



BUSH FIRE ATTACK LEVEL (BAL) CERTIFICATE

Determined in accordance with Planning for Bushfire Protection 2019

This Certificate has been issued by a person accredited by the Fire Protection Association of Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme (NSW); being a recognised consultant by the New South Wales Rural Fire Service (RFS). The certificate details the conclusions of the bushfire attack level assessment undertaken by the Accredited Practitioner. All enquires related to the information and conclusions presented in this report must be made to the BPAD Accredited Practitioner.

Property Description

Address Details	Street No	Street Name	Lot /DP
	464	Cessnock Road	2/ 456946
	Suburb	State	Postcode
	Gillieston Heights	NSW	2321
Local Government Area	Cessnock City Council		
Fire Danger Index	100		
Main BCA Class of building	1a		
Description of the building or works	Infill		

Determined Bushfire Attack Level

BAL-LOW

The BAL for the proposed development has been determined as **BAL-LOW** in accordance with Table A1.12.5 contained in Planning for Bushfire Protection 2019. The determination was based on the bushfire hazard assessment finding the nearest bushfire hazard being greater than 100m from the proposed development. All land within 100m of the development will be managed as an Asset Protection Zone.

This BAL Certificate is valid for 12 months from the date of this letter.

I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level Certificate stated above in accordance with the requirements of Planning for Bushfire Protection 2019.

Stuart Greville
Accredited Bushfire Practitioner
BPAD - 26202



Date of Issue: 2 May 2022




Proposed Development

Development consent is sought for the construction of Class 1a building that will be temporarily used as a sales office and cafe to support the sale of residential lots within Precinct 1A and 1B of the Kurri Regrowth development.

A full set of the drawings are contained in **Attachment A**.



 North Elevation
SCALE 1:100 @ A3




 East Elevation
SCALE 1:100 @ A3

Figure 1: North and east elevation of the proposed building



Plate 1: The proposed development will be constructed within Stage 1 of Precinct 1A

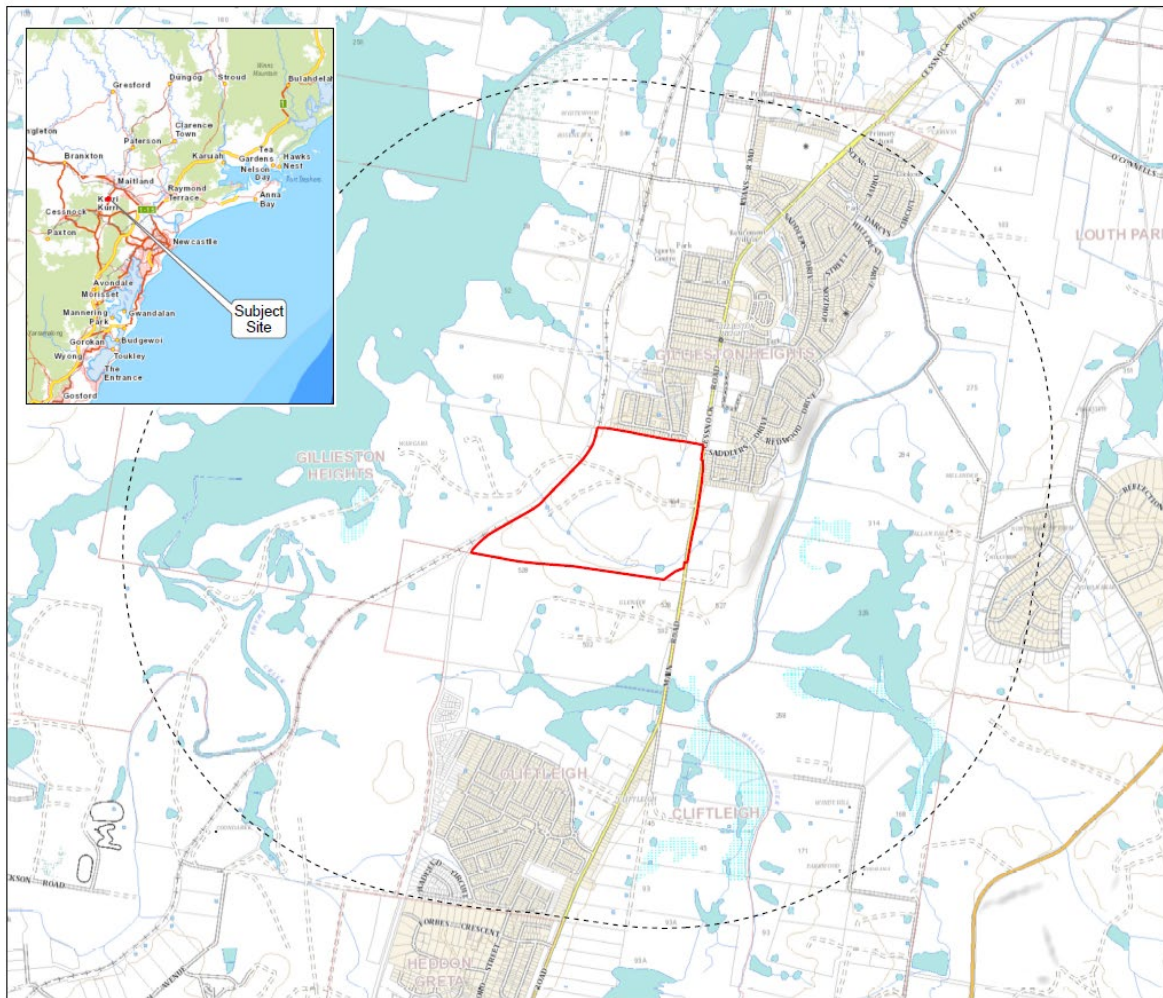


Figure 2: Site Plan



Site Assessment

A site assessment has previously been completed as part of the Bushfire Assessment Report prepared by BPA for the Regrowth: Kurri Kurri project (2158 dated 9 February 2022). The site assessment was completed in accordance with the Site Assessment Methodology outlined in Appendix 1 of Planning for Bushfire Protection 2019 (PBP 2019). The site assessment was reviewed to consider the slope and vegetation was assessed within the site and up to 140m surrounding the site and is contained in **Figure 4**. As the proposed development is surrounded by the broader residential subdivision, all vegetation within at least 140m of the site will be cleared and eventually developed as a residential neighbourhood.

Whilst the vegetation currently surrounding the site is confirmed to be a mixture of exotic and native pasture grasses, the Proponent is committed to managing all vegetation within 140m of the site slashed and maintained to ensure the grass does not exceed 100mm in height.

BAL Assessment

As all land within 100m of the subject site (and dwelling) will be managed as an APZ, there is insufficient risk to warrant specific bushfire construction requirements, based on the low threat vegetation surrounding the site up to 100m. The BAL rating for the proposed development is therefore determined as **BAL-LOW** (as shown in **Figure 5**).

Tables 1 and 2 confirms the development is able to satisfy the relevant sections of PBP 2019.

Gillieston Heights

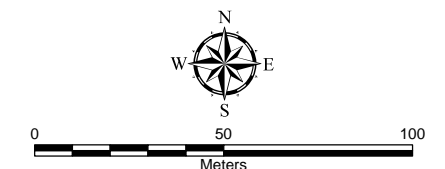
Figure 8

Slope & Vegetation Assessment



- | | | | |
|--|------------------------------|--|---|
| | Stage 1 boundary | | Forest (Hunter Macleay DSF - cleared understorey/ grazed) |
| | 100m Buffer | | Forest (Hunter Macleay DSF) |
| | 140m Buffer | | Grassland |
| | Watercourse | | Managed Land (active open space) |
| | 10m creek buffer | | Managed Land (actively grazed paddocks) |
| | 5m creek buffer | | Managed Land (floodway / park) |
| | Contour (10m) | | Managed Land / Grassland (development Site) |
| | Contour (1m) | | Managed Land (road corridor) |
| | Sales Office | | |
| | Exhibition Area | | |
| | Exhibition Lots | | |
| | Carpark | | |
| | Managed Land (Temporary APZ) | | |

SOURCE:
 Cadastral Boundary: NSW Department of Finance, Services and Innovation 2021
 Watercourse: Geoscience Australia 2015
 PCT Vegetation Zones: GHD 2021
 Surface analysis: Derived from LiDAR - Newcastle & Cessnock 1 metre Resolution Digital Elevation Model © Department Finance, Services and Innovation 2012



A3 Scale: 1:2,000

File: GilliestonHeights_Fig8_SlopeVeg_220401_SALES_OFFICE2
 Date: 1/04/2022

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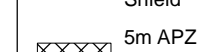
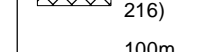
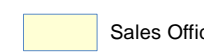
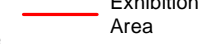
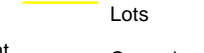
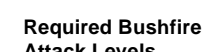





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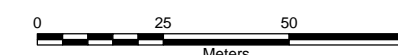
Subdivision BAL Plan



BUSHFIRE
PLANNING
AUSTRALIA

-  Stage 1 boundary
 -  Managed Land (active open space)
 -  1.8m Radiant Heat Shield
 -  5m APZ Setback (Lot 216)
 -  100m temporary APZ buffer
 -  Sales Office
 -  Exhibition Area
 -  Exhibition Lots
 -  Carpark
- Required Bushfire Attack Levels (AS3959-2018)**
-  BAL - FZ
 -  BAL - 40
 -  BAL - 29
 -  BAL - 19
 -  BAL - 12.5

