

LOT 3
SECTION 48
DP 758374

> DEMOLITION PLAN

1:300

DEMOLITION AND REMOVAL OF EXISTING DWELLING, STRUCTURES, CONCRETE PADS AND PATHS, INTERNAL FENCES AND VEGETATION. CREATING A CLEARED SITE FOR PROPOSED DEVELOPMENT

> NOTE

- > SITE LEVELS ARE APPROXIMATE ONLY. PLEASE EVALUATE ON SITE BEFORE ANY ORDERING OR WORK BEGINS.
- > DEMOLITION NOTES
 - > 1. ALL DEMOLITION WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001. WHERE POSSIBLE, ANY RECYCLABLE MATERIAL IS TO BE RECYCLED. THE REMAINDER IS TO BE DISPOSED OF AT THE APPROPRIATE WASTE DISPOSAL DEPOT. IF ASBESTOS IS PRESENT, IT MUST BE REMOVED AND DISPOSED OF BY A LICENSED CONTRACTOR IN ACCORDANCE WITH WORKCOVER AUTHORITY GUIDELINES.
 - > 2. THE SEWER MAIN CONNECTION MUST BE CAPPED AT THE SEWER MAIN JUNCTION BY A LICENSED PLUMBER AS SPECIFIED BY HUNTER WATER CORPORATION. THE WATER MAIN MUST BE CAPPED AT THE JUNCTION OF THE WATER MAIN AND THE INCOMING SUPPLY BY A LICENSED PLUMBER AS SPECIFIED BY HUNTER WATER CORPORATION.
 - > 3. A PERMANENT DISCONNECTION REQUEST MUST BE LODGED WITH THE ELECTRICAL SUPPLY AUTHORITY FOR THE DISCONNECTION OF THE ELECTRICITY MAINS.
 - > 4. THE GAS SUPPLY WILL BE DISCONNECTED BY THE GAS SUPPLY AUTHORITY AFTER LODGEMENT OF A WRITTEN REQUEST.

> NO SUBTERRANEAN INVESTIGATIONS HAVE BEEN UNDERTAKEN. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT DIAL BEFORE YOU DIG ON PHONE No. 1100 or www.1100.com.au PRIOR TO ANY EXCAVATION OR EARTHWORKS



