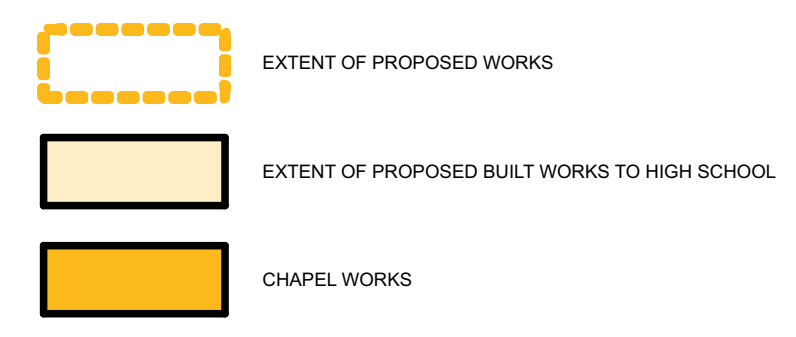


Exempt Landscaping/Building Works - Not subject to this application. Shown for illustrative purposes only

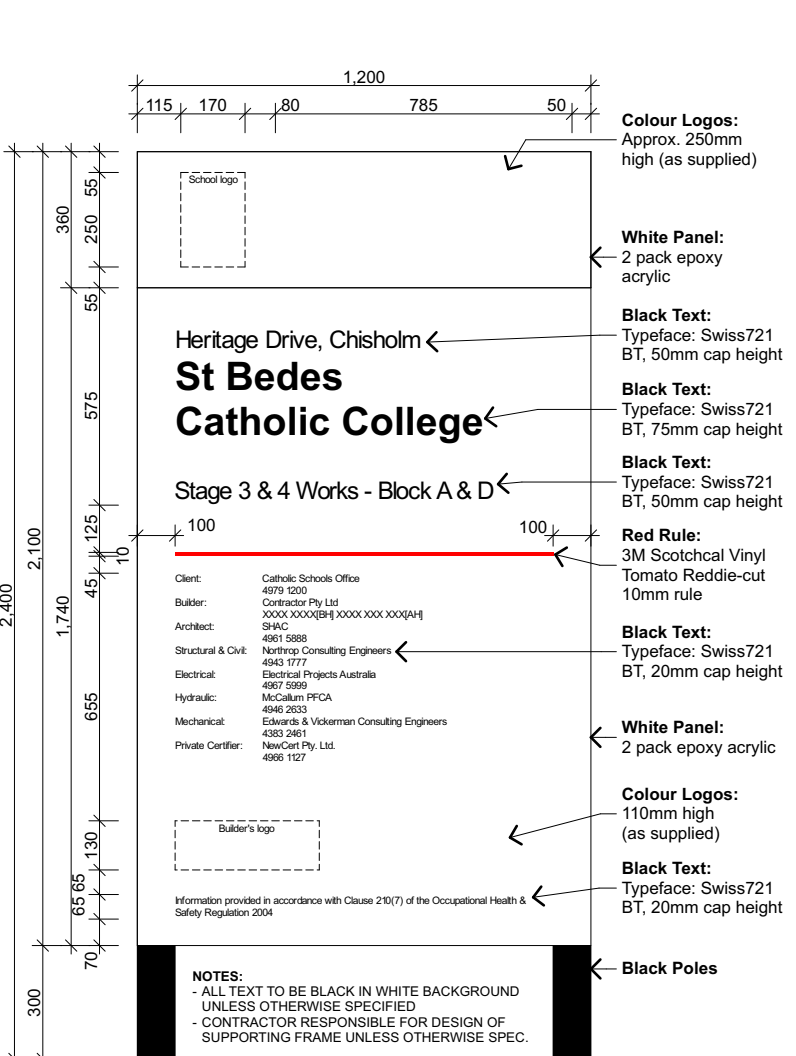
EARLY WORKS

- DIMENSIONS & LEVELS SHOWN ARE DERIVED FROM SURVEY DRAWINGS 202253-DETL-001A.dwg (7 PAGES) BY DE WITT CONSULTING. IT MAY NOT CORRESPOND TO SCALE I.E. DO NOT SCALE FROM DRAWINGS. REFER TO SURVEY PROVIDED FOR MORE DETAILED INFORMATION
- ALL DEMOLITION WORKS TO AS 2601 & ENGINEERS INSTRUCTIONS
- PROVIDE NECESSARY MEASURES TO PROTECT ALL EXISTING WORKS TO BE RETAINED
- REPAIR / REINSTATE / MAKE GOOD ANY DAMAGE TO WORKS TO BE RETAINED WITH AUTHORITY REQUIREMENTS
- DISPOSE OF ALL DEMOLISHED MATERIALS NOT FOR REUSE IN ACCORDANCE WITH AUTHORITY REQUIREMENTS
- REPORT ANY ARCHAEOLOGICAL ITEMS FOUND & SEEK INSTRUCTION
- REPORT ANY HAZARDOUS MATERIALS OR SUBSTANCES FOUND & SEEK INSTRUCTION
- REMOVE ALL REDUNDANT SERVICES, FOOTINGS, SLABS, IN-GROUND SYSTEMS & FILL AS REQUIRED. CAP OFF ALL OLD SERVICES TO SERVICE PROVIDERS REQUIREMENT
- CONTRACTOR TO MAKE THEMSELVES AWARE OF ALL IN-GROUND & OVERHEAD SERVICES & PROVIDE PROTECTION TO ALL ITEMS IN ACCORDANCE WITH SERVICE PROVIDERS RECOMMENDATIONS.
- BUILDER TO REVIEW SUGGESTED SITE PLANS & CONCURRENT WORKS PACKAGE & ADVISE ON OWN PREFERRED SITE ARRANGEMENT (INCL. SITE SHED, COMPOUND LOCATIONS OPTIONS) AS PART OF TENDER SUBMISSION
- THE ENTIRE WORK SITE & SURROUNDS INCLUDING ADJACENT BUILDINGS & ADJACENT ROOFS ARE TO BE KEPT CLEAN & FREE FROM RUBBISH & DEBRIS AT ALL TIMES
- CONSTRUCTION PERSONNEL & RELATED TRADES TO BE ALERTED TO DANGERS AND IMPLICATIONS OF SCHOOL TRAFFIC AS WELL AS ENSURING THAT SITE & SURROUNDS ARE LEFT SAFE, SECURE & TIDY AT ALL TIMES & OUT OF WORK HOURS
- CONSTRUCTION PERSONNEL & RELATED TRADES TO BE INSTRUCTED THAT THE SCHOOL & RELATED PRECINCT ACCESS ROADS & PARKING AREAS ARE TO BE KEPT CLEAR OF VEHICLES & EQUIPMENT AT ALL TIMES TO ENSURE MINIMAL DISRUPTION TO THE SCHOOL
