

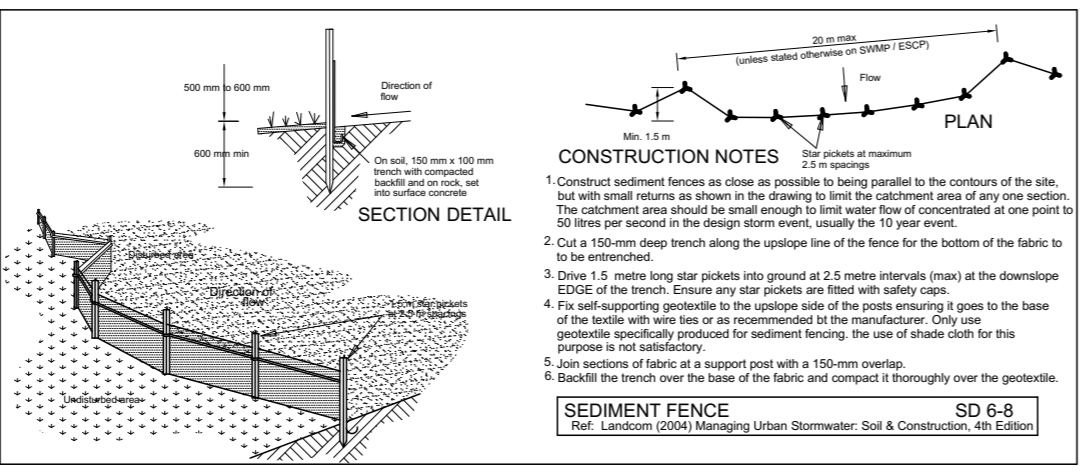
SITE CALCULATIONS	
SITE AREA	30.6 ha 306000m <sup>2</sup>
<b>VILLAS</b>	
SITE COVERAGE	243 & 268 m <sup>2</sup>
TOTAL SITE COVERAGE	11946 m <sup>2</sup>
FSR	3.9 %
FSR	0.03 : 1
<b>TOTALS</b>	
SITE COVERAGE	32922 m <sup>2</sup>
FSR	10.7 %
FSR	0.03 : 1
LANDSCAPE AREA	89.2%

**STAGING LEGEND**

	<b>STAGE 1a</b> EARTHWORKS ACCESS DRIVEWAYS INTERSECTION SITE ENTRY		<b>STAGE 1b</b> DRIVEWAYS WASTE STORAGE AREA COMMUNITY CENTRE MENS SHED SITE OFFICE COMM. CENTRE CARPARK VILLA CONSTRUCTION UNITS 31-42 57-64 TOTAL 20 UNITS		<b>STAGE 2</b> DRIVEWAYS VILLA CONSTRUCTION UNITS 65-72 85-100 113-120 TOTAL 32 UNITS		<b>STAGE 3</b> DRIVEWAYS UNITS 121-128 144-156 169-176 TOTAL 32 UNITS		<b>STAGE 4</b> DRIVEWAYS UNITS 157-158 161-164 173-176 TOTAL 10 UNITS
--	---	--	---	--	---	--	---	--	---

**PRECINCT 1  
STAGES 1 - 4**

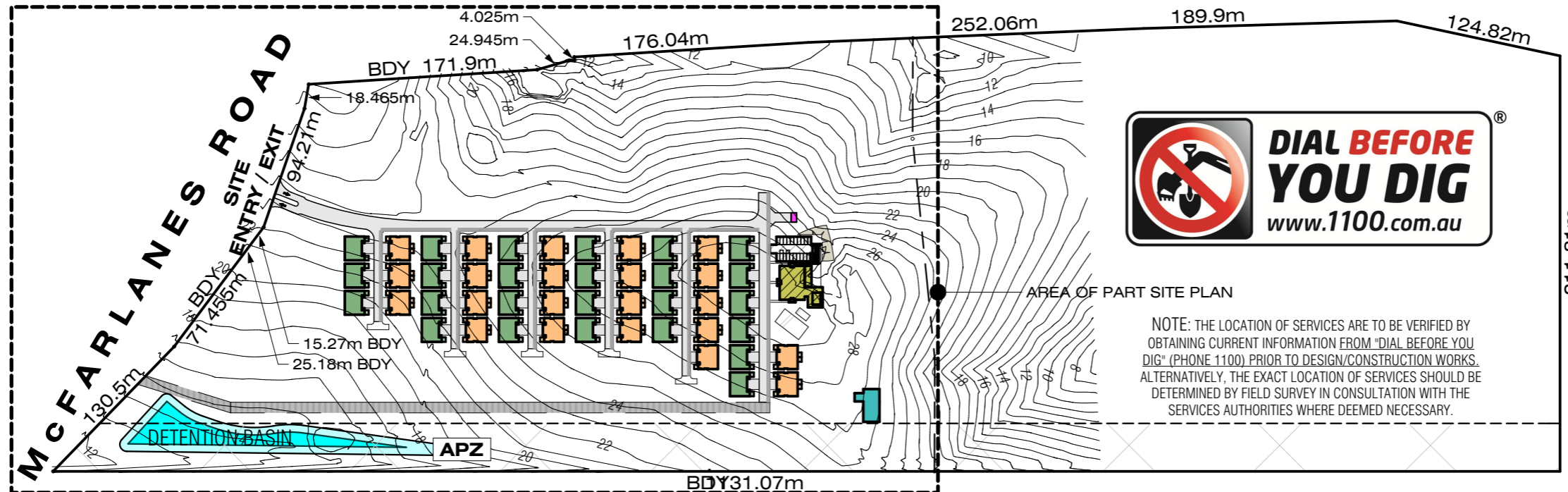
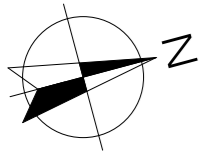
November 2020	BSA Reference: 15839			
Building Sustainability Assessments	Ph: (02) 4962 3439			
enquiries@buildingsustainability.net.au	www.buildingsustainability.net.au			
<b>Important Note</b>				
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification.				
If different construction elements are applied then the Assessor Certificate is no longer valid.				
<b>Thermal Performance Specifications (does not apply to garage)</b>				
<b>External Wall Construction</b>	Added Insulation			
Lightweight	R1.5			
150mm AFS + Plasterboard	R1.5			
<b>Internal Wall Construction</b>	Added Insulation			
Plasterboard on studs	R1.5 to walls adjacent to garage			
Plasterboard + studs + shaft liner + studs + Plasterboard (party walls)	None			
<b>Ceiling Construction</b>	Added Insulation			
Plasterboard	R3.5 to ceilings adjacent to roof space			
<b>Roof Construction</b>	Colour			
Aluminium Type A Single clear	As drawn			
	Foil			
<b>Floor Construction</b>	Covering			
Concrete	As drawn			
	None			
<b>Windows</b>	Glass and frame type	U Value	SHGC Range	Area sq.m
ALM-001-01 A	Aluminium Type A Single clear	6.70	0.51 - 0.63	As drawn
ALM-002-01 A	Aluminium Type B Single clear	6.70	0.63 - 0.77	As drawn
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors				
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers				
<b>Skylights</b>	Glass and frame type	U Value	SHGC	Area sq.m
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified				
<b>External Window Shading</b> (eaves, verandahs, pergolas, awnings etc)				
All shade elements modelled as drawn				
<b>Ceiling Penetrations</b> (downlights, exhaust fans, flues etc)				
No adjustment has been made for losses to insulation arising from ceiling penetrations.				



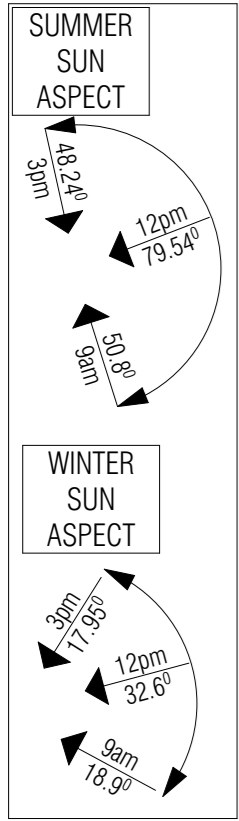
**SEDIMENTATION NOTES**

SITE WORKS ARE NOT TO START UNTIL THE EROSION AND SEDIMENTATION CONTROL MEASURES ARE INSTALLED AND FUNCTIONAL.  
 ENTRY AND DEPARTURE OF VEHICLES IS TO BE CONFINED TO THE NOMINATED EXISTING VEHICLE ACCESS OR STABILISED SITE ACCESS.  
 TOPSOIL IS TO BE STRIPPED FROM BUILDING SITE AND STOCKPILED FOR LATER USE IN LANDSCAPING THE SITE.  
 TOPSOIL IS TO BE RESPREAD AND ALL DISTURBED AREAS REHABILITATED (TURFED) WITHIN 20 WORKING DAYS OF COMPLETION OF WORKS.  
 THE FOOTPATH, OTHER HTAN STABILISED SITE ACCESS, IS NOT TO BE DISTURBED, INCLUDING STOCKPIILING OF MATERIALS.  
 WHERE ESSENTIAL WORKS (eg DRAINAGE) ARE REQUIRED, THE FOOTPATH IS TO BE REHABILITATED (TURFED) AS SOON AS POSSIBLE.  
 WASTE ENCLOSURE MINIMUM 1800 x 1800 x 1200 CONSTRUCTED USING STAR PICKETS AND 1200mm HIGH WEED CONTROL MAT ARRANGEMENTS ARE TO BE MADE FOR REGULAR COLLECTION AND DISPOSAL OR RECYCLING OF CONSTRUCTION WASTE. ROOF DOWNPIPES TO BE CONNECTED TO STREET KERB OR OTHER STORMWATER DISPOSAL SYSTEM ON COMPLETION OF ROOF AND GLUTTERING.  
 ALL SEDIMENTATION CONTROLS ARE TO BE CHECKED DAILY (AT A MINIMUM WEEKLY) AND AFTER ALL RAIN EVENTS.  
 ALL STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY TO ENSURE THEY ARE MAINTAINED IN FULL FUNCTIONAL CONDITION.

SEC 96 20/03/21	ISSUED FOR COUNCIL SUBMISSION	
ISSUE	DATE	AMENDMENT
<b>BLACKDRAFT</b> architectural design blackdraft333@gmail.com mob 0449 758 866 abn 53 392 045 355		
<b>PROJECT</b>		
<b>MCFARLANES GARDENS RETIREMENT VILLAGE</b>		
<b>LOCATION</b>		
40 MCFARLANES ROAD LOT 1 DP 797227 LOTS 13 & 14 DP 1122688 BERRY PARK		
<b>CLIENT</b>		
TEAKMILL Pty Ltd		
<b>DRAWING</b>		
<b>STAGING PLAN</b>		
<b>SCALE</b>	<b>AS SHOWN</b>	<b>DRAWN</b>
		<b>MLB</b>
<b>DATE</b>	<b>25/06/22</b>	<b>ISSUE</b>
		<b>SEC 4.55(2) PRECINCT 1</b>
<b>DWG No.</b>	<b>002</b>	
<b>SHEET</b>	<b>002 / 33</b>	<b>JOB No.</b>
		<b>TOC1904</b>