SOURCE:
 Cadastral Boundary: NSW Department of Finance, Services and Innovation 2021
 Surface analysis: Derived from LiDAR - Newcastle & Cessnock 1 metre Resolution Digital Elevation Model
 © Department Finance, Services and Innovation 2012



A3 Scale: 1:1,500

File: GilliestonHeights_Fig9_BALs_220401_SALES_OFFICE2
Date: 1/04/2022

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Table 1 SEPP (Exempt and Complying Development Codes) 2008 – Clause 3.4 Complying development on bushfire prone land

3.4 Complying development on bush fire prone land		Complies
3.4 (2)	If complying development under this code is carried out on bush fire prone land, the following development standards also apply in addition to any other development standards:	
(a)	<i>repealed</i>	
(b)	The lot on which the development is to be carried out must have direct access to a public road or a road vested in or maintained by the council, and	✓
(c)	The dwelling house must be able to be connected to mains electricity.	✓
(d)	If reticulated or bottled gas is installed and maintained on the lot: (i) It must be installed and maintained in accordance with AS/NZS 1596:2008, <i>The storage and handling of LP Gas</i> ; and (ii) The storage and handling of any LP gas on the lot must comply requirements of the relevant authorities (metal piping must be used).	Able to comply
(e)	Any gas cylinders on the lot that are within 10m of any dwelling house: (i) Have the release valves directed away from the dwelling house, and (ii) Be enclosed on the hazard side of the installation, and (iii) Have a metal connections to and from the cylinder,	Able to comply
(f)	There are no polymer sheathed flexible gas supply lines to gas meters adjacent to the dwelling.	Able to comply
(g)	If the development is carried out on a lot in Zone RU5, there must be: (i) A reticulated water supply connection to the lot and a fire hydrant within 60m of any part of the development, or (ii) A 10,000 L capacity water tank on the lot,	N/A Zone R2 – Low Density Residential
(h)	If the development is carried out on a lot in any other zone other than Zone RU5, there must be: (i) A reticulated water supply connection to the lot, and (ii) A fire hydrant within 60m of any part of the development,	✓
(i)	The development confirms to the specifications and requirements of <i>Planning for Bush Fire Protection</i> that are relevant to the development.	✓ See Table 2



Table 2 Performance Criteria and Acceptable Solutions bush fire protection measures for Infill Development (Chapter 7 PBP 2019)

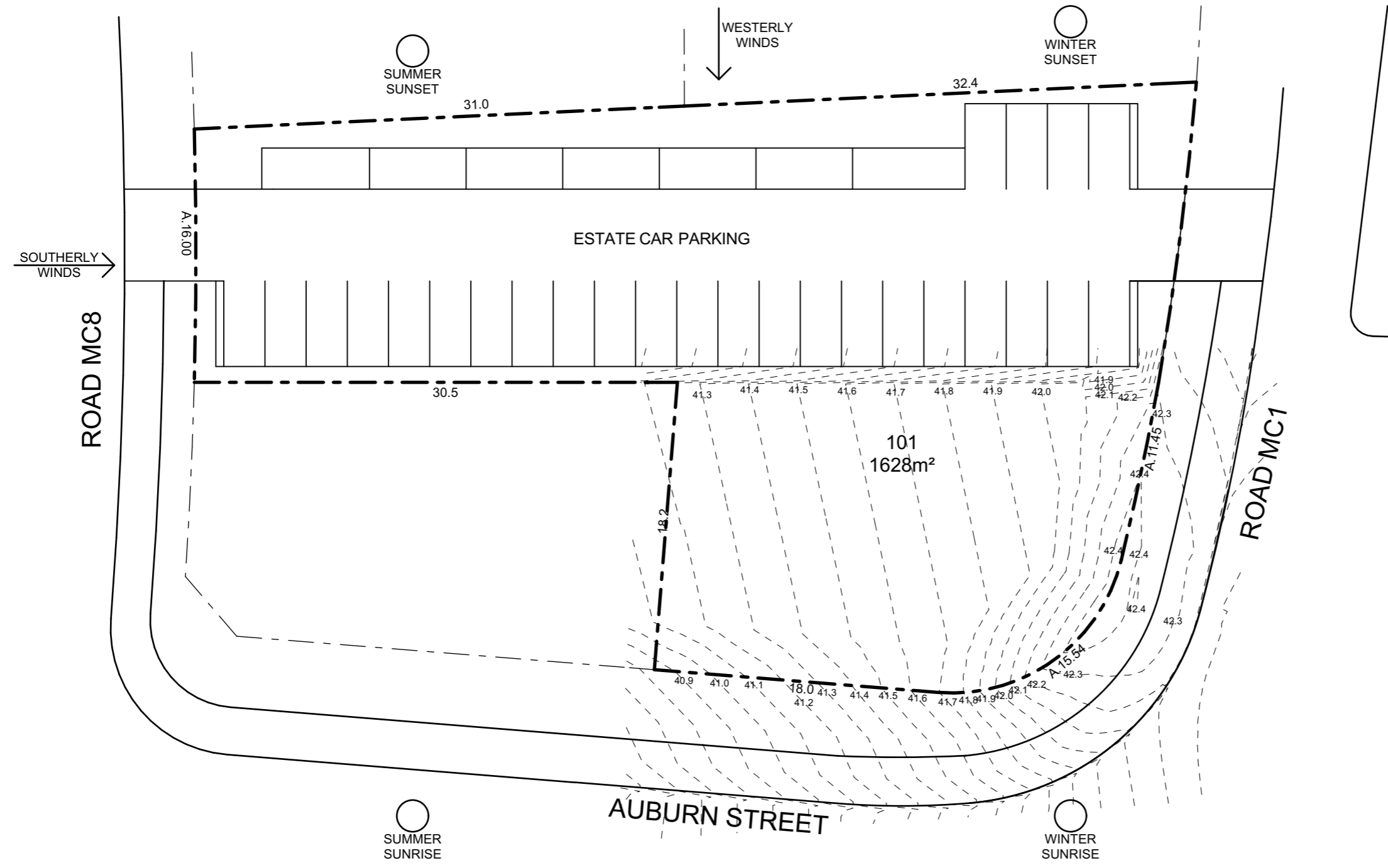
Performance Criteria	Acceptable Solutions	Complies	Comment
<p>Asset Protection Zones:</p> <ul style="list-style-type: none"> • APZs are provided commensurate with the construction of the building. • A defensible space is provided. • APZs are managed and maintained to prevent the spread of a fire towards the building. • The APZ is provided in perpetuity. • APZ maintenance is practical, soil stability is not compromised and the potential for crown fires is minimised. 	<ul style="list-style-type: none"> ➤ An APZ is provided in accordance with Table A1.12.2 or A.12.3 in Appendix 1. ➤ APZs are managed in accordance with the requirements of Appendix 4 of PBP. ➤ APZs are wholly within the boundaries of the development site. ➤ APZs are located on lands with a slope less than 18 degrees. 	✓	All vegetation within 100m of the proposed development will be managed in accordance with the requirements of an APZ; per Appendix 4 of PBP 2019.
<p>Access Requirements</p> <ul style="list-style-type: none"> • Firefighting vehicles are provided with safe, all-weather access to structures and hazard vegetation. • The capacity of access roads is adequate fire firefighting vehicles. • There is appropriate access to water supply. • Firefighting vehicles can access the dwelling and exit safely. 	<ul style="list-style-type: none"> ➤ Property access roads are two-wheel drive, all-weather ➤ The capacity of road surfaces and any bridges/ causeways is sufficient to carry fully loaded firefighting vehicles (up to 23 tonnes); bridge and causeways are to clearly indicate load ratings, and ➤ Hydrants are provided in accordance with AS2419:2005 ➤ There is suitable access for a category 1 fire appliance to within 4m of the static water supply where no reticulated supply is available ➤ A minimum vertical clearance of 4m to any overhanging obstructions, including tree branches 	✓	The proposed building is provided with a direct street frontage to a public, two-way, all weather road.
<p>Water Supplies</p> <ul style="list-style-type: none"> • An adequate water supply is provided for firefighting purposes. • Water supplies are located at regular intervals. • The water supply is accessible and reliable for firefighting operations. • Flows and pressures are appropriate. 	<ul style="list-style-type: none"> ➤ Reticulated water is to be provided to the development, where available ➤ A static water supply is provided where no reticulated water is available ➤ Fire hydrant spacing, design and sizing comply with AS2419.1:2005; and ➤ Hydrants are not located within any road carriageway; and ➤ Reticulated water supply to urban subdivisions uses a ring main 	✓	The lot is connected to a compliant reticulated water supply