- BUILDER TO PROVIDE SCHEDULE FOR DEMOLITION & SUPPLY TRUCKS TO ENTER & DEPART SCHOOL GROUNDS FOLLOWING CONSULTATION WITH CLIENT & SUPER INTENDANT
- PROJECT SIGNAGE TO BE PROVIDED BY BUILDER AS DETAILED, GENERALLY 1200mm WIDE x 2400mm HIGH x 1 MOUNTED ONTO HOARDING OR ON STEEL POSTS WITH CONCRETE FOOTINGS, AS REQUIRED TO ENSURE STABILITY AND STURDINESS IN REASONABLE WEATHER CONDITIONS. POSITION AS SHOWN ON SITE PLAN & CONFIRMED ON SITE WITH PROJECT PRINCIPAL. GRAPHIC DESIGN DETAILS TO BE COORDINATED BY ARCHITECT. UV PROOF INK TO BE USED. ENSURE SIGN IS WEATHERPROOF AND VANDAL PROOF
- SITE HOARDINGS TO BE EQUAL TO QUALITY AS DESCRIBED BELOW IN SUGGESTED HOARDING SCHEDULE. NOTE SCHEDULE PROVIDED FOR INFORMATION PURPOSES & GUIDE TO ERECTED QUALITY FOR HOARDINGS. FINAL HOARDING DETAILS TO BE CONFIRMED WITH PROJECT PRINCIPAL
- SITE HOARDING TO INCORPORATE CLIENT & ARCHITECTS MESH SIGNAGE TO FULL LENGTH OF FENCE SECTION
- UNDERTAKE ALL SERVICES SEARCHES & ISSUE TO PROJECT PRINCIPAL FOR APPROVAL RELEVANT TO EXCAVATION, FOR WORKS & SERVICES INSULATION PERMITS PRIOR TO COMMENCING WORKS. THIS IS A HOLD POINT TO COMMENCE WORKS UNDER THE CONTRACT
- CONTRACTORS METHOD OF WORK PLAN (MOWP) TO CLEARLY INDICATE DETAILS PROPOSED SETOUT FOR ALL FENCING AROUND THE SITE. DUE CONSIDERATION TO BE GIVEN TO STAGING, PEDESTRIAN & VEHICULAR MANAGEMENT & SITE PRESENTATION. SUBMIT MOWP TO PROJECT PRINCIPAL FOR APPROVAL PRIOR TO COMMENCING WORKS. REFER TO CONTRACT FOR OTHER MOWP REQUIREMENTS.
- CONTRACTOR TO KEEP PHOTOGRAPHIC RECORD OF EXISTING BUILDINGS (TO WHOLE OF SITE) BEFORE CONSTRUCTION COMMENCES & THEN PERIODICALLY DURING CONSTRUCTION.
- DIMENSIONS OF CARPARK TO BE EQUAL TO QUALITY AS DESCRIBED ONLY. SETOUT DIMENSIONS ARE INDICATIVE & SHOULD BE COORDINATED WITH CIVIL ENGINEERS DOCUMENTS.
- CONTRACTOR TO CONFIRM LOCATION OF EXISTING SERVICES FROM STAGE 1 WORKS ON SITE.