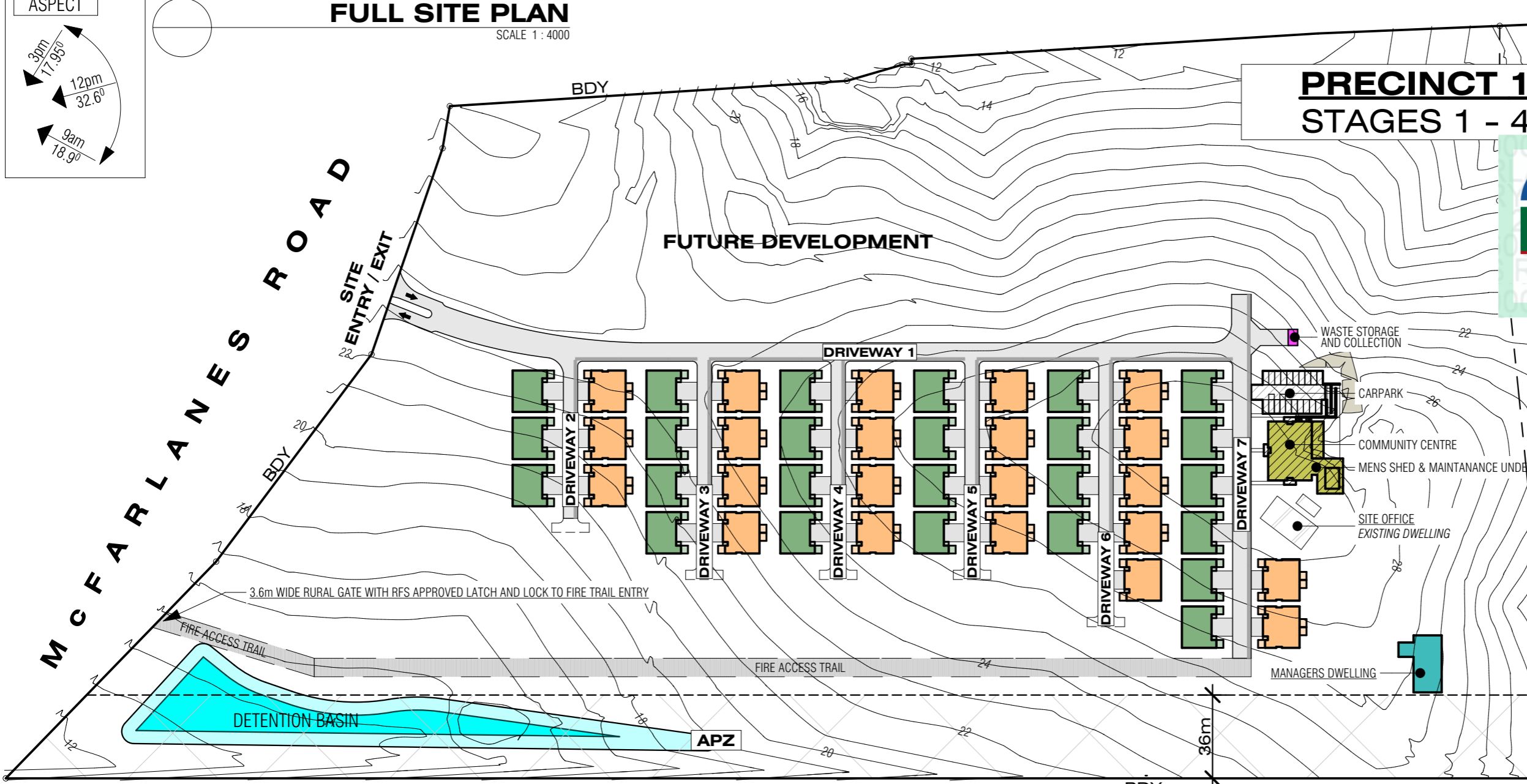
**FULL SITE PLAN**  
SCALE 1 : 4000



NOTE: THE LOCATION OF SERVICES ARE TO BE VERIFIED BY OBTAINING CURRENT INFORMATION FROM "DIAL BEFORE YOU DIG" (PHONE 1100) PRIOR TO DESIGN/CONSTRUCTION WORKS. ALTERNATIVELY, THE EXACT LOCATION OF SERVICES SHOULD BE DETERMINED BY FIELD SURVEY IN CONSULTATION WITH THE SERVICES AUTHORITIES WHERE DEEMED NECESSARY.

**LEGEND**

- VILLA TYPE 1 52
- VILLA TYPE 2 42
- TOTAL UNITS 52 + 42 = 94
- CLOTHES LINE
- WASTE STORAGE AREA
- MANAGERS DWELLING
- RETAINING WALL
- CUT / FILL BATTER
- DETENTION BASIN
- FENCE/SCREEN
- MANAGERS RESIDENCE EXIST. DWELLING
- COMMUNITY CENTRE

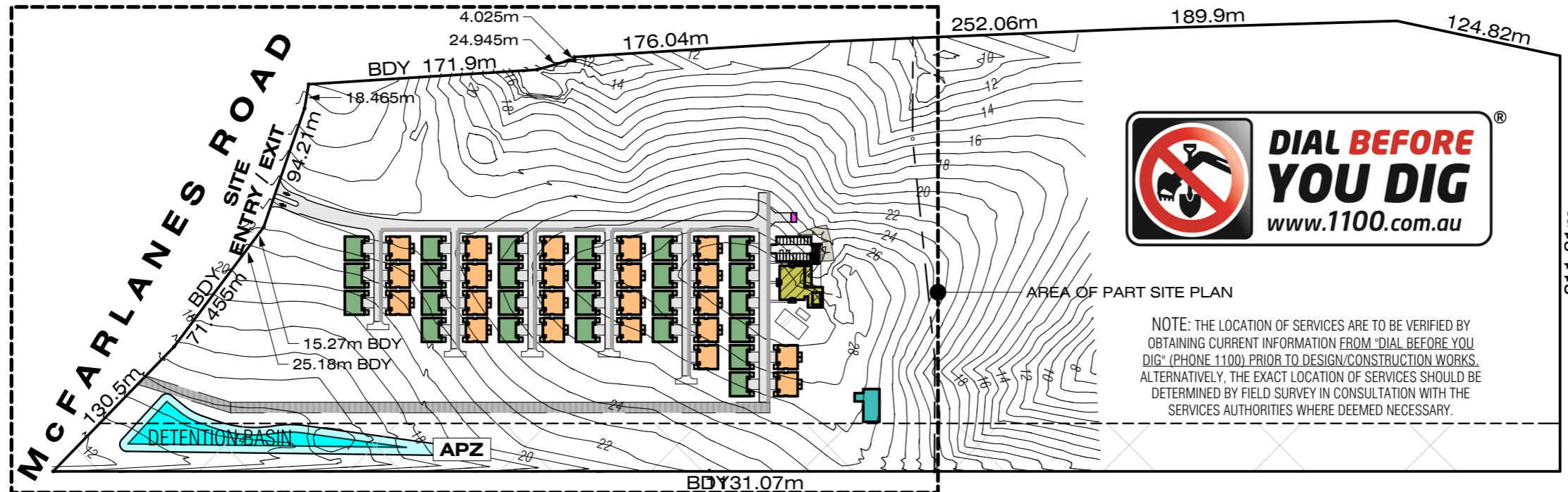
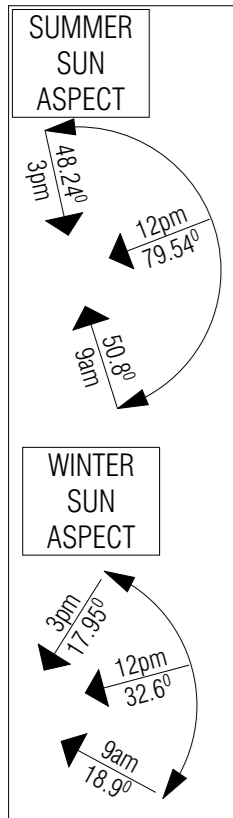
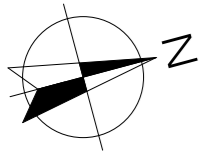


**PART SITE PLAN**  
SCALE 1 : 2000

**PRECINCT 1 STAGES 1 - 4**

0005426000 24 Jun 2022  
 Assessor Gavin Chambers  
 Accreditation No. DMN/13/1491  
 Address 40 McFarlanes Road, Berry Park, NSW, 2321  
 hstar.com.au

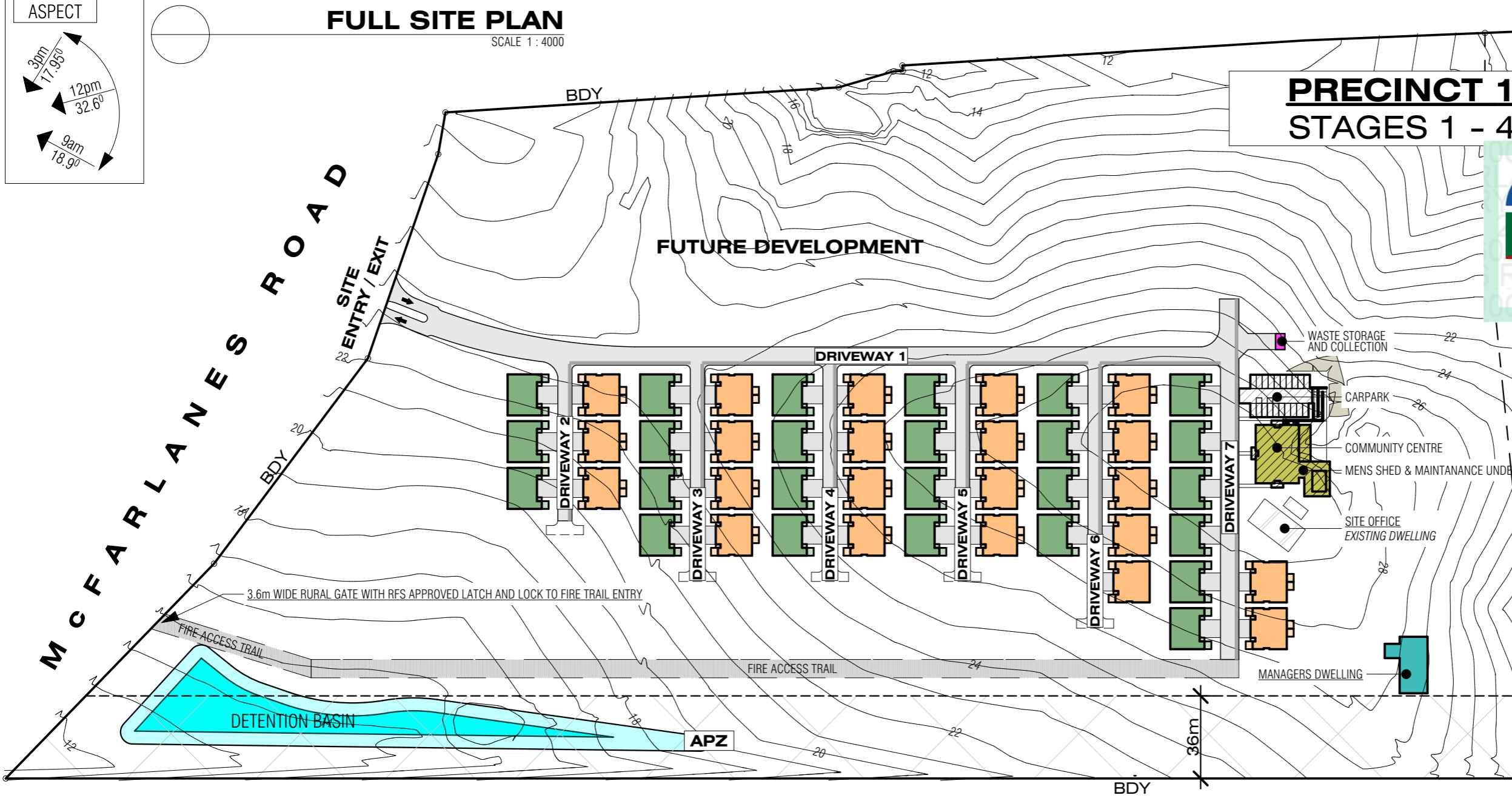
SEC 96	20/03/21	ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT
<b>BLACKDRAFT</b> architectural design blackdraft333@gmail.com mob 0449 758 866 abn 53 392 045 355		
PROJECT	<b>McFARLANES GARDENS RETIREMENT VILLAGE</b>	
LOCATION	40 McFARLANES ROAD LOT 1 DP 797227 LOTS 13 & 14 DP 1122688 BERRY PARK	
CLIENT	TEAKMILL Pty Ltd	
DRAWING	<b>FULL &amp; PART SITE PLANS</b>	
SCALE	AS SHOWN	DRAWN MLB
DATE	25/06/22	ISSUE SEC 4.55(2) PRECINCT 1
DWG No.	<b>003</b>	
SHEET	003 / 33	JOB No. TOC1904



NOTE: THE LOCATION OF SERVICES ARE TO BE VERIFIED BY OBTAINING CURRENT INFORMATION FROM "DIAL BEFORE YOU DIG" (PHONE 1100) PRIOR TO DESIGN/CONSTRUCTION WORKS. ALTERNATIVELY, THE EXACT LOCATION OF SERVICES SHOULD BE DETERMINED BY FIELD SURVEY IN CONSULTATION WITH THE SERVICES AUTHORITIES WHERE DEEMED NECESSARY.