Performance Criteria	Acceptable Solutions	Complies	Comment
<ul style="list-style-type: none"> The integrity of the water supply is maintained. A static water supply is provided for firefighting purposed in areas where reticulated water is not available. 	<ul style="list-style-type: none"> system for areas with perimeter roads Fire hydrant flows and pressures comply with Table 2.2 and AS2419.1:2005. All above ground water service pipes are metal, including and up to any taps. 		
<p>Electricity Services</p> <ul style="list-style-type: none"> Location of electricity services limits the possibility of ignition of surrounding bush land or the fabric of buildings. 	<ul style="list-style-type: none"> Where practicable; electrical transmission lines are underground. 	✓	The lot is connected to a compliant underground electrical supply.
<p>Gas Services</p> <ul style="list-style-type: none"> Location and design of gas services will not lead to ignition of surrounding bushland or the fabric of buildings. 	<ul style="list-style-type: none"> Reticulated or bottled gas is installed and maintained in accordance with AS/NZS 1596:2014 and the requirements of relevant authorities, and metal piping is used. 	✓	The lot is connected to a compliant gas supply.
<p>Construction Standards</p> <ul style="list-style-type: none"> The proposed building can withstand bush fire attack in the form of embers, radiant heat and flame contact. Proposed fences and gates are designed to minimise the spread of bush fire. Proposed Class 10a buildings are designed to minimise the spread of bush fire 	<ul style="list-style-type: none"> BAL is determined in accordance with Tables A1.12.5 to A1.12.7. Construction provided in accordance with the NCC as modified by section 7.5. Fencing and gates are constructed in accordance with section 7.6. Class 10a buildings are constructed in accordance with section 8.3.2. 	✓	The BAL for the dwelling has been determined as BAL-LOW . There is insufficient risk to warrant additional construction requirements.
<p>Landscaping</p> <ul style="list-style-type: none"> Landscaping is designed and managed to minimise flame contact and radiant heat to buildings, and the potential for wind-driven embers to cause ignitions. 	<ul style="list-style-type: none"> Compliance with the NSW RFS 'Asset protection zone standards' (see Appendix 4) A clear area of low-cut lawn or pavement is maintained adjacent to the house Fencing and retaining walls are constructed in accordance with Section 7.6 Trees and shrubs are planted such that: <ul style="list-style-type: none"> The branches will not overhang the roof The tree canopy is not continuous If proposed, a windbreak, is located on the elevation from which fires are likely to approach. 	Able to comply	All landscaping is the responsibility of the landowner.

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02 Issue for DA 20/04/2022



Site Analysis Plan
SCALE 1:300 @ A3



Client
McCloy Group

Project
Regrowth Kurri
Sales / Site Office

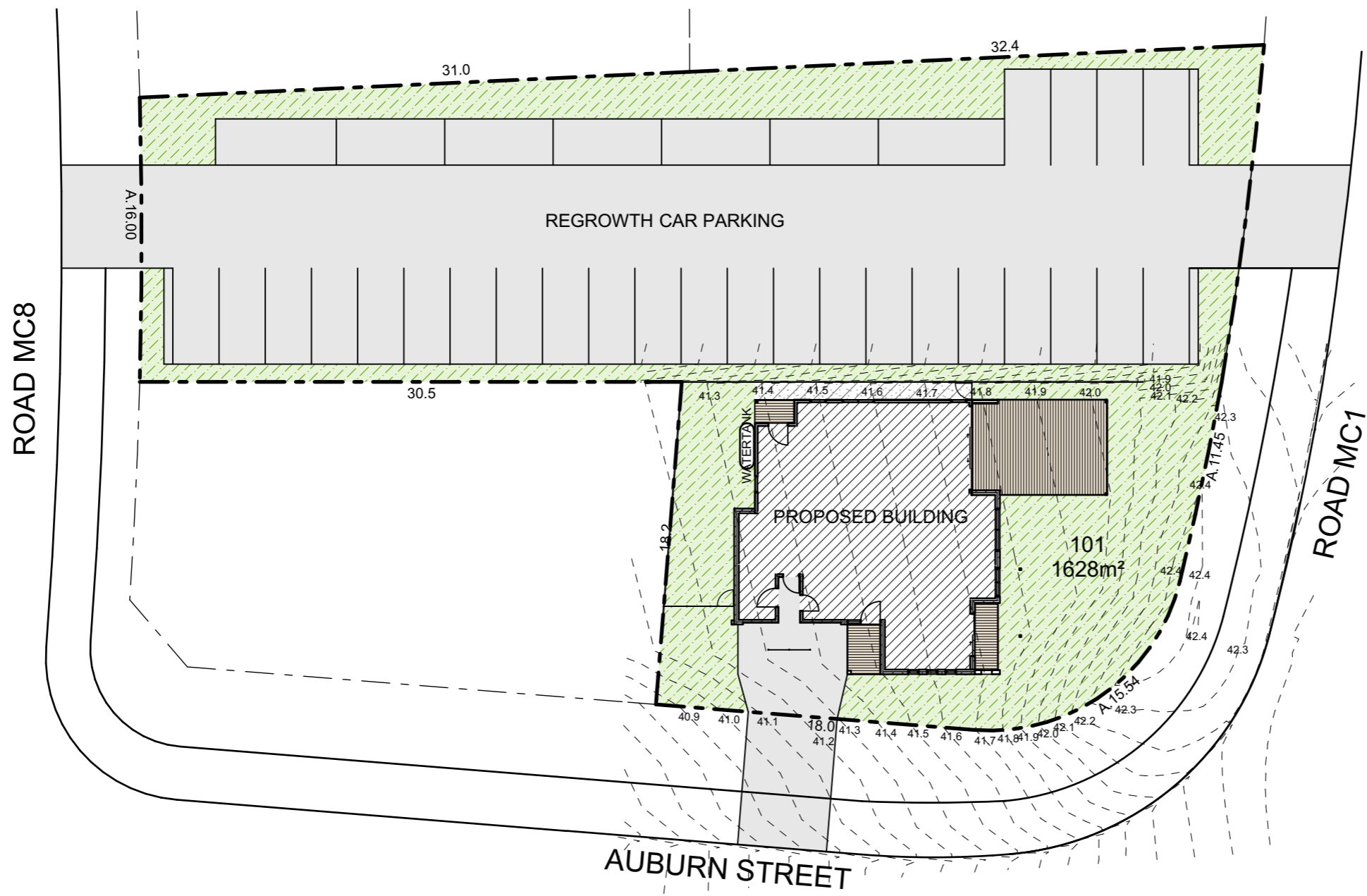
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Site Analysis - Demolition Plan

Job Number	Drawing Number	Issue
358	DA01	02



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Overall Site Plan
 SCALE 1:300 @ A3



Client
 McCloy Group

Project
 Regrowth Kurri
 Sales / Site Office

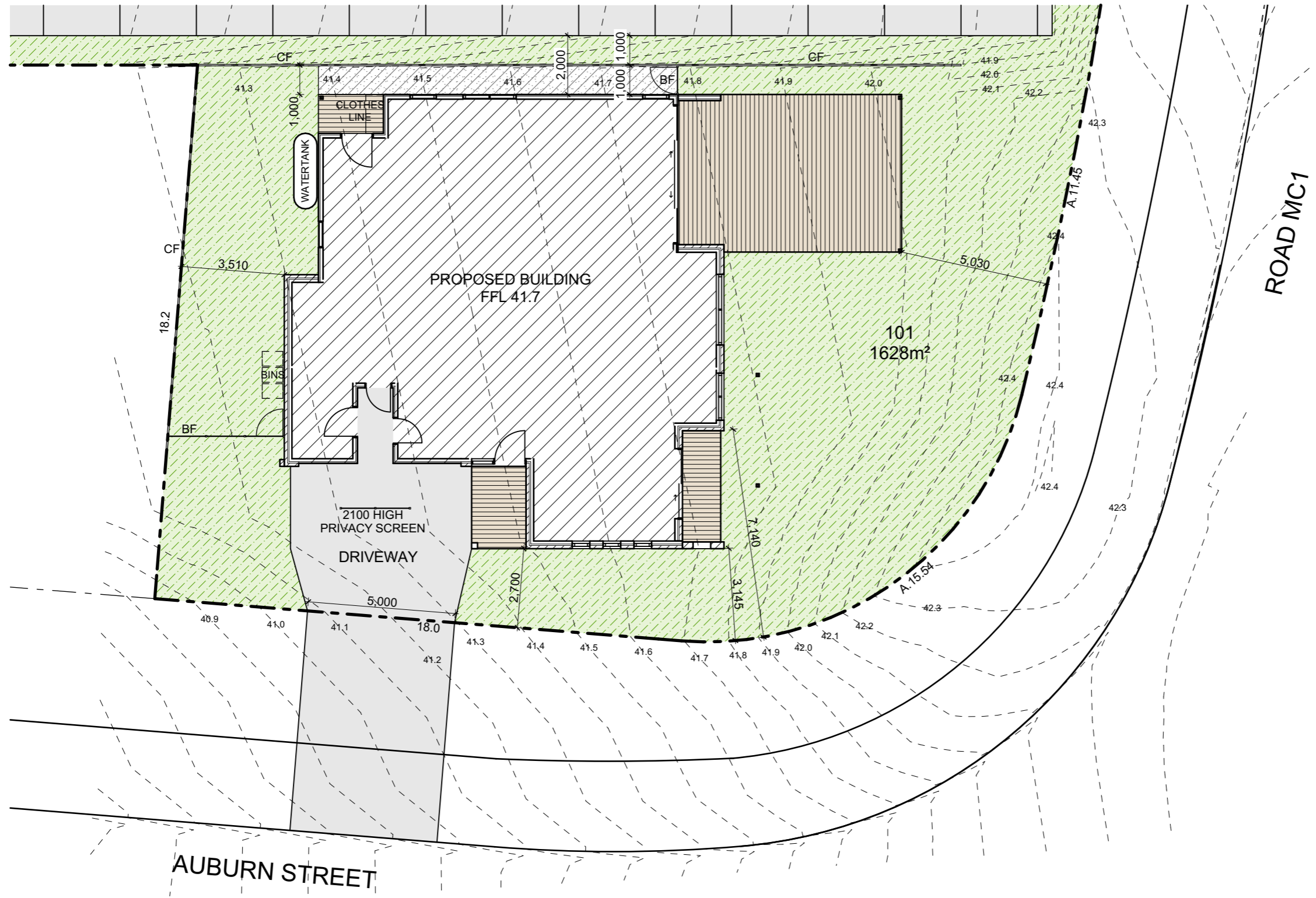
Drawing Title
 Overall Site Plan

Job Number	Drawing Number	Issue
358	DA02	02



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- LANDSCAPING
- GRAVEL

BF BATTEN FENCE - 1800 HIGH
 CF COLORBOND FENCE - 1800 HIGH

Dimensions between the boundary & lightweight clad walls are for DA purposes only and to the face of the cladding. These dimensions ARE NOT construction dimensions.