LEGEND



SITE SIGNAGE



CONSULTANTS

BCA CONSULTANT
NewCall Pty Ltd
T 4866 1127

STRUCTURAL + CIVIL ENGINEER
Northrop Consulting Engineers
T 4943 1777

ACOR CONSULTANTS
HYDRAULIC ENGINEER
ACOR Consultants
T 4926 4811

MECHANICAL ENGINEER
Edwards & Vickerman Consulting Engineers
T 4925 2451

ELECTRICAL ENGINEER
Electrical Projects Australia
T 4967 5999

LANDSCAPE ARCHITECTS
Terras Landscape Architects
T 4929 4926

AMENDMENTS

No	Chk	Date	Comment
A	HP	27.10.22	Revised Site Plan

NOTES

- Dimensions are in millimetres unless otherwise shown.
- Work to given dimensions. Do not scale from drawing.
- Check all dimensions on site prior to construction and fabrication.
- Bring any discrepancies to the attention of the proprietor & architect.

CLIENT NAME
Catholic Diocese of Maitland-Newcastle

SCALE
0m 5 10 15 20 25 30 @A1

PROJECT NAME AND ADDRESS
St Bede's Catholic College
Heritage Drive,

DRAWN HP
APPROVED EB

STATUS
Concept Master Plan - Not for DA Approval

DRAWING TITLE
Landscape Master Plan

PROJECT NO. 4376
DRAWING NO. WD1105
REV. A

SHAC

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224 Maitland Road
Balinggon NSW 2296
Australia

Nominated Architect
Justin Hamilton (E160)
ASN 32 131 584 846

1.2 Surrounding Development

The site is located within a relatively new residential subdivision development, with low density residential to the north and west. The land to the east, whilst presently vacant land, is zoned residential and likely to be similar residential development. The land to the immediate south is also vacant and zoned as B1 Neighbourhood Centre.

1.3 Proposed Development

Consent is sought for the following:

1. Change of use of Lot 1 to education establishment so that it forms part of the overall catholic college campuses. Consent is sought for the use only at this time, with future development of Lot 1 (still to be finalised and not the subject of the current DA) is proposed to be sporting fields, landscaping, walking paths, retaining walls, drainage works, and signage, which will be undertaken as either exempt development under the Transport and Infrastructure SEPP or as integrated development under a DA to Council. Figure 3 illustrates the proposed future works (indicative only at this time).
2. Removal of the five trees located on Lot 1 and depicted as red dots in Figure 3.

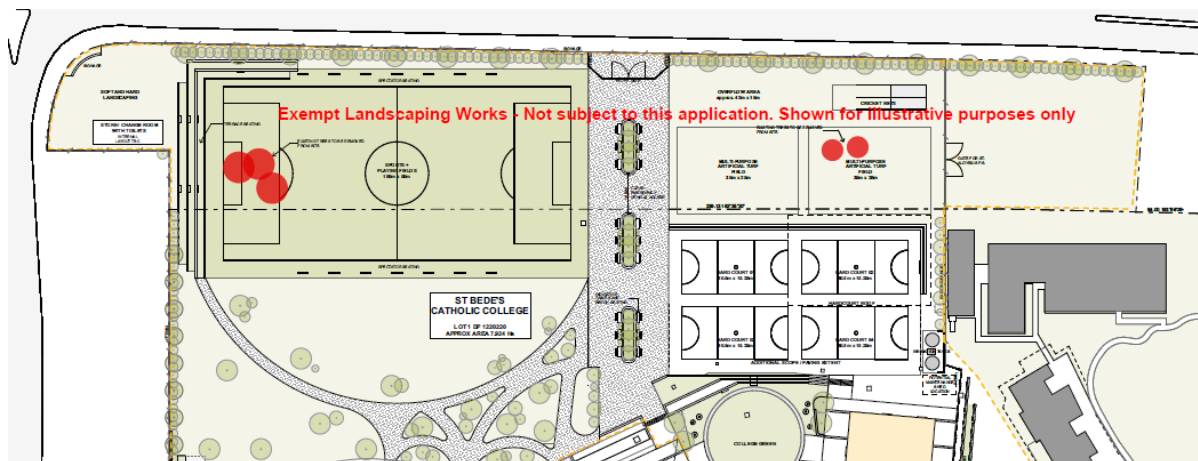


Figure 3 – Proposed Future Development of Lot 1

1.4 Exempt Development Not the Subject of This Application

Consent is **not** sought for the following works as part of this application for Lot 1 and these will likely be exempt development under State Environmental Planning Policy (Transport and Infrastructure) 2021:

- Sporting fields,
- landscaping,
- walking paths,
- retaining walls,
- store/change rooms,
- associated fencing,
- signage, and
- drainage works.