**LEGEND**

- VILLA TYPE 1 52
- VILLA TYPE 2 42
- TOTAL UNITS 52 + 42 = 94
- CLOTHES LINE
- WASTE STORAGE AREA
- MANAGERS DWELLING
- RETAINING WALL
- CUT / FILL BATTER
- DETENTION BASIN
- FENCE/SCREEN
- MANAGERS RESIDENCE EXIST. DWELLING
- COMMUNITY CENTRE

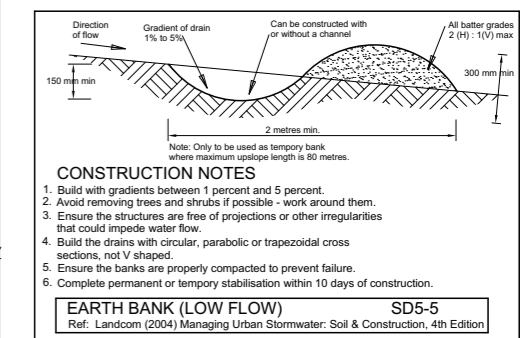
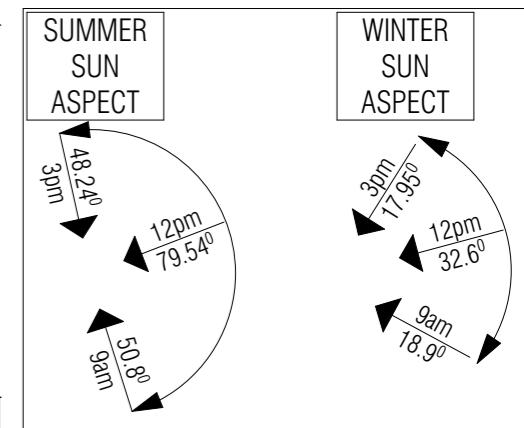
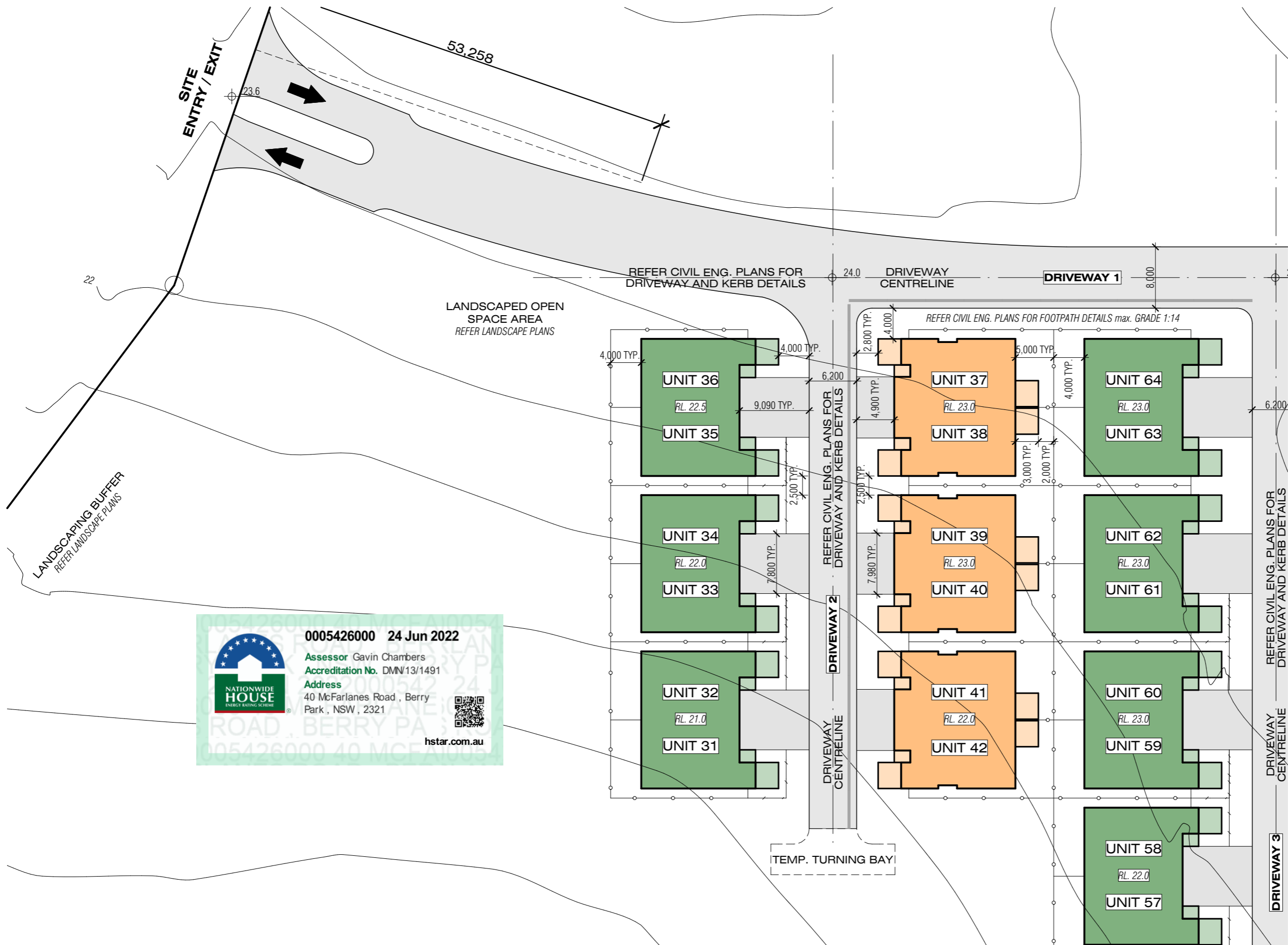
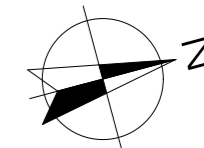


**PRECINCT 1 STAGES 1 - 4**

0005426000 24 Jun 2022  
 Assessor Gavin Chambers  
 Accreditation No. DMN/13/1491  
 Address 40 McFarlanes Road, Berry Park, NSW, 2321  
 hstar.com.au

SEC 96	20/03/21	ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT
<b>BLACKDRAFT</b> architectural design blackdraft333@gmail.com mob 0449 758 866 abn 53 392 045 355		
PROJECT	<b>McFARLANES GARDENS RETIREMENT VILLAGE</b>	
LOCATION	40 McFARLANES ROAD LOT 1 DP 797227 LOTS 13 & 14 DP 1122688 BERRY PARK	
CLIENT	TEAKMILL Pty Ltd	
DRAWING	<b>FULL &amp; PART SITE PLANS</b>	
SCALE	AS SHOWN	DRAWN MLB
DATE	25/06/22	ISSUE SEC 4.55(2) PRECINCT 1
DWG No.	<b>003</b>	
SHEET	003 / 33	JOB No. TOC1904

# PRECINCT 1 STAGES 1 - 4



0005426000 24 Jun 2022

**Assessor** Gavin Chambers  
**Accreditation No.** DMN/13/1491  
**Address** 40 McFarlanes Road, Berry Park, NSW, 2321

**NATIONWIDE HOUSE ENERGY RATING SCHEME**

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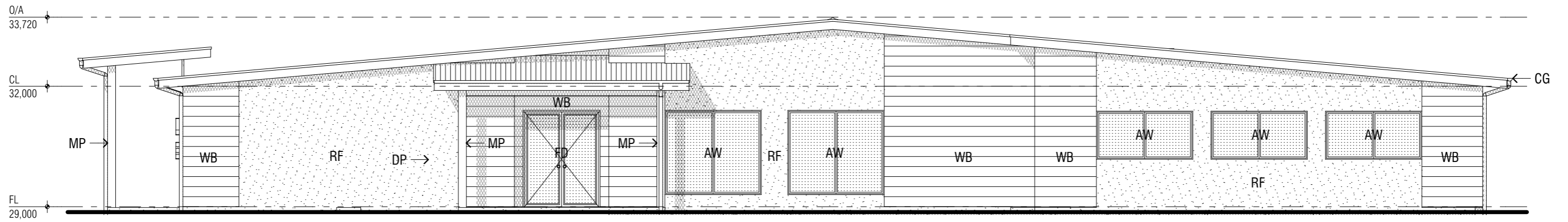
SEC 96 20/03/21 ISSUED FOR COUNCIL SUBMISSION	
ISSUE	DATE AMENDMENT
<b>BLACKDRAFT</b> architectural design blackdraft333@gmail.com mob 0449 758 866 abn 53 392 045 355	
<b>PROJECT</b> <b>McFARLANES GARDENS RETIREMENT VILLAGE</b>	
<b>LOCATION</b> 40 McFARLANES ROAD LOT 1 DP 797227 LOTS 13 & 14 DP 1122688 BERRY PARK	
<b>CLIENT</b> TEAKMILL Pty Ltd	
<b>DRAWING</b> <b>PART SITE PLAN 1</b>	
<b>SCALE</b> AS SHOWN	<b>DRAWN</b> MLB
<b>DATE</b> 25/06/22	<b>ISSUE</b> SEC 4.55(2) PRECINCT 1
<b>DWG No.</b> 004	
<b>SHEET</b> 004 / 33	<b>JOB No.</b> TOC1904

## DETAIL SITE PLAN 1

SCALE 1 : 500

ACCESS NOTE: ALL PATHS AND BUILDING ACCESS TO COMPLY WITH THE REQUIREMENTS FOR SENIORS HOUSING SEPP MAXIMUM 1 : 14 GRADE.

# PRECINCT 1 STAGES 1 - 4

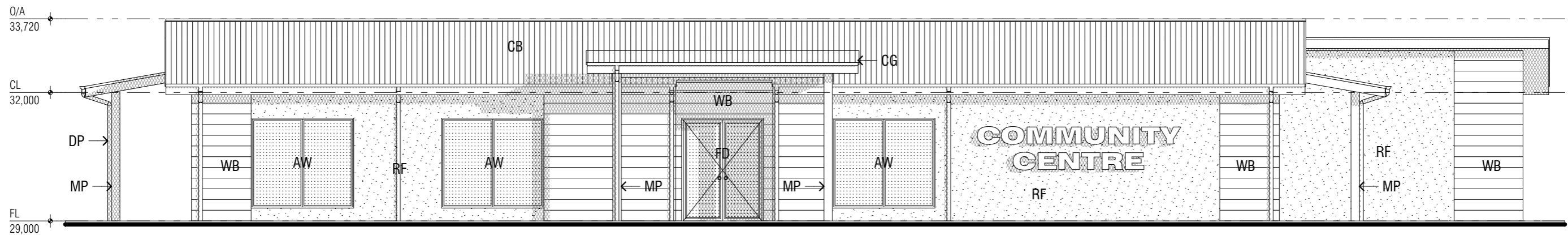


**ELEVATION A**  
SCALE 1 : 100

NOTE: SHADOWS DO NOT REPRESENT ACTUAL SUN POSITION, THEY ARE COSMETIC ONLY.