Site Plan
 SCALE 1:150 @ A3



Client
 McCloy Group

Project
 Regrowth Kurri
 Sales / Site Office

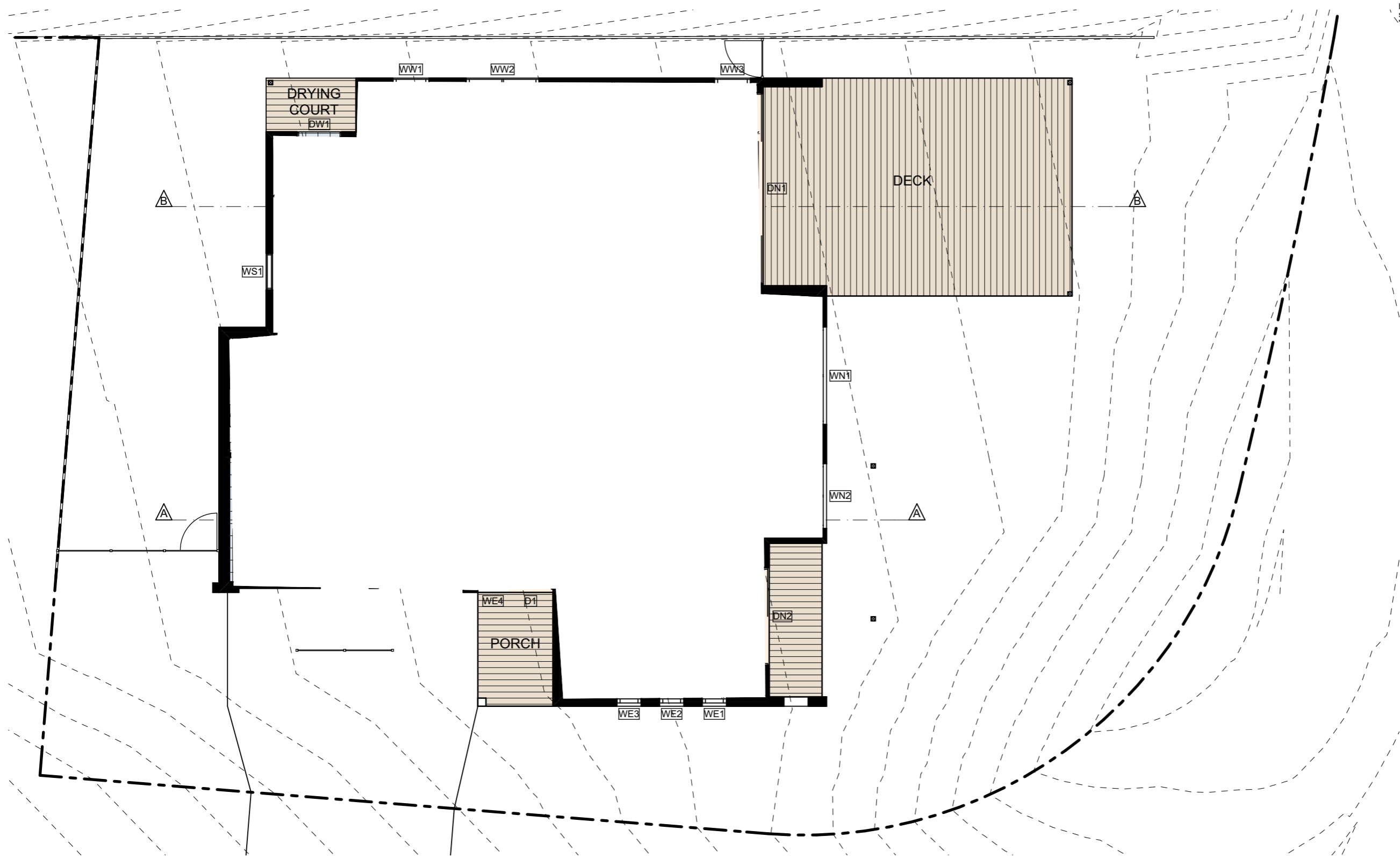
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 Site Plan

Job Number	Drawing Number	Issue
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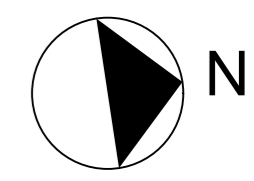


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Ground Floor Plan
 SCALE 1:100 @ A3



McCLOY GROUP

GROUND FLOOR	238m ²
FIRST FLOOR	113m ²
TOTAL AREA	351m ²

Client
 McCloy Group

Project
 Regrowth Kurri
 Sales / Site Office

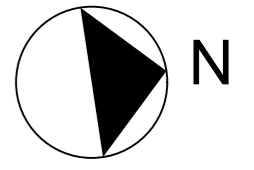
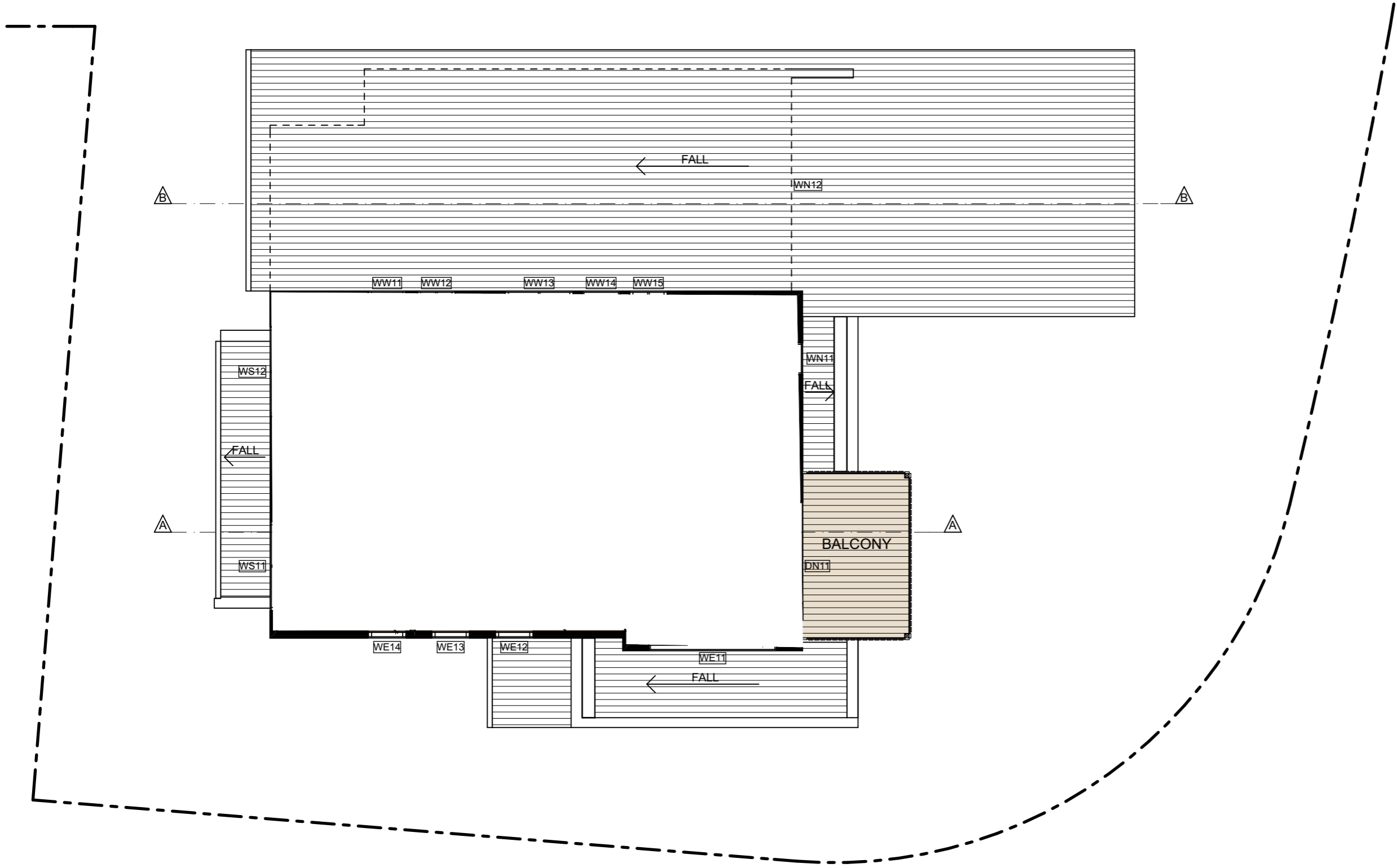
Drawing Title
 Ground Floor Plan