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> MULTI DWELLING

> Client	> BORRA	
> Development	> PROPOSED DEVELOPMENT	
> Job No.	> 4700	> Revision No.
> Designer	> JB	> Drafter
> Job No.	> 4700	> Drawing No.
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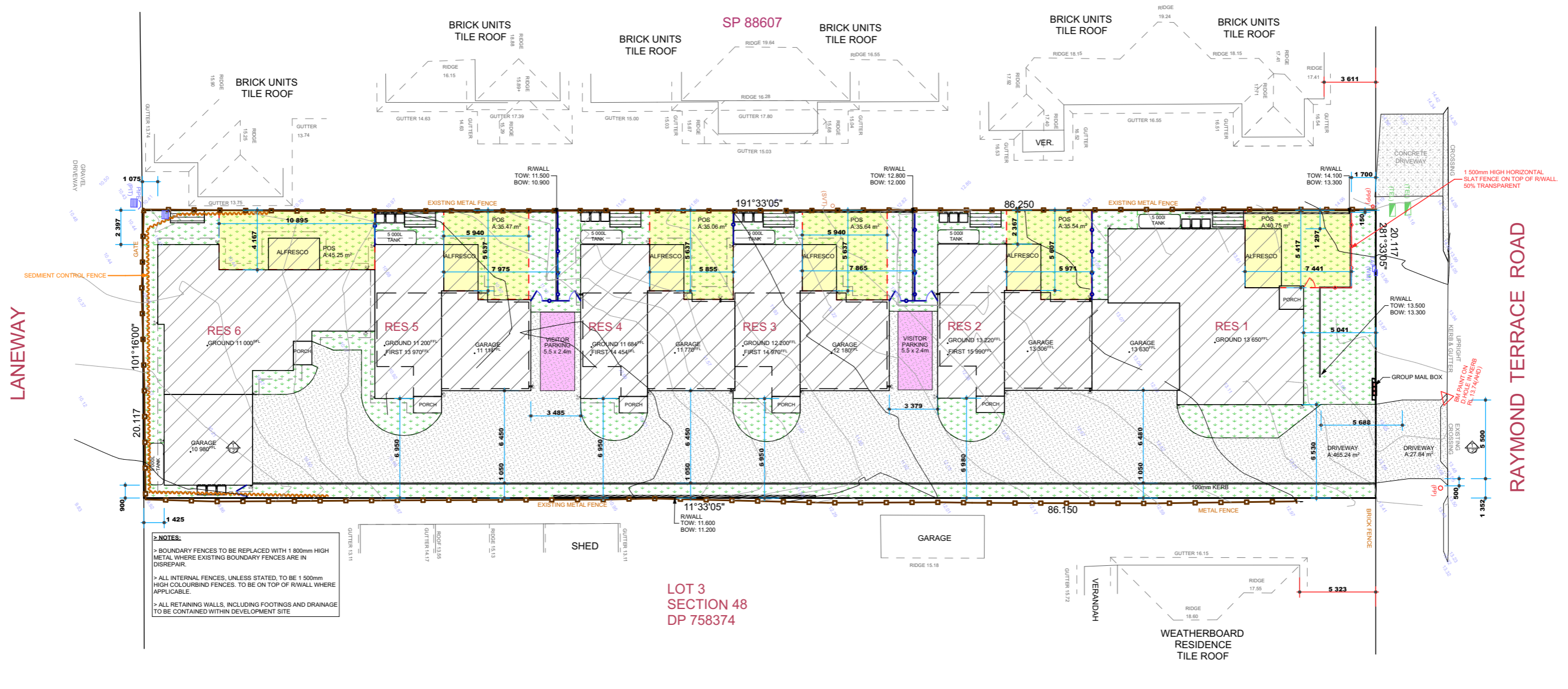
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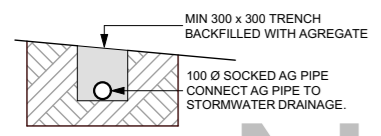
NOTES:
 > BOUNDARY FENCES TO BE REPLACED WITH 1 800mm HIGH METAL WHERE EXISTING BOUNDARY FENCES ARE IN DISREPAIR.
 > ALL INTERNAL FENCES, UNLESS STATED, TO BE 1 500mm HIGH COLOURBIND FENCES. TO BE ON TOP OF R/WALL WHERE APPLICABLE.
 > ALL RETAINING WALLS, INCLUDING FOOTINGS AND DRAINAGE TO BE CONTAINED WITHIN DEVELOPMENT SITE

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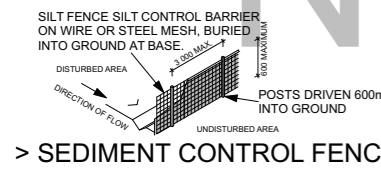
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> SITE PLAN

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> SITE DRAINAGE DETAIL
 > SEDIMENT FENCE DRAINAGE AREA 0.6 HA MAXIMUM. SLOPE GRADIENT 1:2 MAXIMUM. SLOPE LENGTH 60m MAXIMUM.
 SILT FENCE SILT CONTROL BARRIER ON WIRE OR STEEL MESH, BURIED INTO GROUND AT BASE.
 DISTURBED AREA
 UNDISTURBED AREA
 DIRECTION OF FLOW
 POSTS DRIVEN 600mm INTO GROUND



> SEDIMENT CONTROL FENCE

- > NOTES**
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 - > SEDIMENT CONTROLS
 - > 1. ATTENTION IS DRAWN TO THE ENVIRONMENT PROTECTION ACT AND THE REQUIREMENTS FOR THE PROTECTION FROM DISCHARGE OF ANY POLLUTION FROM THE SITE.
 - > 2. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED.
 - > 3. ALL SEDIMENT RETAINING STRUCTURES SHALL BE CLEARED UPON REACHING A MAXIMUM OF 75% CAPACITY. REMOVED SEDIMENT SHALL BE SPREAD WITHIN DISTRIBUTION AREAS ON THE SITE.
 - > 4. IMMEDIATELY FOLLOWING THE COMPLETION OF WORKS ALL EXPOSED AREAS SHALL BE STABILISED BY TURFING OR MULCHING (BY OWNER). SEDIMENT CONTROL SHALL BE MAINTAINED UNTIL GROUND COVER IS ESTABLISHED.