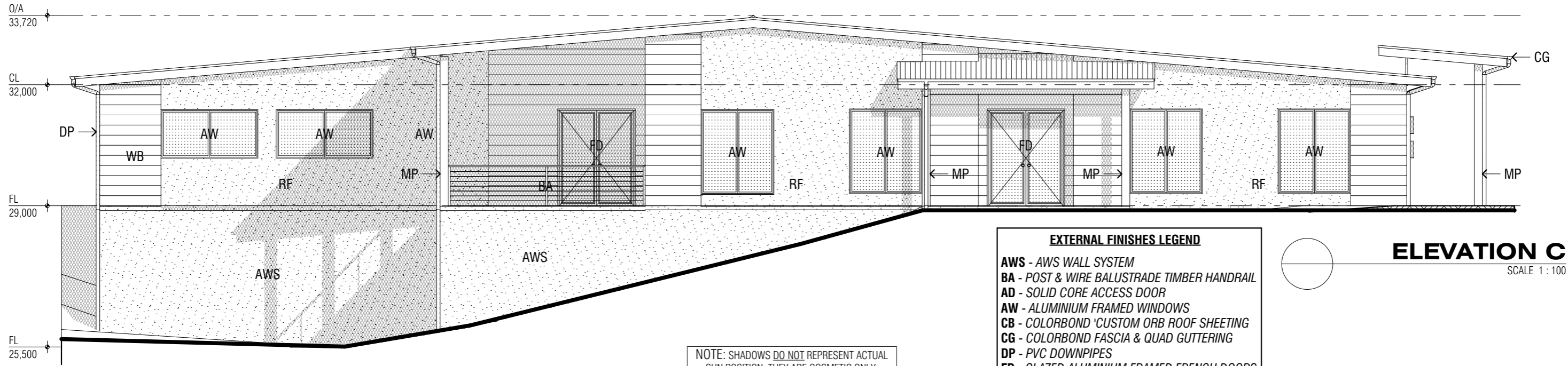
**EXTERNAL FINISHES LEGEND**

- AWS** - AWS WALL SYSTEM
- BA** - POST & WIRE BALUSTRADE TIMBER HANDRAIL
- AD** - SOLID CORE ACCESS DOOR
- AW** - ALUMINIUM FRAMED WINDOWS
- CB** - COLORBOND 'CUSTOM ORB' ROOF SHEETING
- CG** - COLORBOND FASCIA & QUAD GUTTERING
- DP** - PVC DOWNPIPES
- FD** - GLAZED ALUMINIUM FRAMED FRENCH DOORS
- GD** - GARAGE ROLLER DOORS
- MP** - 200sq. MERBAU TIMBER POSTS
- RF** - PRERENDERED BOARD WALL CLADDING
- TD** - SOLID CORE TIMBER FRONT DOOR
- WB** - SCYON 'STRIA' WEATHERBOARD CLADDING



**ELEVATION B**  
SCALE 1 : 100

# PRECINCT 1 STAGES 1 - 4

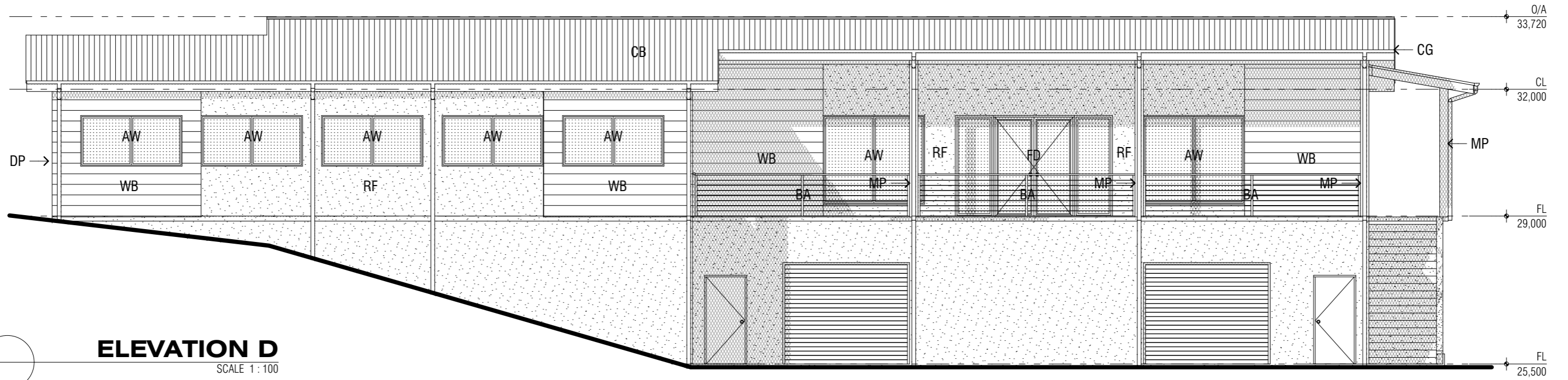


NOTE: SHADOWS DO NOT REPRESENT ACTUAL SUN POSITION, THEY ARE COSMETIC ONLY.

- EXTERNAL FINISHES LEGEND**
- AWS** - AWS WALL SYSTEM
  - BA** - POST & WIRE BALUSTRADE TIMBER HANDRAIL
  - AD** - SOLID CORE ACCESS DOOR
  - AW** - ALUMINIUM FRAMED WINDOWS
  - CB** - COLORBOND 'CUSTOM ORB ROOF SHEETING
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  - RF** - PRERENDERED BOARD WALL CLADDING
  - TD** - SOLID CORE TIMBER FRONT DOOR
  - WB** - SCYON 'STRIA' WEATHERBOARD CLADDING

**ELEVATION C**

SCALE 1:100



**ELEVATION D**

SCALE 1:100

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**BLACKDRAFT**  
architectural design  
blackdraft333@gmail.com  
mob 0449 75 88 66 abn 53 392 045 355

PROJECT **McFARLANES GARDENS  
RETIREMENT VILLAGE**  
LOCATION 40 McFARLANES ROAD  
BERRY PARK

CLIENT **TEAKMILL Pty Ltd**  
DRAWING **COMMUNITY CENTRE  
ELEVATIONS 2**

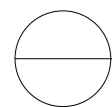
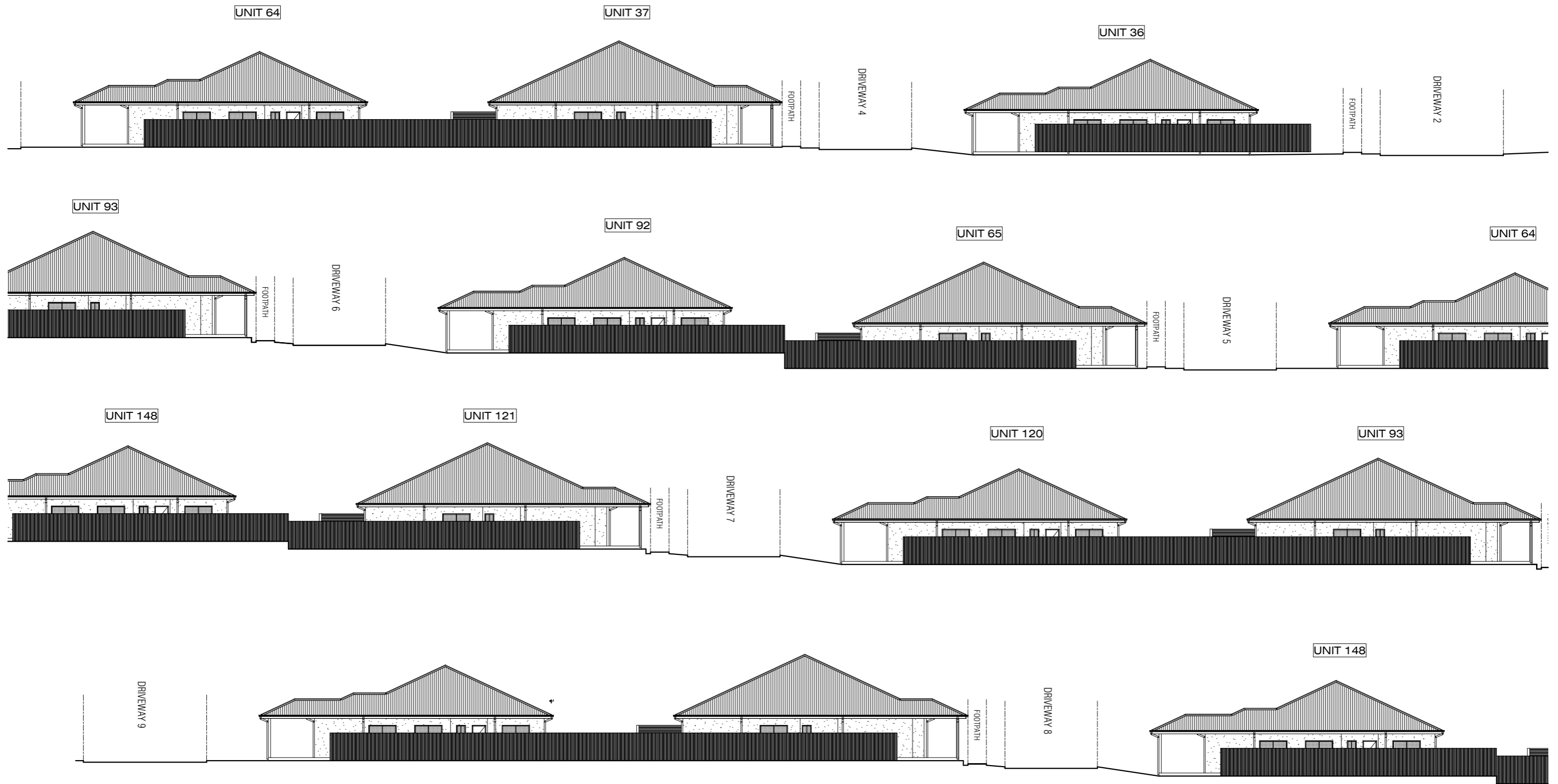
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DATE **20/06/2022**

SHEET **021 / 33**  
ISSUE **SEC 96  
PRECINCT 1**

DWG No. **021**  
JOB No. **TOC 190**

ISSUE	DATE	AMENDMENT

# PRECINCT 1 STAGES 1 - 4



**DRIVEWAY 1 STREETSCAPE TYP.** EAST  
SCALE 1 : 250

SEC 96 20 / 03 / 21 SEC 96 ISSUED FOR COUNCIL SUBMISSION  
ISSUE DATE AMENDMENT

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mob 0449 75 88 66 abn 53 392 045 355