Job Number	Drawing Number	Issue
358	DA04	02



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○ First Floor Plan
 SCALE 1:100 @ A3

Client
 McCloy Group

Project
 Regrowth Kurri
 Sales / Site Office

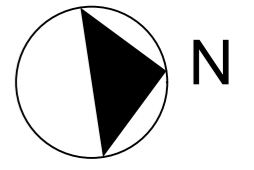
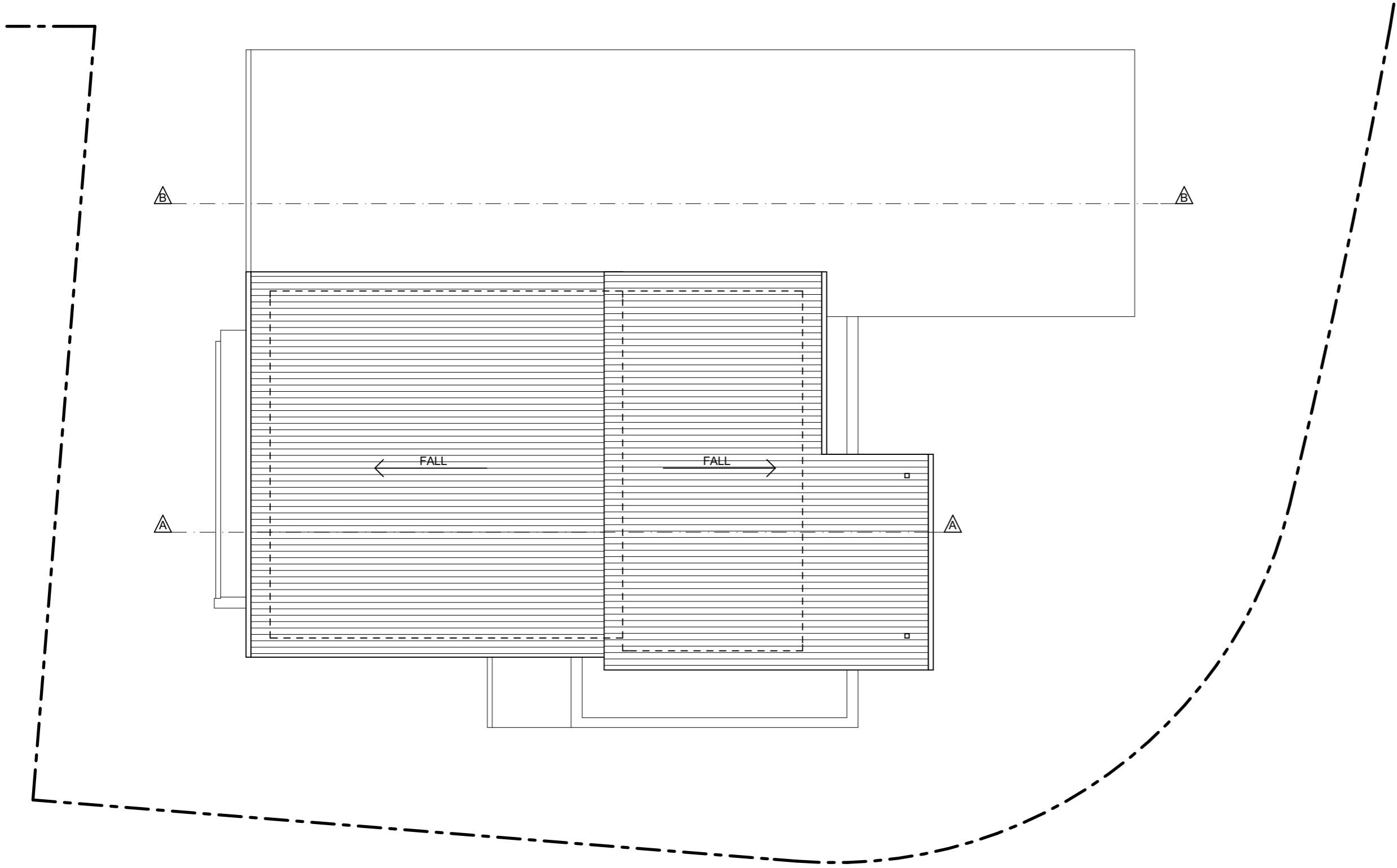
Drawing Title
 First Floor Plan

Job Number	Drawing Number	Issue
358	DA05	02



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02	Issue for DA	20/04/2022



Roof Floor Plan
SCALE 1:100 @ A3



Client
McCloy Group

Project
Regrowth Kurri
Sales / Site Office

Drawing Title
Roof Plan

Job Number	Drawing Number	Issue
358	DA06	02



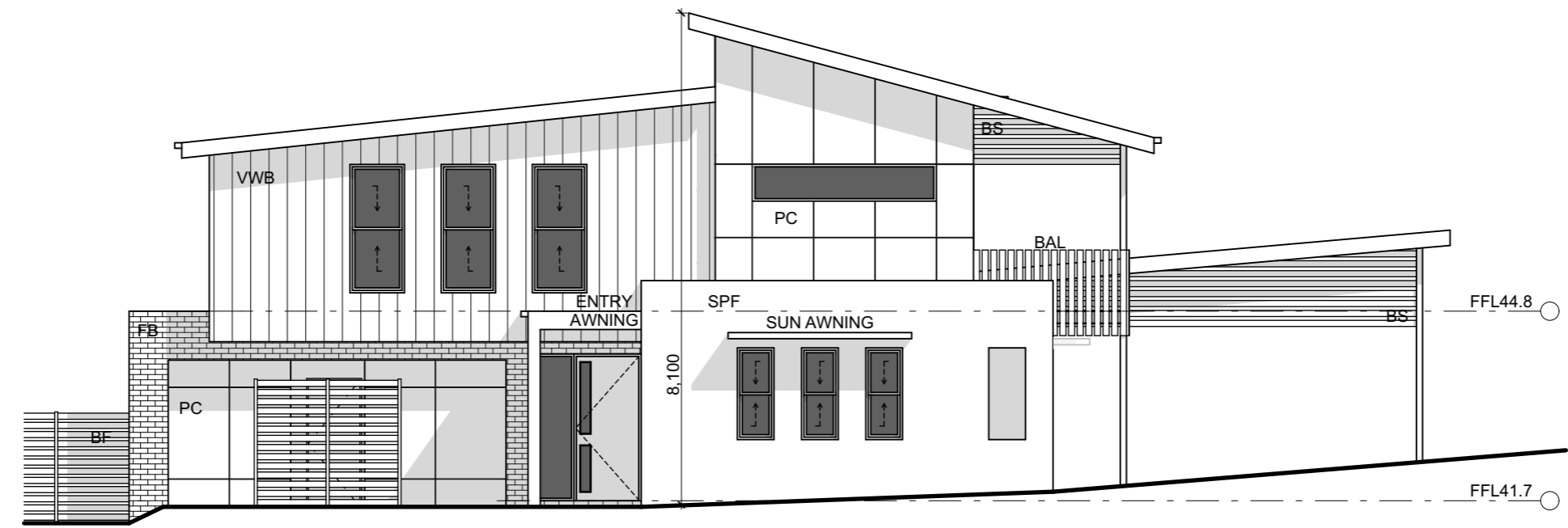
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North Elevation
 SCALE 1:100 @ A3

BAL	BALUSTRADE
BF	BATTEN FENCE
BS	BATTEN SCREEN
CFG	COLORBOND FASCIA & GUTTER
CR	COLORBOND ROOF
FB	FACE BRICK
PC	PANELISED CLADDING
SPF	SMOOTH PAINTED FINISH
WBV	WEATHERBOARDS VERTICAL



