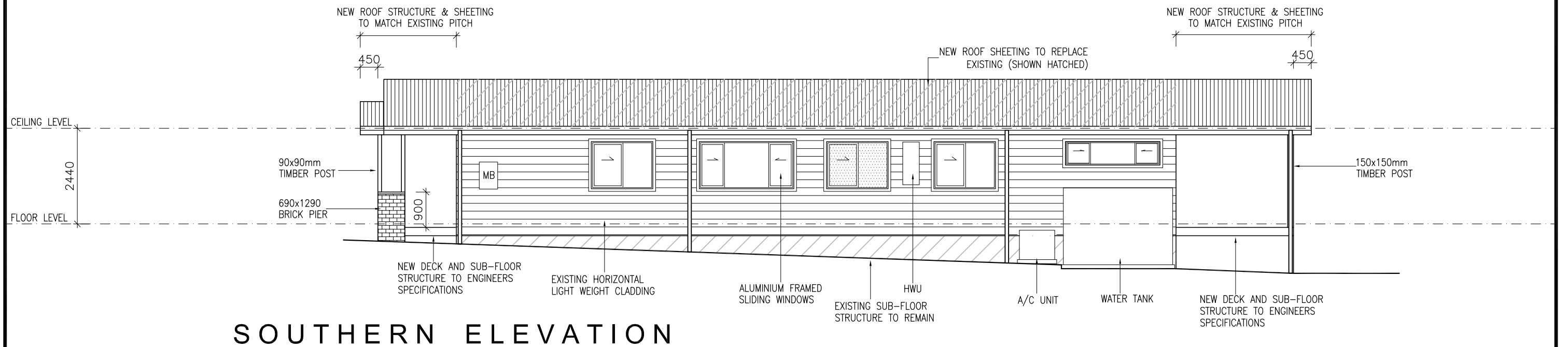
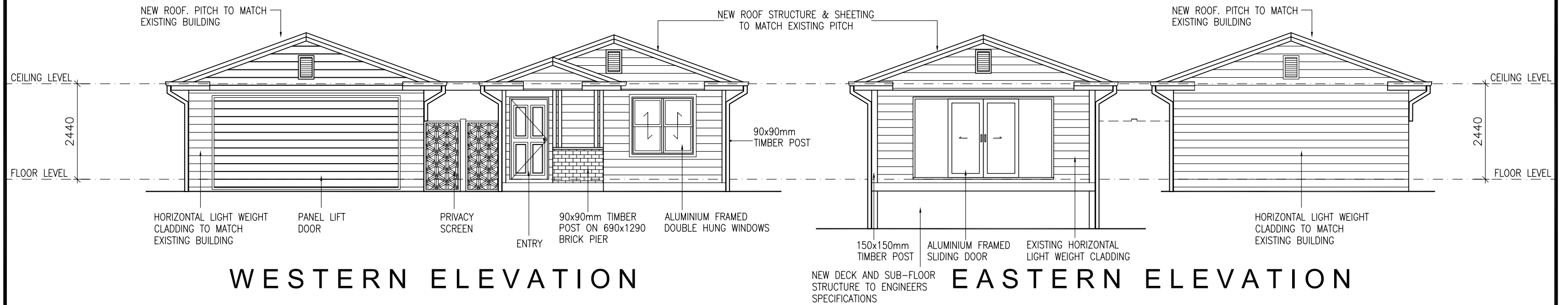
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ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT


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DESIGNED BY <b>L &amp; K JARVIS</b>		DESIGN <b>CUSTOM</b>	
SITE ADDRESS LOT 1 DP 549948 97 SOUTH STREET TELARAH NSW 2320		SHEET <b>S 20</b>	REV. <b>1</b>
JOB No. <b>22/051</b>		SCALE 1:250	