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> SITE STATISTICS

FLOOR SPACE RATIO	N/A
SITE COVERAGE	56.4%
UNBUILT AREA	30.2%

> AREAS

	AREA (m ²):
DRIVEWAY	465.24
LANDSCAPE	523.14
POS	227.71
ROOF AREA	514.31
SITE AREA	1 734.09

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 > LOT 2, SEC 48, DP 758374

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> JB	> SN	
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> 4700	> DA1	> 1.5

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> RES 1 & 2 NORTH ELEVATION

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 - > 7. CJ BRICKWORK CONTROL JOINT.

- > **WINDOW NOTES**
- WINDOWS LABELED (FS) ARE TO COMPLY WITH NCC VOLUME 2 PART 3.9.2.6 PROTECTION OF OPENABLE WINDOWS - BEDROOMS
 - WINDOWS LABELED OBS - OBSCURED GLASS

- > **EXTERNAL FINISHES**
- > CLADDING: BRICK VENEER / LIGHT WEIGHT CLADDING
 - > WINDOWS: ALUMINIUM
 - > HINGED DOORS: AS SELECTED
 - > ROOF CLADDING: CUSTOM ORB
 - > RIDGES AND HIPS: COLORBOND
 - > GUTTERS: COLORBOND
 - > DOWN PIPES: PVC

0008280250 07 Dec 2022

Assessor Gavin Chambers
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2

> RES 1 & 2 EAST ELEVATION

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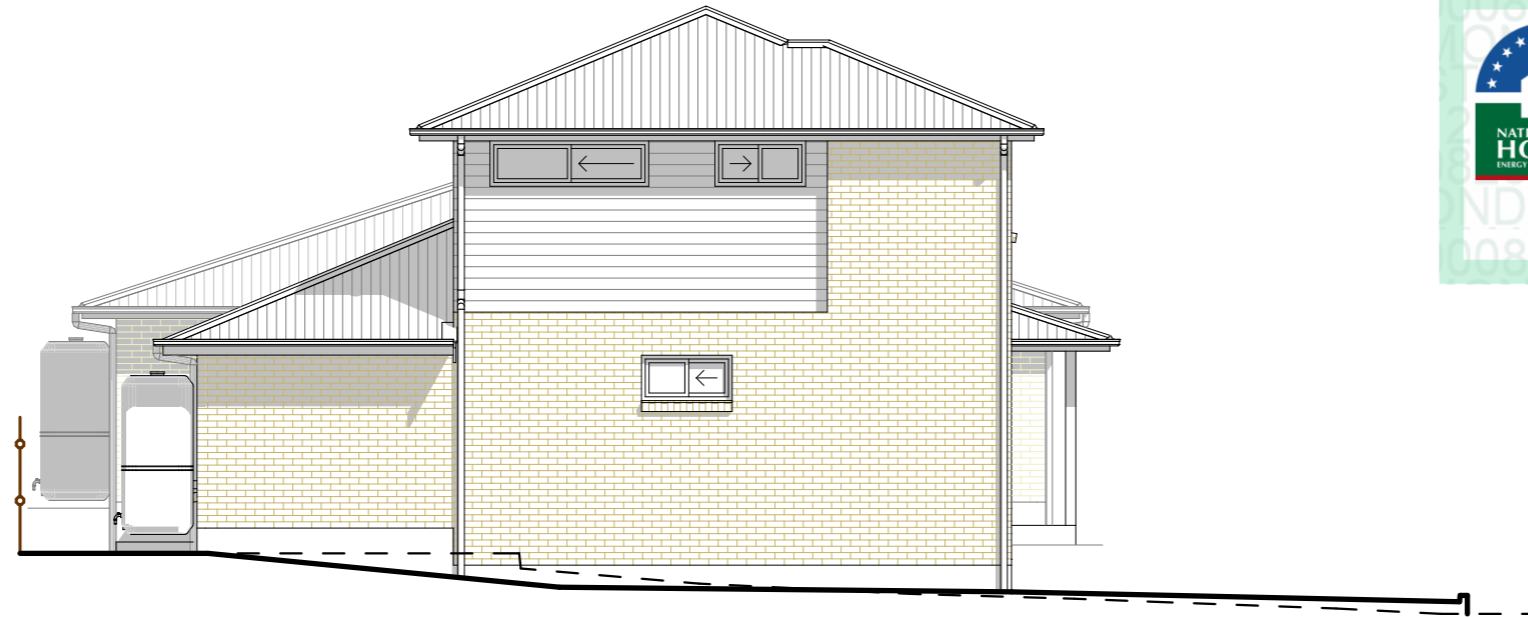
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 > 33 RAYMOND TERRACE ROAD, EAST MAITLAND
 > LOT 2, SEC 48, DP 758374