East Elevation
 SCALE 1:100 @ A3

Client
 McCloy Group

Project
 Regrowth Kurri
 Sales / Site Office

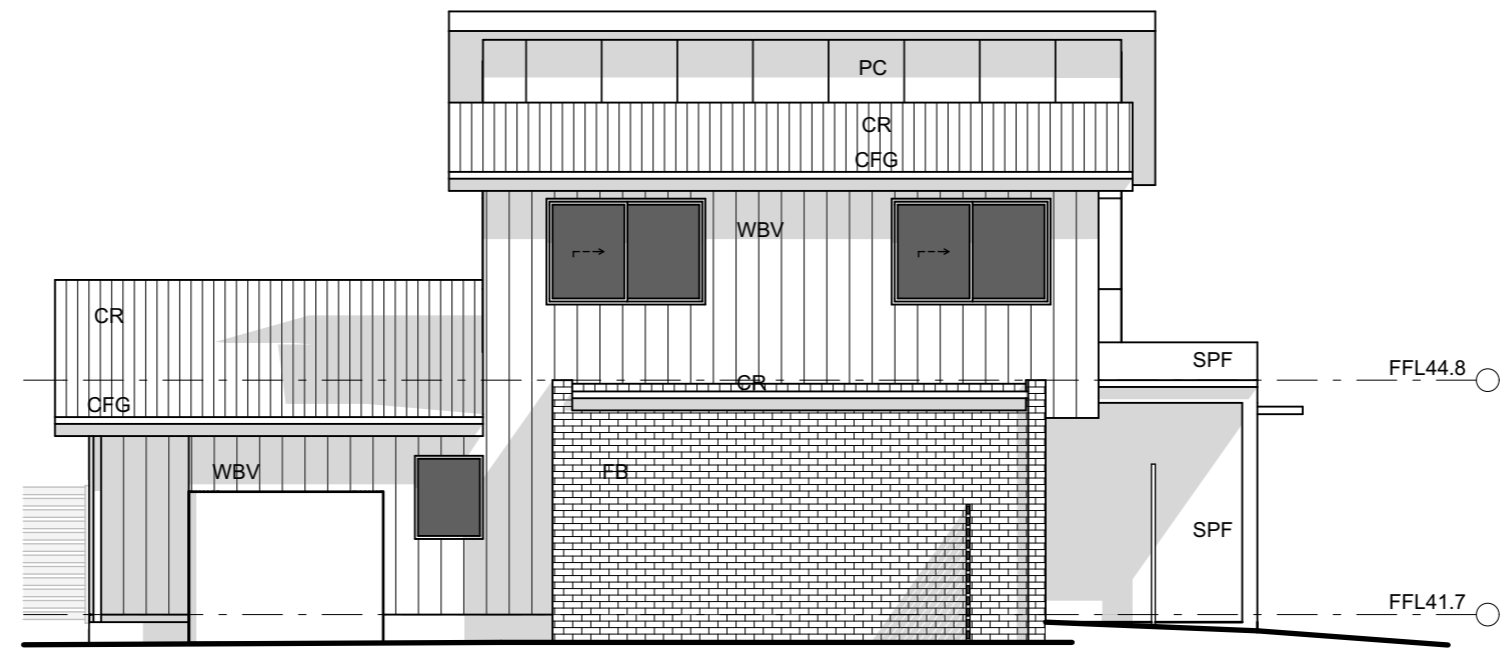
Drawing Title
 Elevations

Job Number	Drawing Number	Issue
358	DA07	02



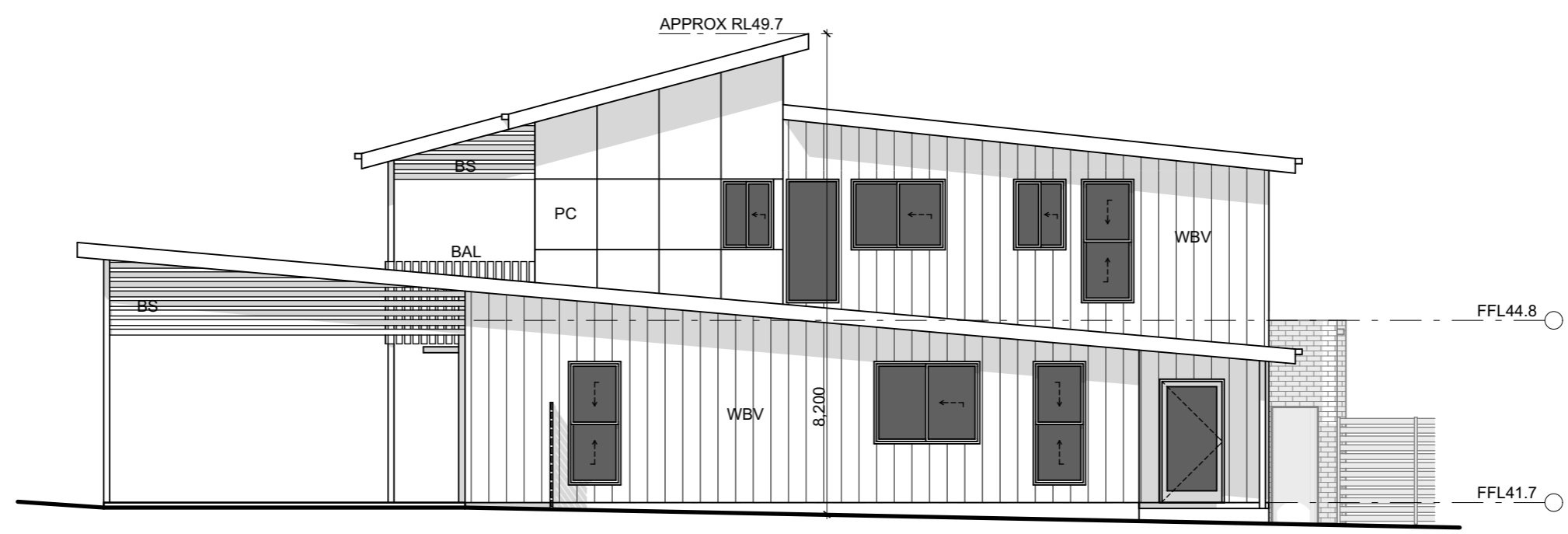
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South Elevation
 SCALE 1:100 @ A3

BAL	BALUSTRADE
BF	BATTEN FENCE
BS	BATTEN SCREEN
CFG	COLORBOND FASCIA & GUTTER
CR	COLORBOND ROOF
FB	FACE BRICK
PC	PANELISED CLADDING
SPF	SMOOTH PAINTED FINISH
WBV	WEATHERBOARDS VERTICAL



West Elevation
 SCALE 1:100 @ A3

Client
 McCloy Group

Project
 Regrowth Kurri
 Sales / Site Office

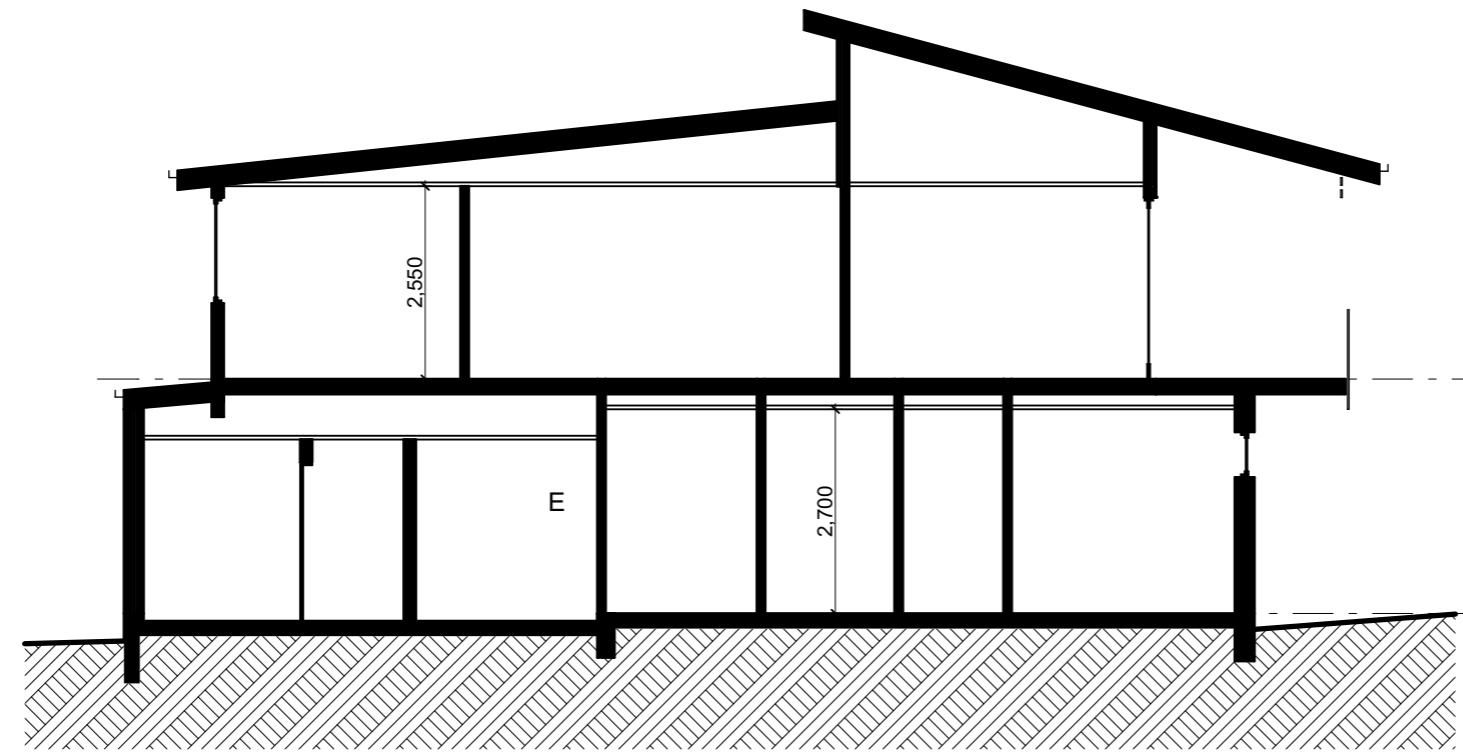
Drawing Title
 Elevations

Job Number	Drawing Number	Issue
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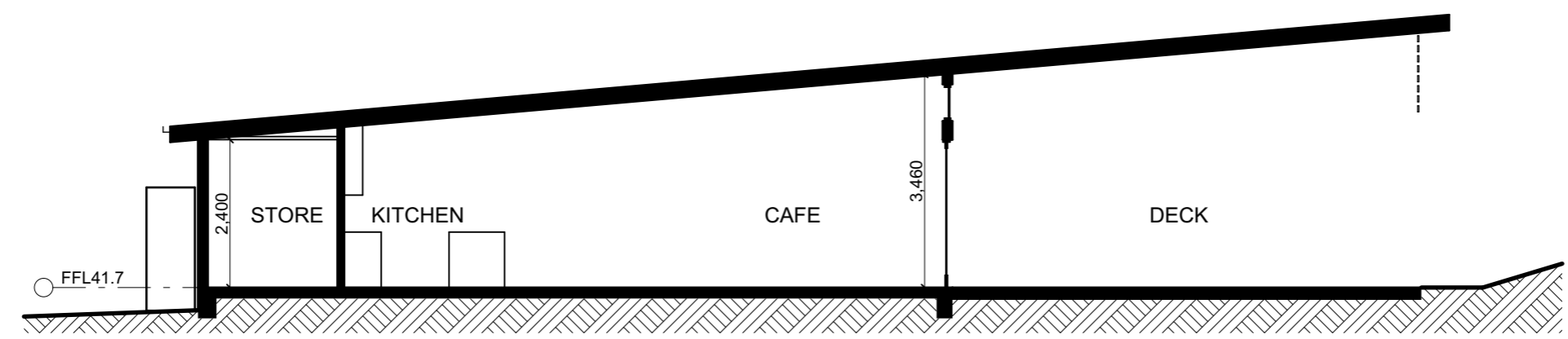