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

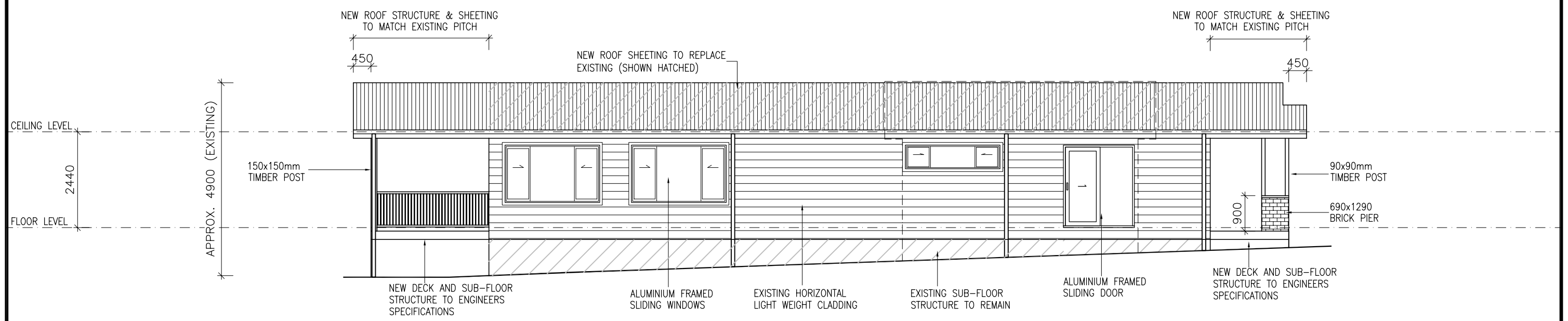
AJ - ARTICULATION/ CONTROL JOINTS



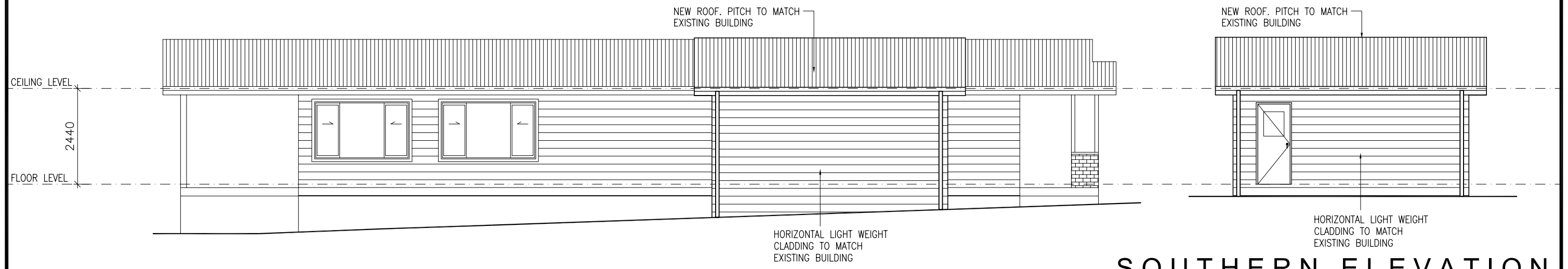
 <p>DESIGNED BY</p> <p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au</p> <p>ENERGY SMART DESIGN, DEVELOPMENT &amp; ASSESSMENT</p>							CLIENT <b>L &amp; K JARVIS</b>	DESIGN CUSTOM		
							SITE ADDRESS LOT 1 DP 549948 97 SOUTH STREET TELARAH NSW 2320	SHEET <b>S 23</b>	REV. <b>1</b>	JOB No. <b>22/051</b>
	REV. 1 DRAWN ES DATE 11.05.22 DESCRIPTION ORIGINAL ISSUE				REV. 1 DRAWN DATE DESCRIPTION			SCALE 1:100	*COPYRIGHT © All rights reserved. No part of this plan may be reproduced, stored in a retrieval system or transmitted in any form or by any means electronic, mechanical, photocopying, recording or otherwise without the written permission of URBAN LIVING SOLUTIONS.*	

\* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

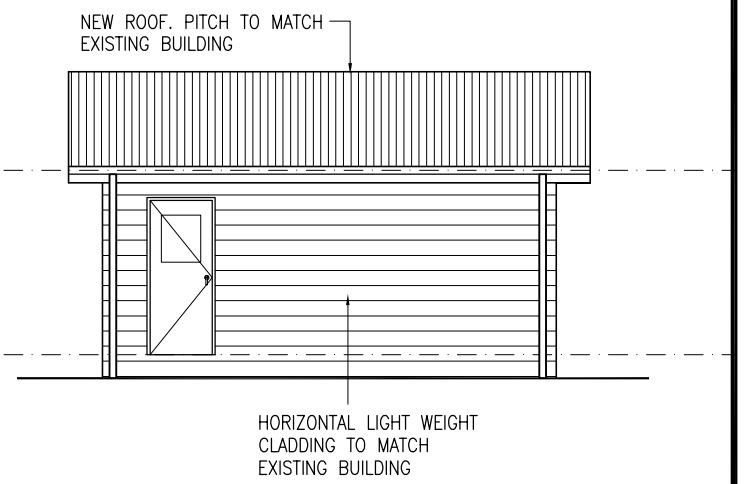
AJ - ARTICULATION/ CONTROL JOINTS




NORTHERN ELEVATION



NORTHERN ELEVATION WITH GARAGE



SOUTHERN ELEVATION GARAGE

 <p>DESIGNED BY</p>							CLIENT L & K JARVIS	DESIGN CUSTOM		
							SITE ADDRESS LOT 1 DP 549948 97 SOUTH STREET TELARAH NSW 2320	SHEET <b>S 24</b>	REV. <b>1</b>	JOB No. <b>22/051</b>
1	ES	11.05.22	ORIGINAL ISSUE				*COPYRIGHT © All rights reserved. No part of this plan may be reproduced, stored in a retrieval system or transmitted in any form or by any means electronic, mechanical, photocopying, recording or otherwise without the written permission of URBAN LIVING SOLUTIONS.*			
REV.	DRAWN	DATE	DESCRIPTION	REV.	DRAWN	DATE	DESCRIPTION	SCALE 1:100		