PROJECT  
LOCATION

**McFARLANES GARDENS  
RETIREMENT VILLAGE**  
40 McFARLANES ROAD  
LOT 1 DP797227 LOT 13 & 14 DP 1122688  
BERRY PARK

CLIENT

**TEAKMILL Pty Ltd**  
DRAWING  
**STREETSCAPES 1**

DRAWN

**MLB**  
SCALE  
**AS SHOWN**

DATE

**20 / 03 / 21**  
ISSUE  
**SEC 96**

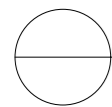
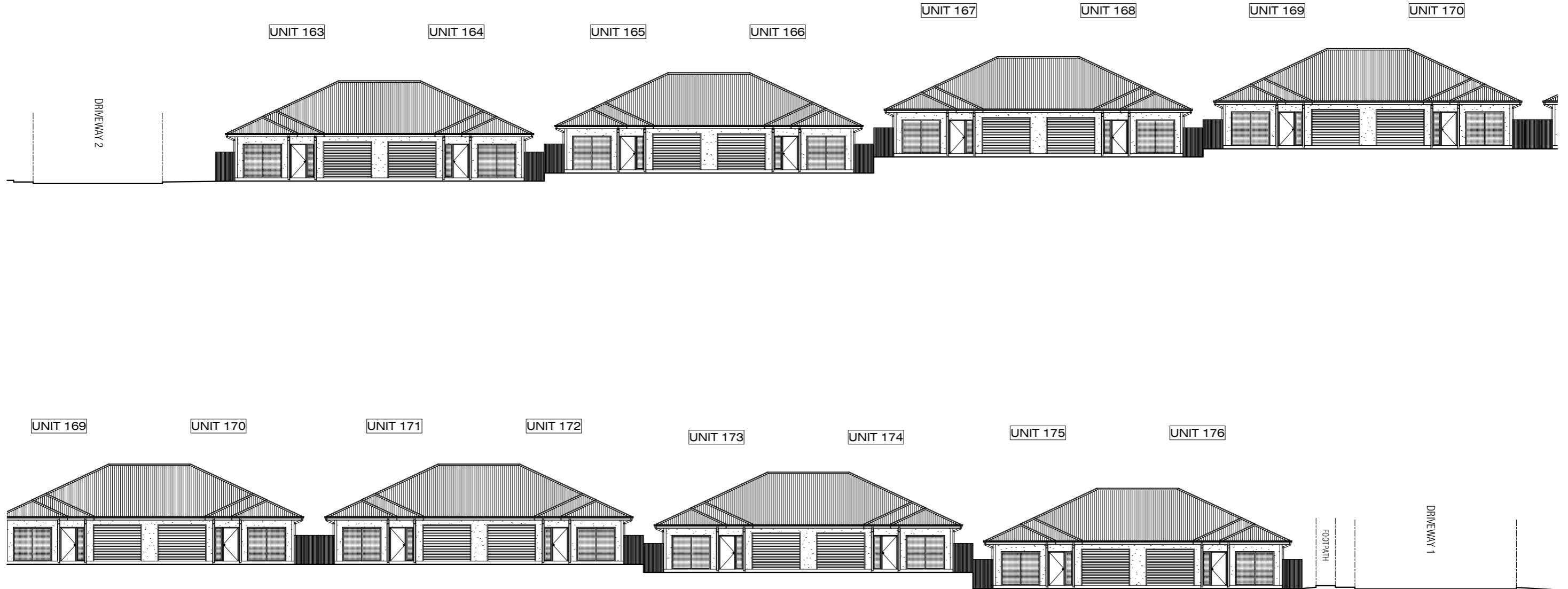
DWG No.

**024**

SHEET

**024 / 33**  
JOB No.  
**TOC1904**

# PRECINCT 1 STAGES 1 - 4



## DRIVEWAY 9 STREETSCAPE TYP. NORTH SCALE 1 : 500

SEC 96	20 / 03 / 21	SEC 96 ISSUED FOR COUNCIL SUBMISSION
ISSUE	DATE	AMENDMENT

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mob 0449 75 88 66 abn 53 392 045 355

PROJECT  
LOCATION

**McFARLANES GARDENS  
RETIREMENT VILLAGE**  
40 McFARLANES ROAD  
LOT 1 DP797227 LOT 13 & 14 DP 1122688  
BERRY PARK

CLIENT  
DRAWING

**TEAKMILL Pty Ltd**  
**STREETSCAPES 2**

DRAWN  
SCALE

**MLB**  
**AS SHOWN**

DATE  
ISSUE

**20 / 03 / 21**  
**SEC 96**

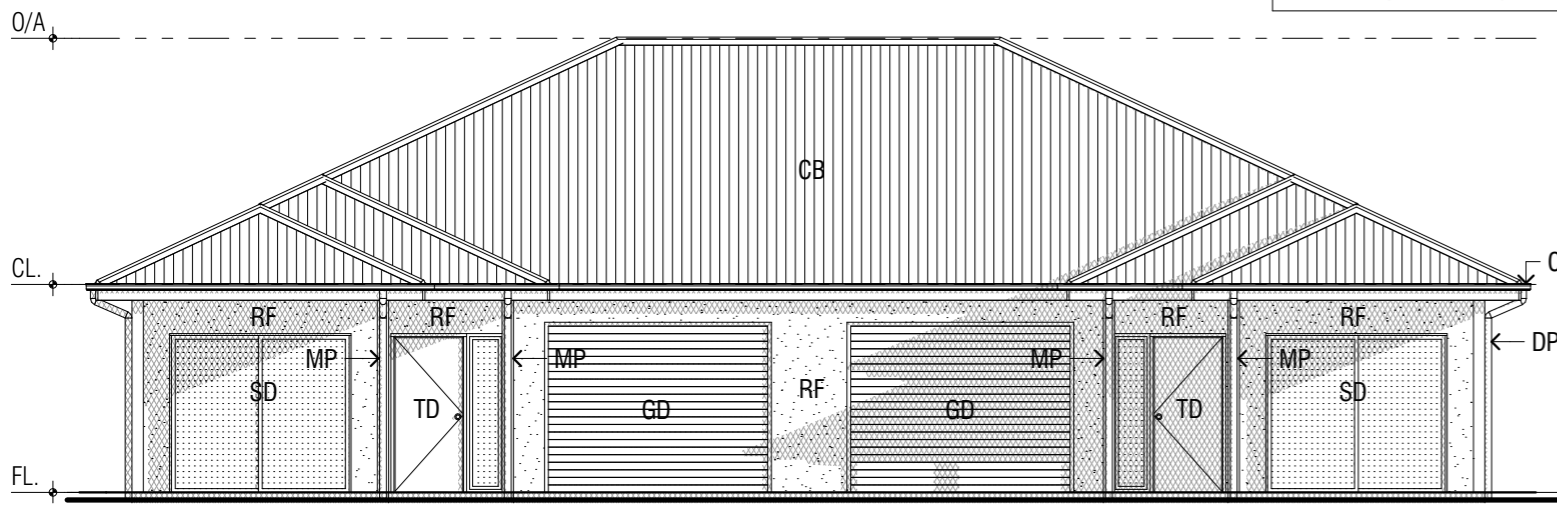
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**025**

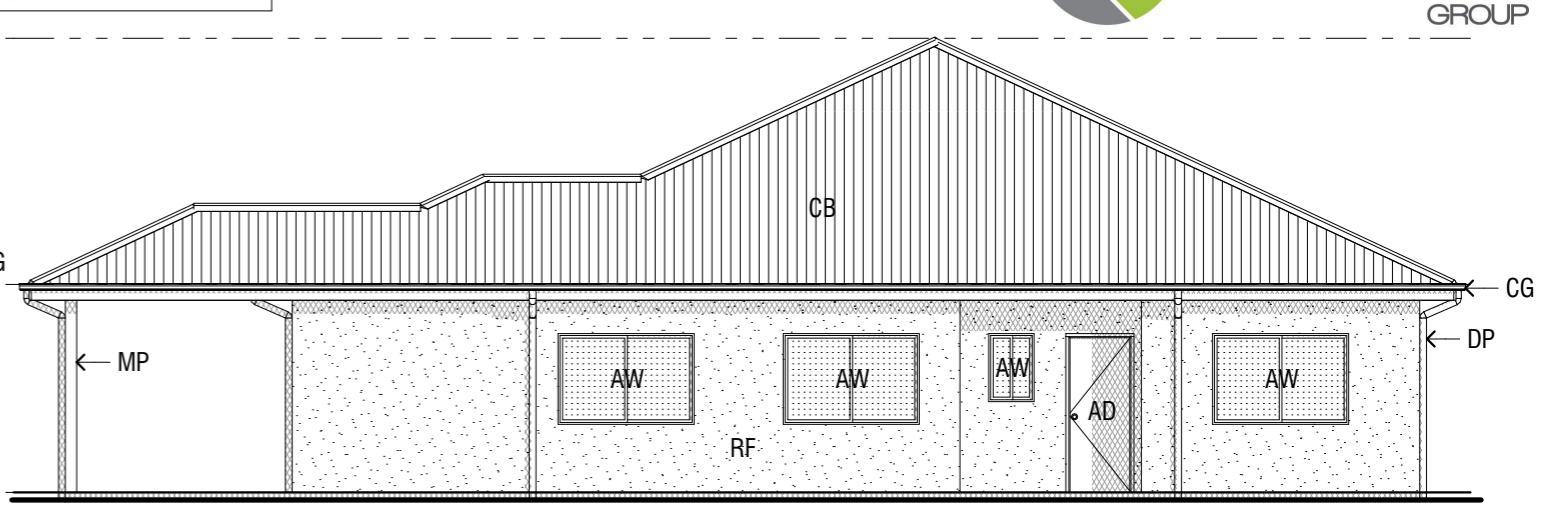
SHEET

**025 / 33**  
JOB No.  
**TOC1904**

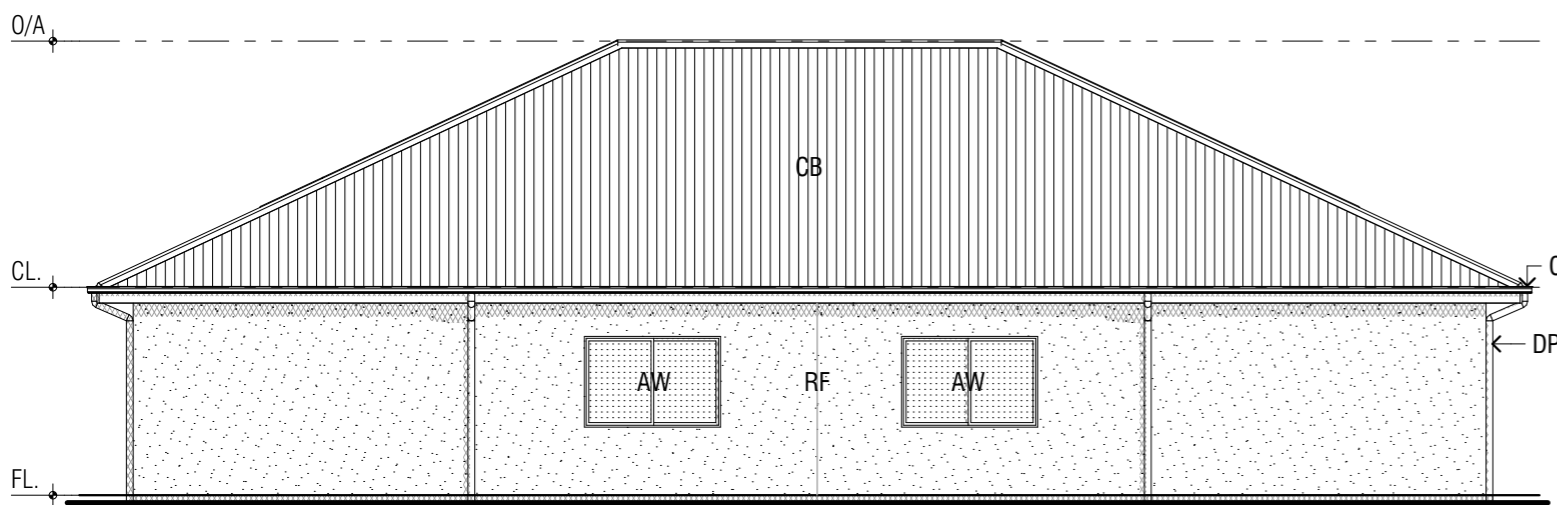




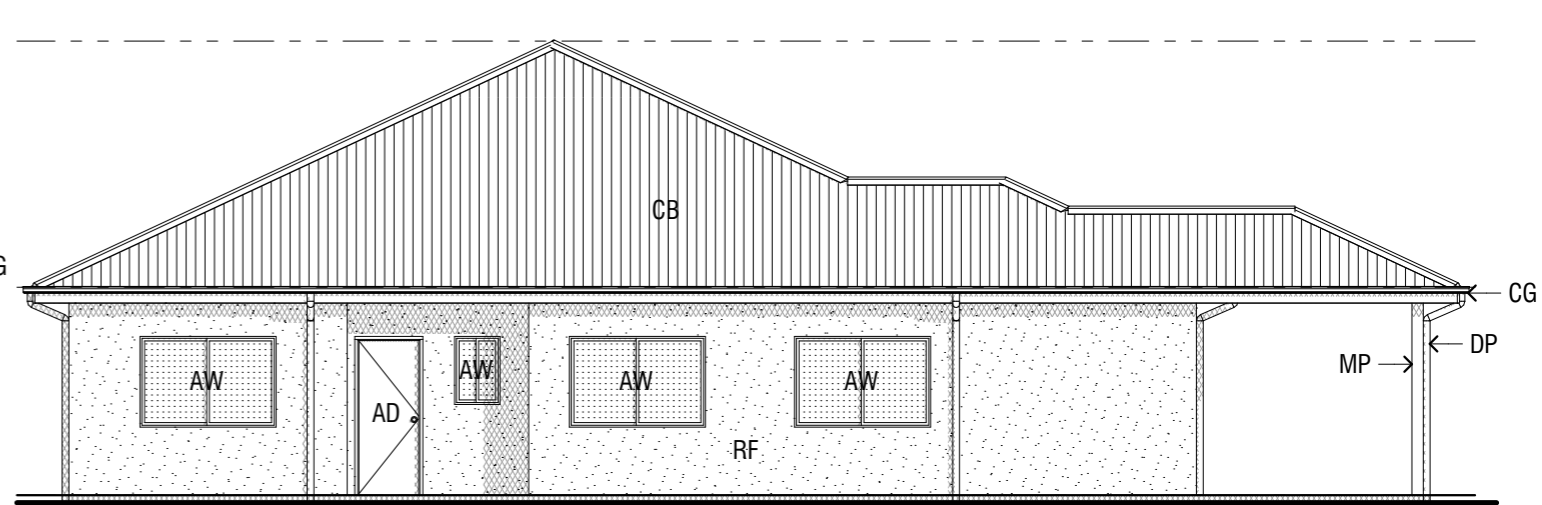
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SCALE 1 : 100