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A Section AA
 SCALE 1:100 @ A3



B Section BB
 SCALE 1:100 @ A3

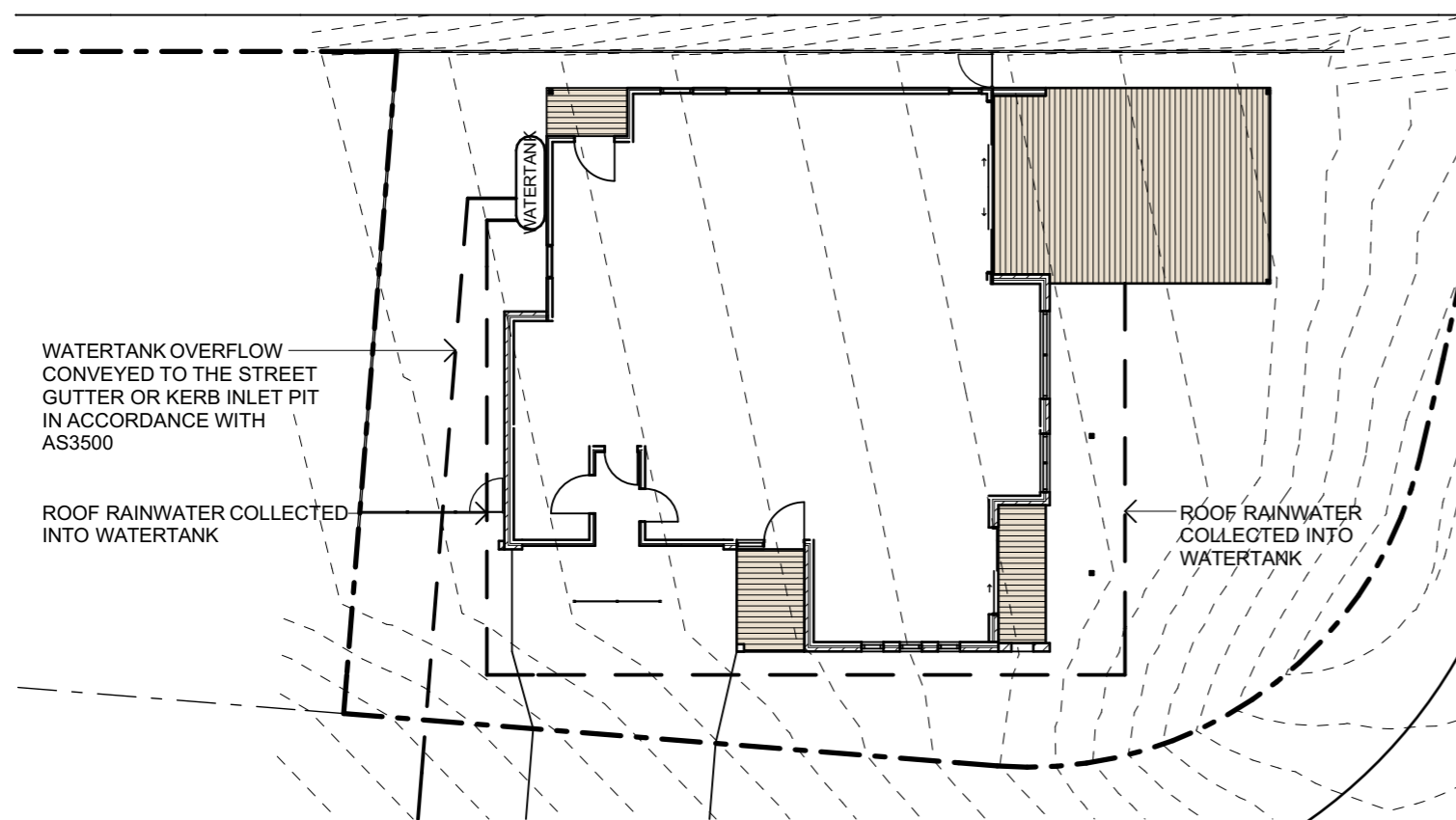
Client
 McCloy Group

Project
 Regrowth Kurri
 Sales / Site Office

Drawing Title
 Sections

Job Number	Drawing Number	Issue
358	DA09	02





BASIX REQUIREMENTS

WATER

- Showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min) in all showers in the development.
- Toilet flushing system with a minimum rating of 4 star in each toilet in the development.
- Taps with a minimum rating of 4 star in the kitchen in the development.
- Basin taps with a minimum rating of 4 star in each bathroom in the development.
- Watertank with a min. size 3000L
- Watertank to connect to all toilets, a cold water tap that supplies each clothes washer & at least one outdoor tap

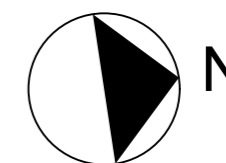
ENERGY

- Brick Veneer Walls have insulation with an R-value of at least 1.86 (or 2.40 including construction);
- External Framed Walls have insulation with an R-value of at least 2.00 (or 2.40 including construction);
- All ceilings have ceiling insulation 3.5 (up)
- All roofs have foil/sarking
- Roof colour medium (solar absorptance 0.475-0.70)