> MULTI DWELLING

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 > JB > SN

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WINDOWS LABELED OBS - OBSCURED GLASS

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2

> RES 1 & 2 WEST ELEVATION

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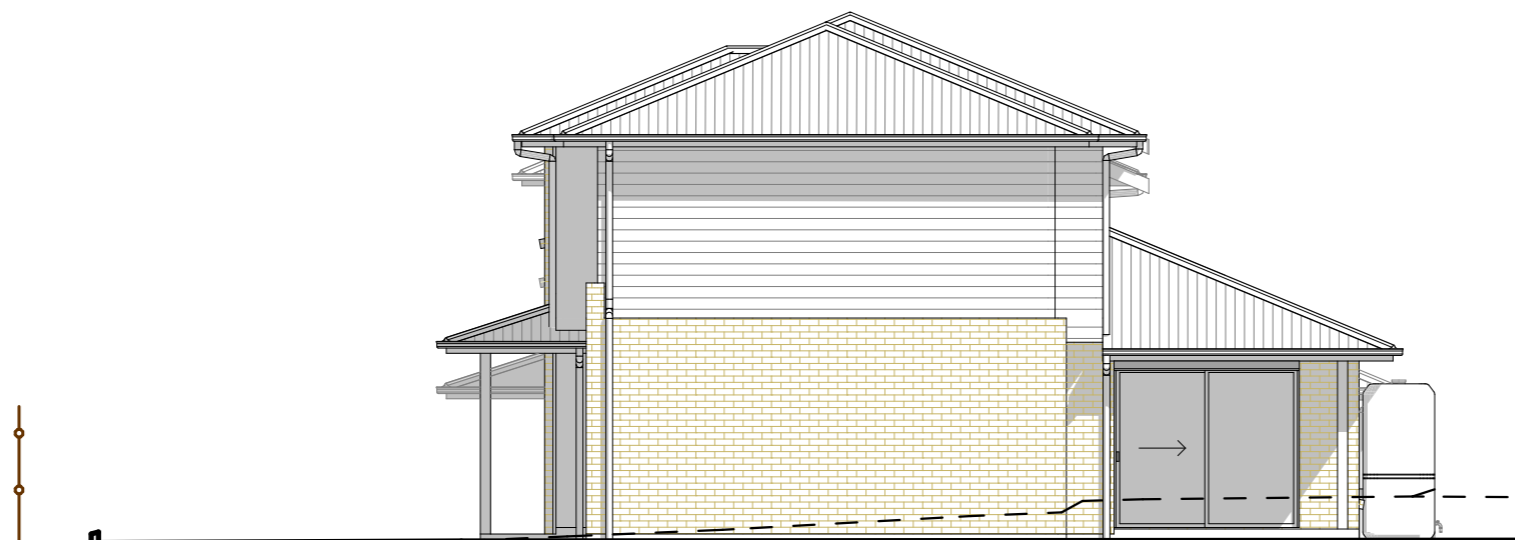
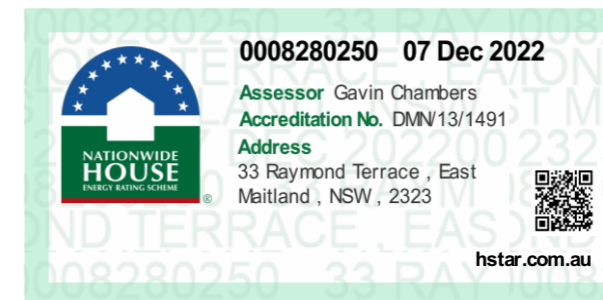
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1