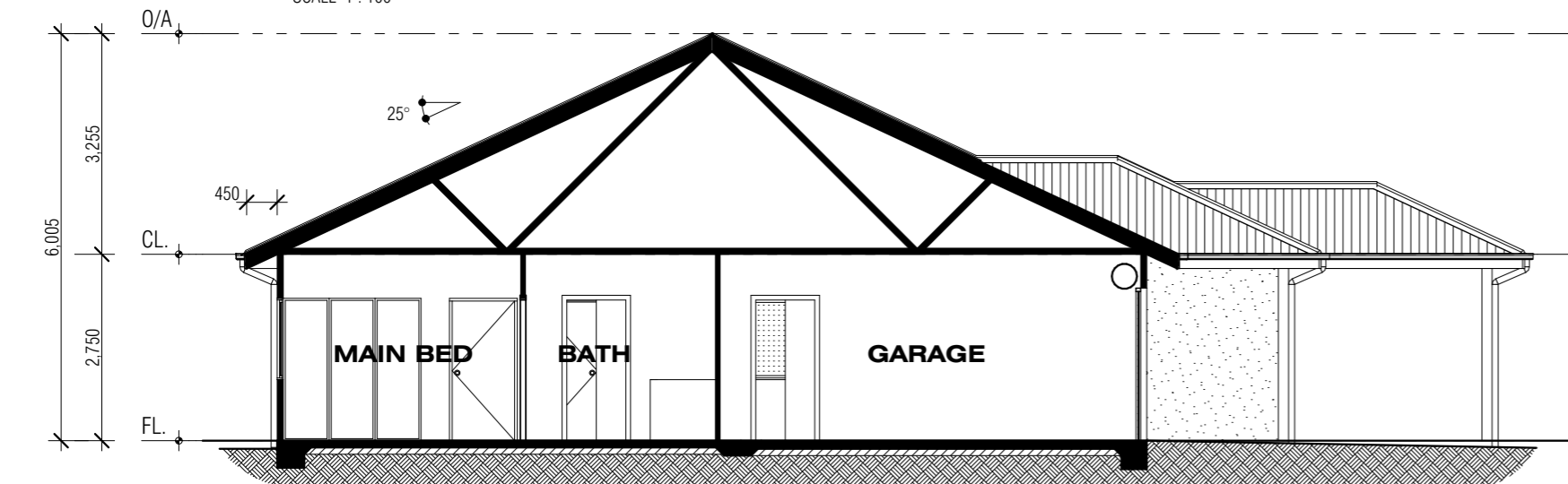
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SCALE 1 : 100



**ELEVATION C**  
SCALE 1 : 100



**ELEVATION D**  
SCALE 1 : 100



**SECTION X - X**  
SCALE 1 : 100

NOTE: THRESHOLD RAMPS TO BE PROVIDED AT ALL EXTERNAL ENTRANCES & TO BE IN ACCORDANCE WITH AS 1428.1 - 2009

NOTE: WALL AND CEILING INSULATION IN ACCORDANCE WITH BASIX REQUIREMENTS.

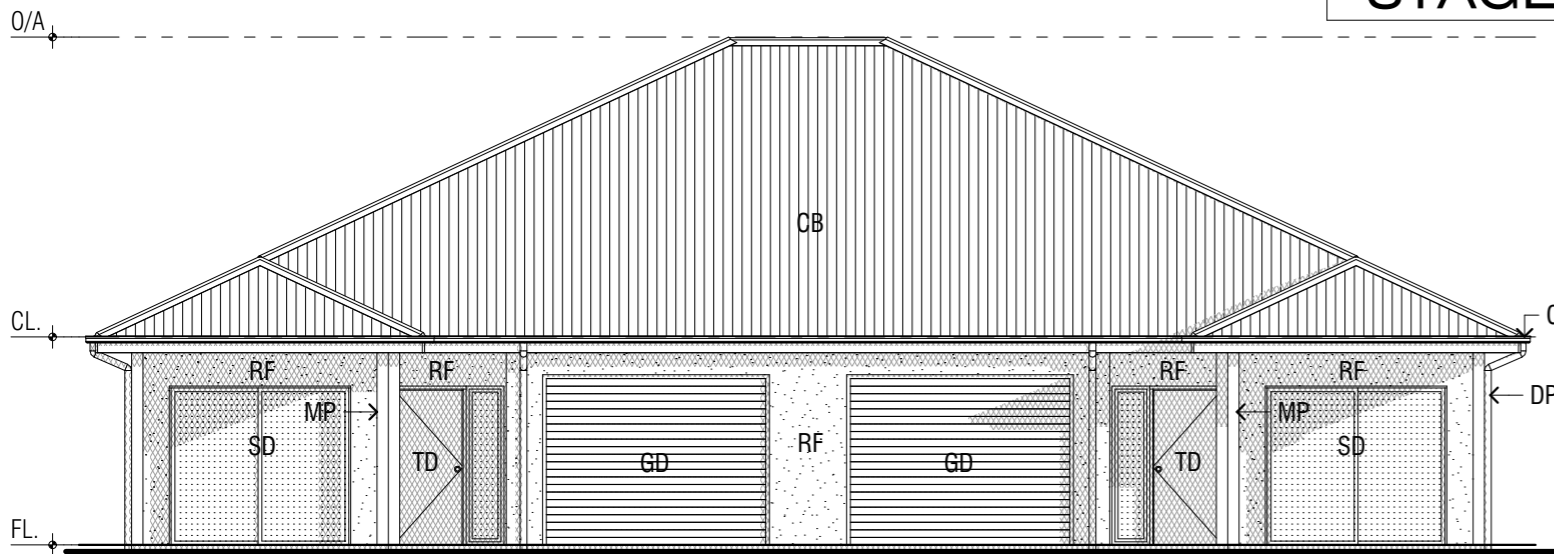
NOTE: FINAL LOCATION OF BINS, WATER TANK AND CLOTHESLINE TO BE DETERMINED ON SITE

NOTE: HARDWIRED SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3786

**EXTERNAL FINISHES LEGEND**

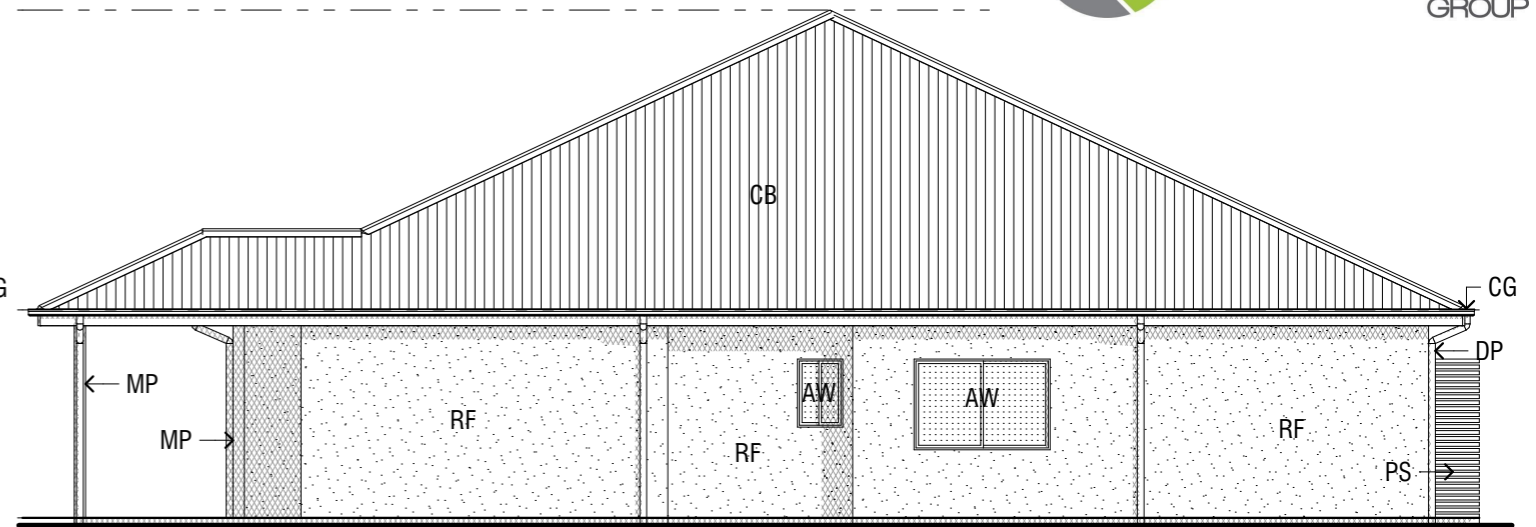
- AD - SOLID CORE ACCESS DOOR
- AW - ALUMINIUM FRAMED WINDOWS
- CB - COLORBOND 'CUSTOM ORB' ROOF SHEETING
- CG - COLORBOND FASCIA & QUAD GUTTERING
- DP - PVC DOWNPIPES
- SD - ALUMINIUM FRAMED SLIDING DOORS
- GD - GARAGE ROLLER DOORS
- TP - 150sq. TIMBER POSTS
- RF - RENDERED BOARD WALL CLADDING
- TD - SOLID CORE TIMBER FRONT DOOR
- WB - SCYON 'STRIA' WEATHERBOARD CLADDING

0005426000 24 Jun 2022  
 Assessor Gavin Chambers  
 Accreditation No. DMN/13/1491  
 Address 40 McFarlanes Road, Berry Park, NSW, 2321  
 hstar.com.au



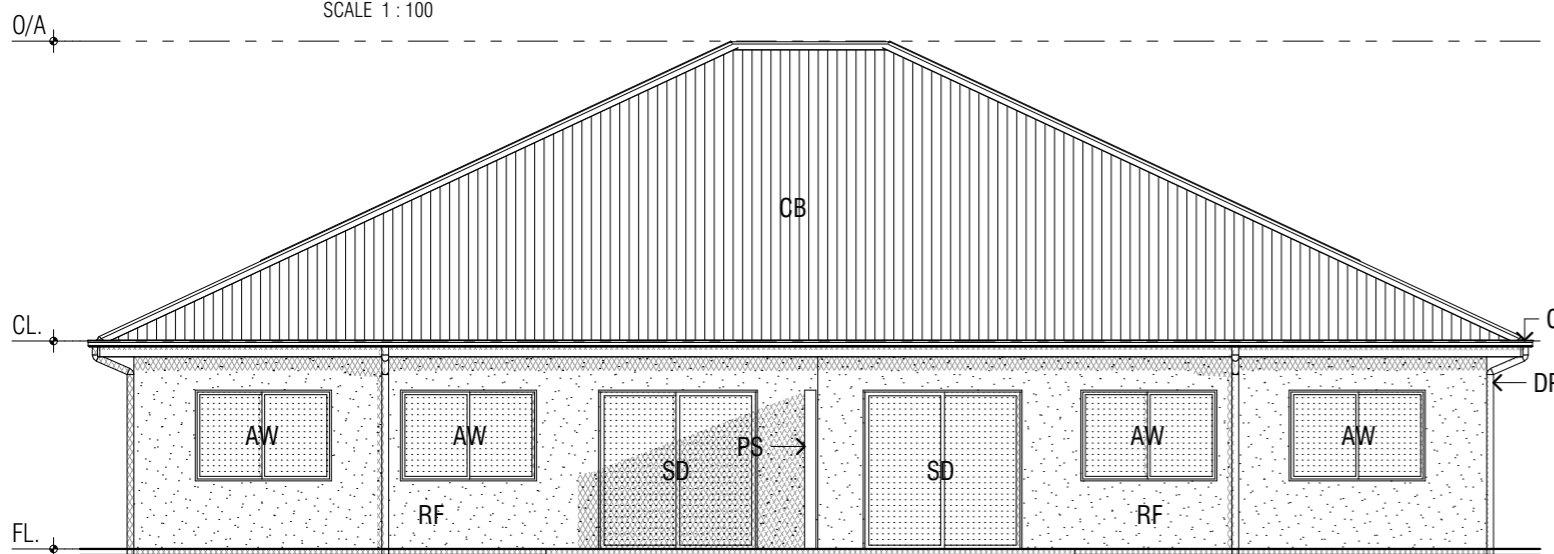
**ELEVATION A**

SCALE 1 : 100



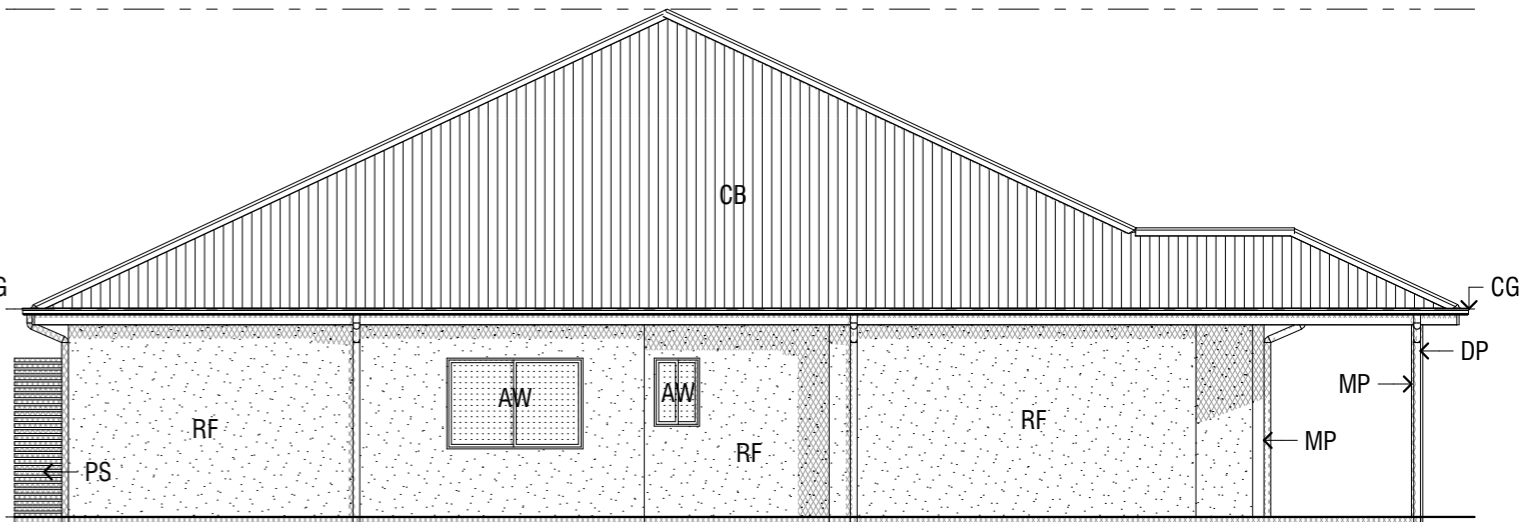
**ELEVATION B**

SCALE 1 : 100



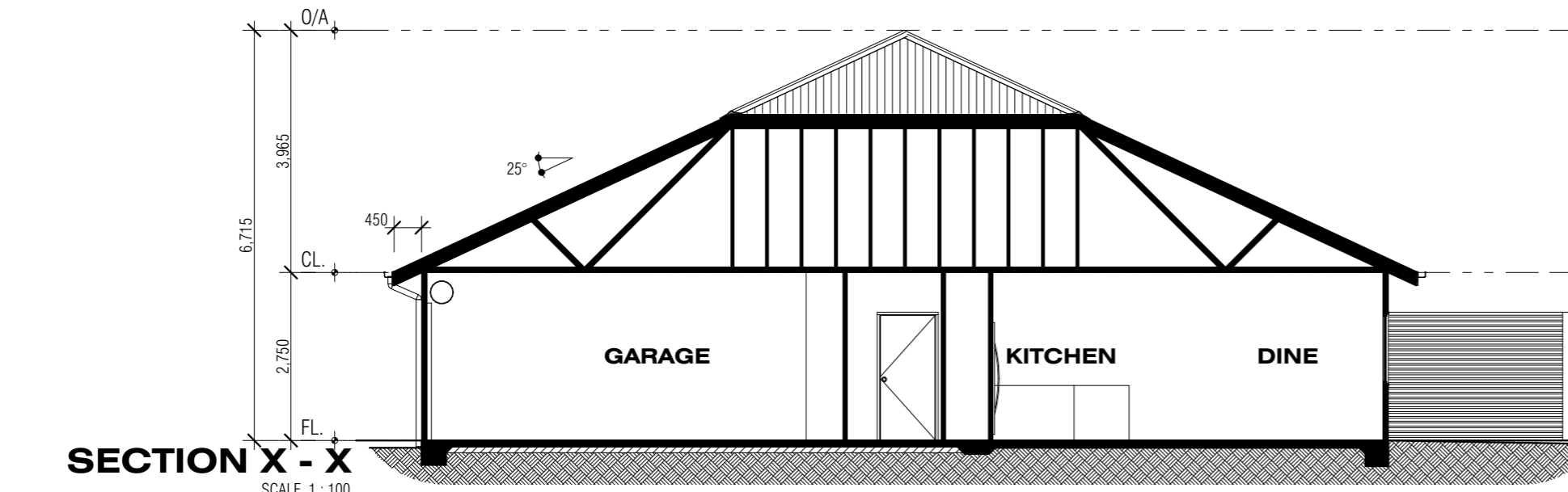
**ELEVATION C**

SCALE 1 : 100



**ELEVATION D**

SCALE 1 : 100



**SECTION X - X**

SCALE 1 : 100

NOTE: THRESHOLD RAMPS TO BE PROVIDED AT ALL EXTERNAL ENTRANCES & TO BE IN ACCORDANCE WITH AS 1428.1 - 2009

NOTE: WALL AND CEILING INSULATION IN ACCORDANCE WITH BASIX REQUIREMENTS.

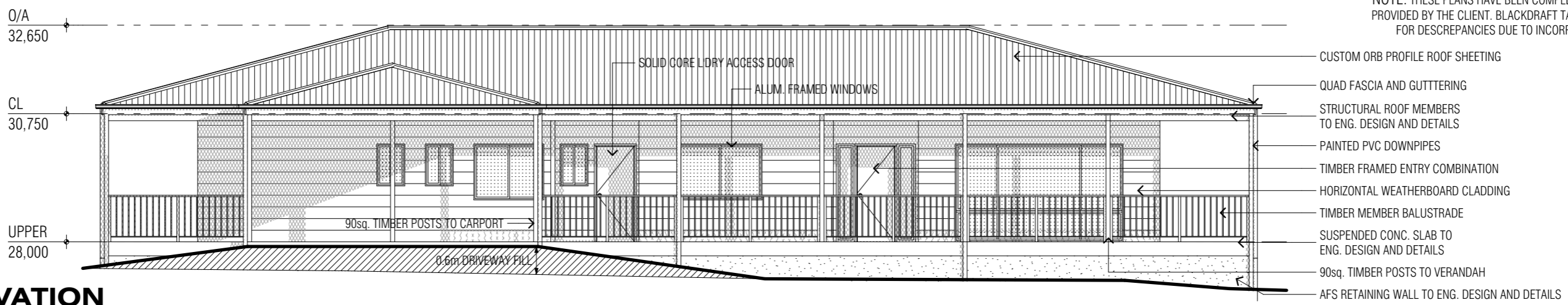
NOTE: FINAL LOCATION OF BINS, WATER TANK AND CLOTHESLINE TO BE DETERMINED ON SITE

NOTE: HARDWIRED SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3786

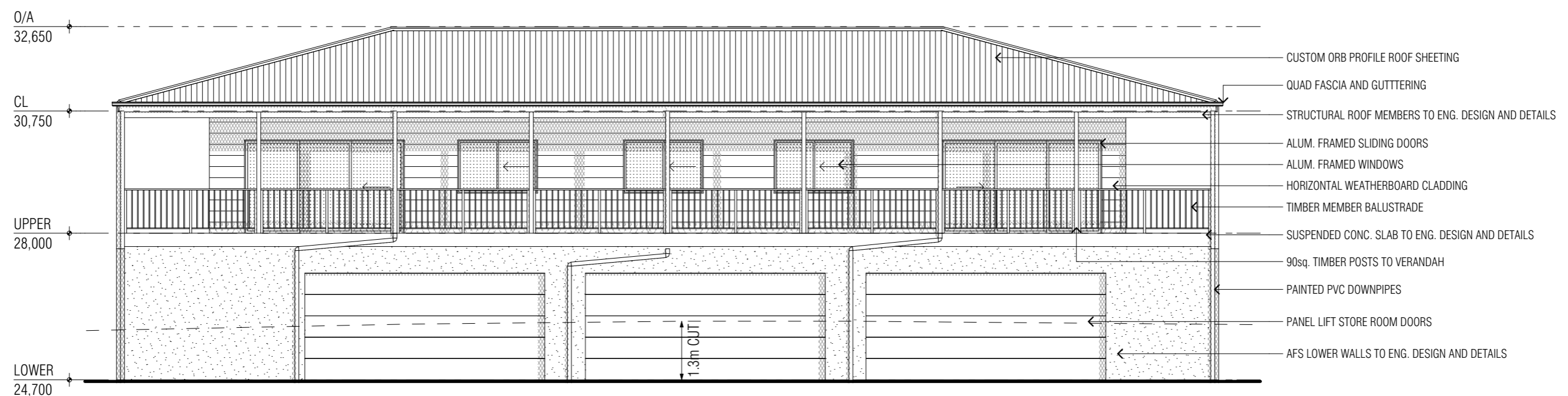
**EXTERNAL FINISHES LEGEND**

- AD - SOLID CORE ACCESS DOOR
- AW - ALUMINIUM FRAMED WINDOWS
- CB - COLORBOND 'CUSTOM ORB ROOF SHEETING
- CG - COLORBOND FASCIA & QUAD GUTTERING
- DP - PVC DOWNPIPES
- SD - ALUMINIUM FRAMED SLIDING DOORS
- GD - GARAGE ROLLER DOORS
- TP - 150sq. TIMBER POSTS
- RF - RENDERED BOARD WALL CLADDING
- TD - SOLID CORE TIMBER FRONT DOOR
- WB - SCYON 'STRIA' WEATHERBOARD CLADDING

NOTE: THESE PLANS HAVE BEEN COMPLETED WITH INFORMATION PROVIDED BY THE CLIENT. BLACKDRAFT TAKES NO RESPONSIBILITY FOR DISCREPANCIES DUE TO INCORRECT INFORMATION.