> RES 3 & 4 EAST ELEVATION

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2

> RES 3 & 4 NORTH ELEVATION

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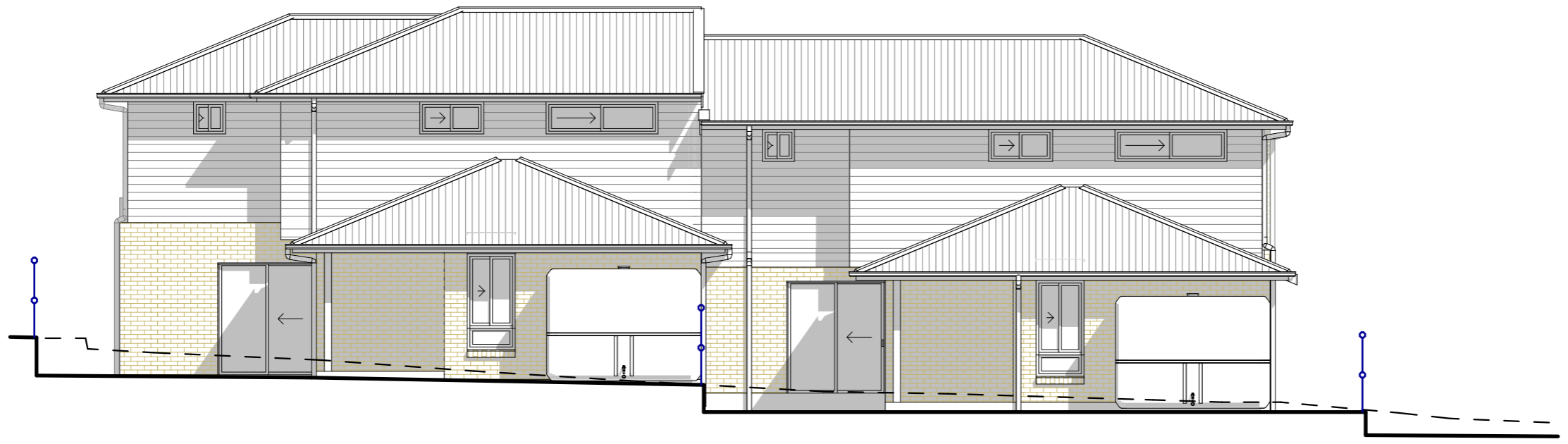
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2

> RES 3 & 4 SOUTH ELEVATION

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1

> RES 5 & 6 EAST ELEVATION

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NATIONWIDE HOUSE
 ENERGY RATING MACHINE

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2

> RES 5 & 6 NORTH ELEVATION

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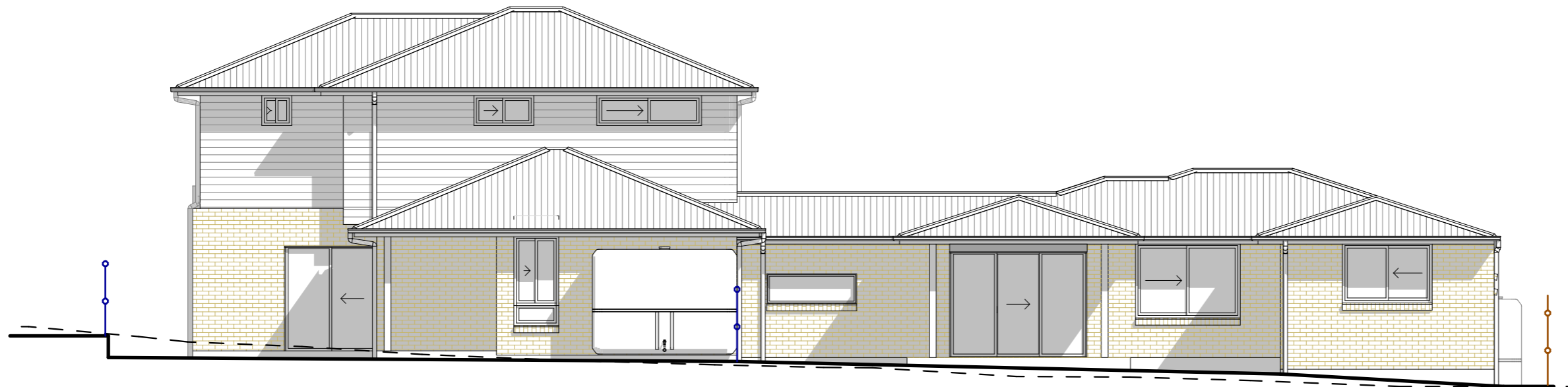
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