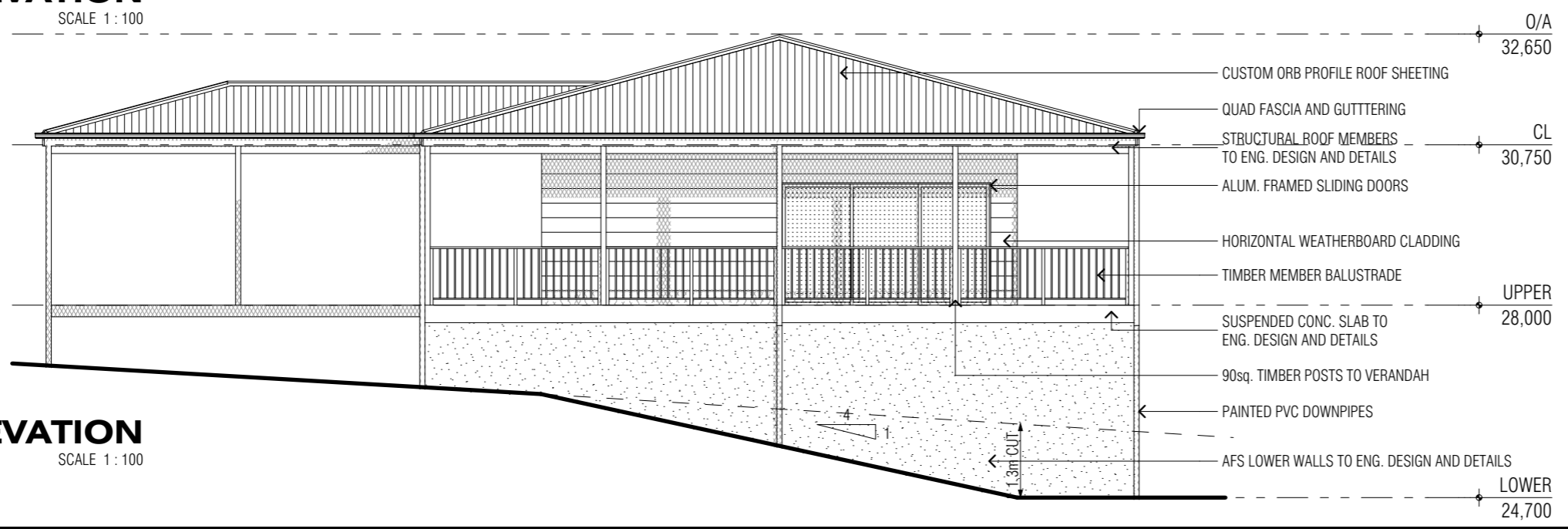


**NORTH ELEVATION**  
SCALE 1 : 100



**SOUTH ELEVATION**  
SCALE 1 : 100

NOTE: SHADOWS DO NOT REPRESENT ACTUAL SUN POSITION, THEY ARE COSMETIC ONLY.



**EAST ELEVATION**  
SCALE 1 : 100



**BLACKDRAFT**  
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PROJECT **MANAGERS DWELLING**  
McFARLANES GARDENS RETIREMENT VILLAGE  
LOCATION **40 McFARLANES ROAD BERRY PARK**

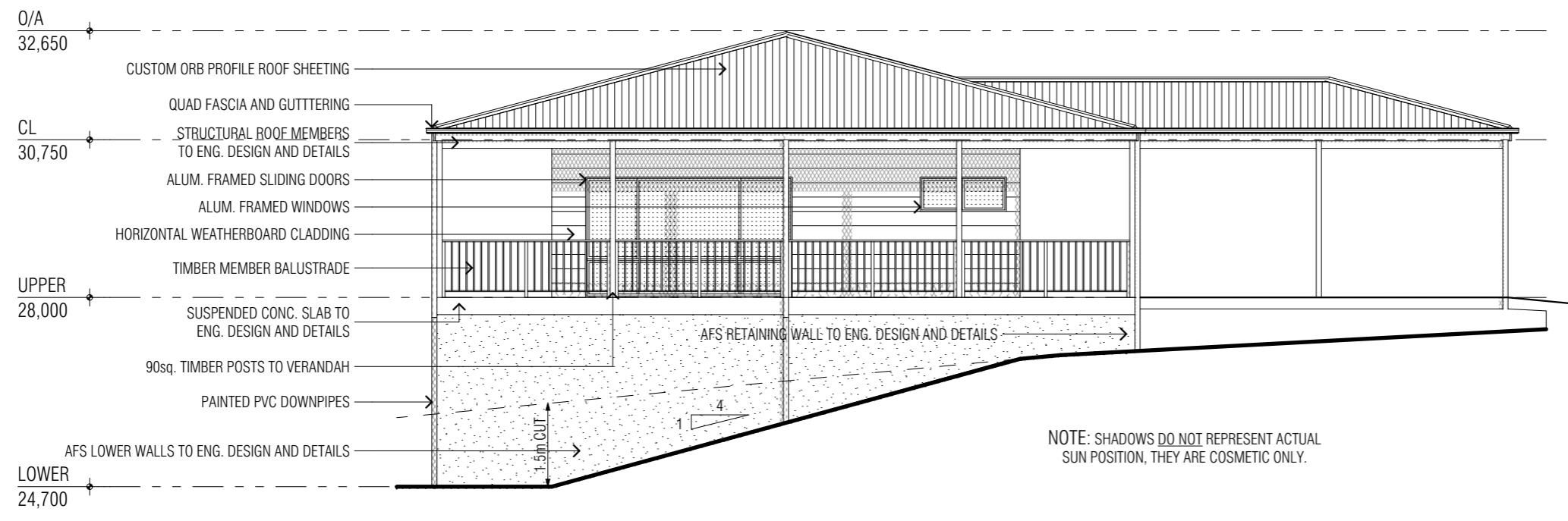
CLIENT **TEAKMILL Pty Ltd**  
DRAWING **ELEVATIONS**

DRAWN **MLB**  
SCALE **AS SHOWN**

DATE **20/03/21**  
ISSUE **SEC 96**

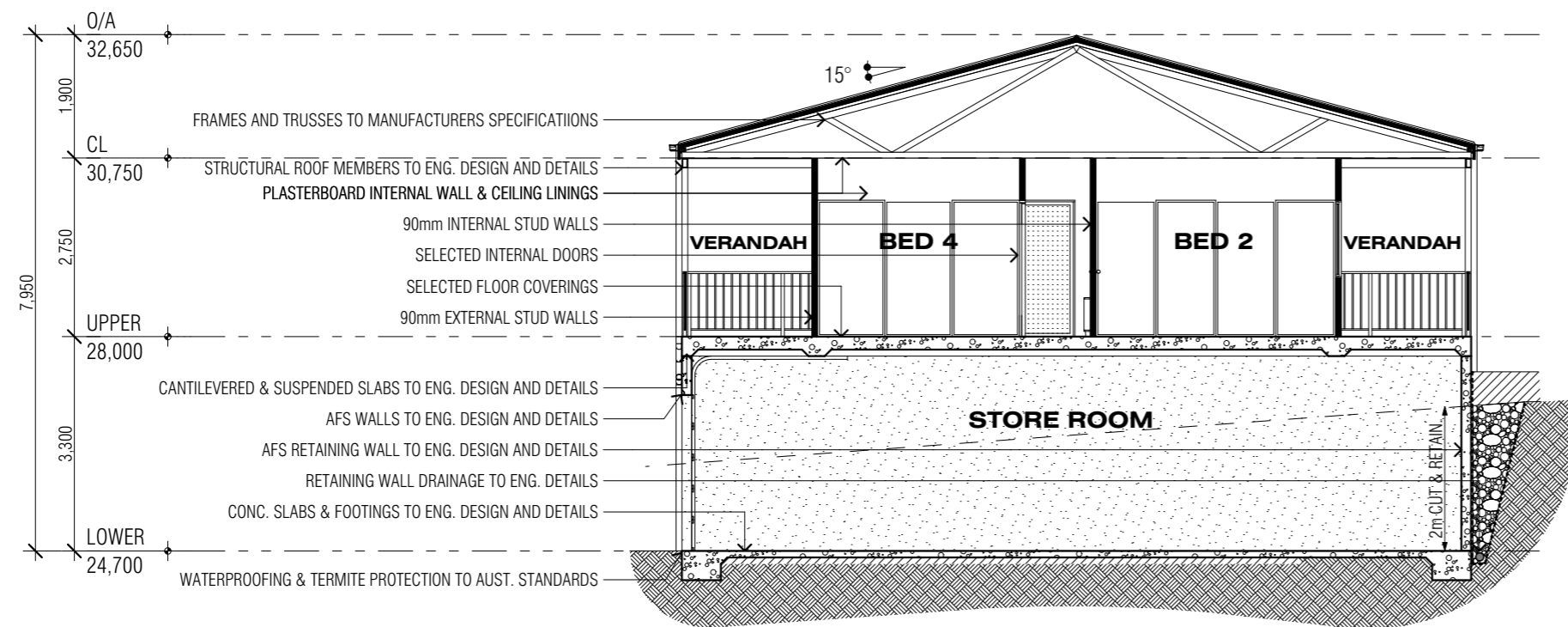
DWG No. **032 / 33**  
JOB No. **19 04**

ISSUE DATE AMENDMENT



**WEST ELEVATION**  
SCALE 1 : 100

NOTE: WALL AND CEILING INSULATION IN ACCORDANCE WITH BASIX REQUIREMENTS.



**SECTION A - A**  
SCALE 1 : 100



May 2022		BSA Reference: 18409	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
<b>Important Note</b>			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.			
In NSW both BASIX & the BCA variations must be complied with, in particular the following:			
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1			
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)			
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(ii), (iii) & (e) or (c), (d) & (e)			
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.			
<b>Thermal Performance Specifications (does not apply to garage)</b>			
<b>External Wall Construction</b>		<i>Added Insulation</i>	
Lightweight		R2.0	
<b>Internal Wall Construction</b>		<i>Added Insulation</i>	
Plasterboard on studs		None	
<b>Ceiling Construction</b>		<i>Added Insulation</i>	
Plasterboard		R3.5 to ceilings adjacent to roof space	
<b>Roof Construction</b>		<i>Colour (Solar Absorptance)</i>	<i>Added Insulation</i>
Metal	Woodland Grey (SA 0.71)	Foil + R1.0 blanket	
<b>Floor Construction</b>		<i>Covering</i>	<i>Added Insulation</i>
Concrete	As drawn	R2.0 to floors adjacent to store room	
<b>Windows</b>	<i>Glass and frame type</i>	<i>U value</i>	<i>SHGC Range</i> <i>Area sq m</i>
ALM-001-01 A	Aluminium Type A Single clear	6.70	0.51 - 0.63    As drawn
ALM-002-01 A	Aluminium Type B Single clear	6.70	0.63 - 0.77    As drawn
<i>Type A windows are awning windows, bifolds, casements, tilt 'n' turn' windows, entry doors, french doors</i>			
<i>Type B windows are double hung windows, sliding windows &amp; doors, fixed windows, stacker doors, louvers</i>			
<b>Skylights</b>	<i>Glass and frame type</i>	<i>U</i>	<i>SHGC</i> <i>Area sq m</i> <i>Detail</i>
<i>U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower &amp; the SHGC is within the range specified</i>			
<b>Shade elements</b>		<i>(eaves, verandahs, awnings etc)</i>	
All shade elements modelled as drawn			
<b>Ceiling Penetrations</b>		<i>(downlights, exhaust fans, flues etc)</i>	
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA			
Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.			
<b>Additional Notes</b>			
Nil			