THERMAL COMFORT

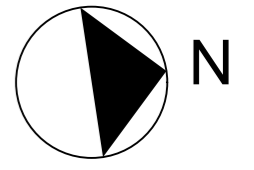
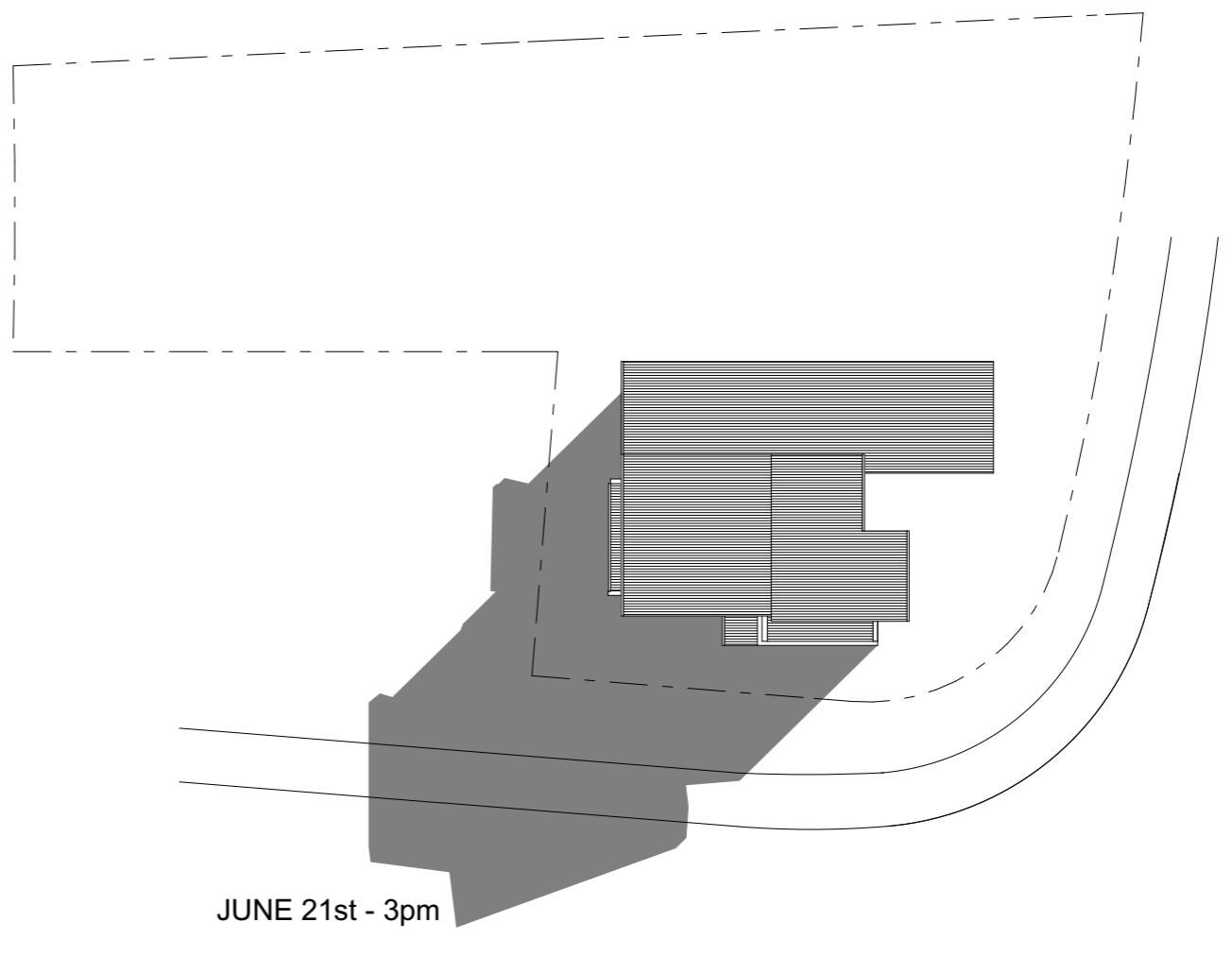
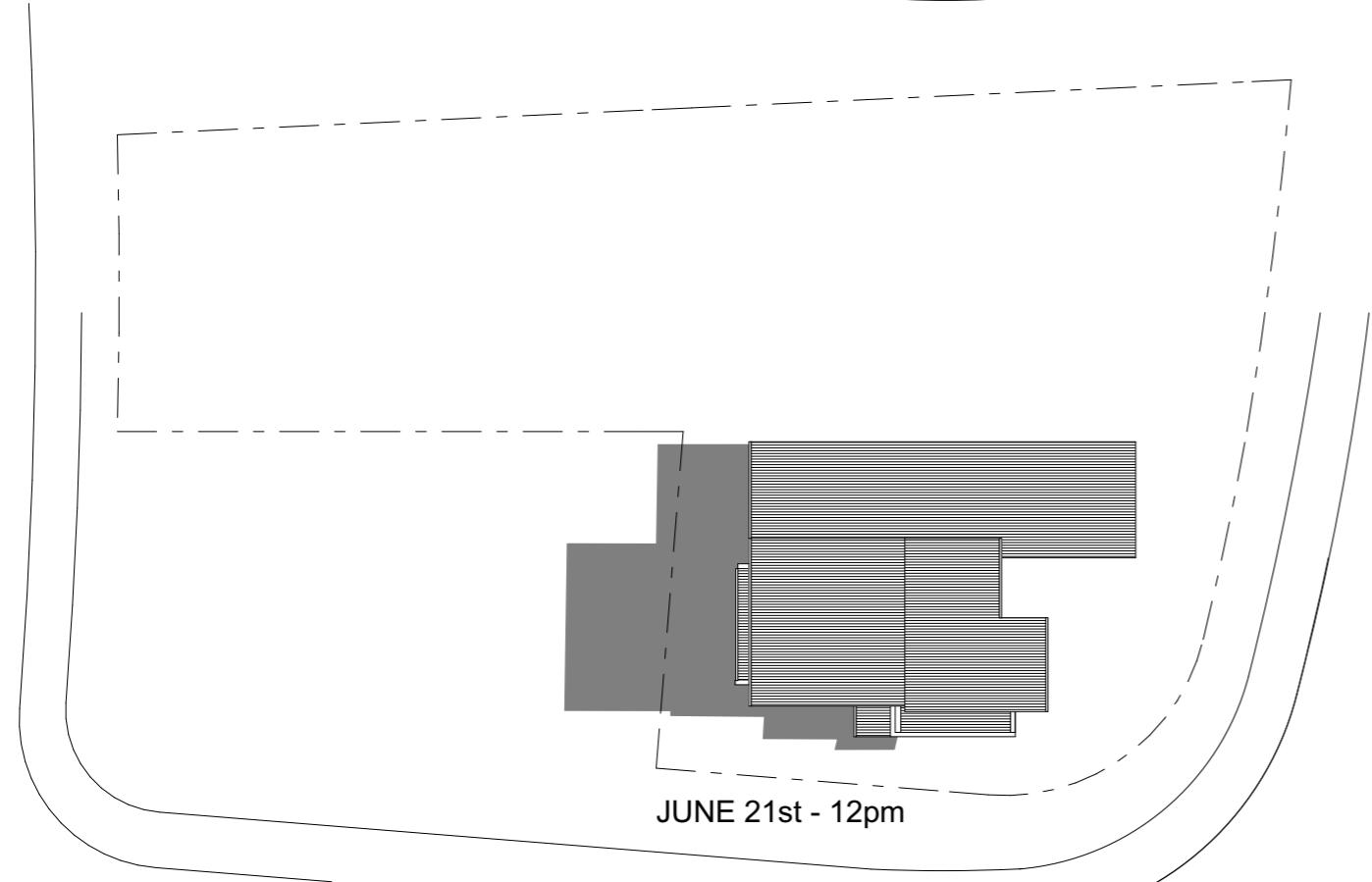
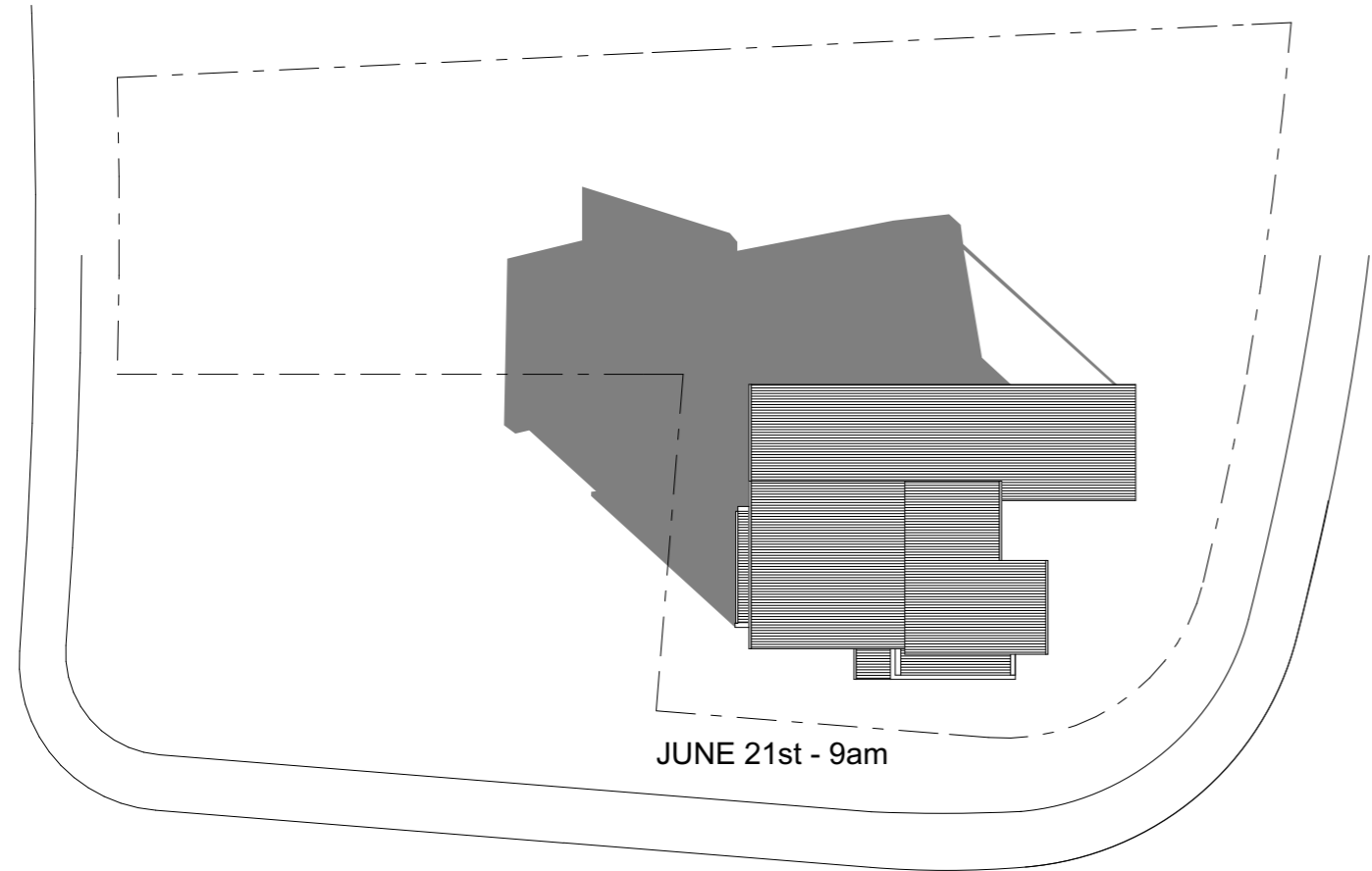
- Hot Water System: Gas Instantaneous 5 Star
- Heating & Cooling: Ducted A/C
- Ventilation: Bathroom, Kitchen & Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off
- Lighting: All lights fluorescent or light emitting diode (LED)
- Cooktop & Oven: gas cooktop & electric oven
- Refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
- Fixed outdoor clothes drying line provided.
- Min. 1.5kw PV system
- Glazing min. performance U-Value 5.6, SHGC 0.369 - 0.451

Concept Stormwater Plan
SCALE 1:200 @ A3



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01 For Information 8/04/2022
 02 Issue for DA 20/04/2022



Shadow Diagrams
 SCALE 1:400 @ A3



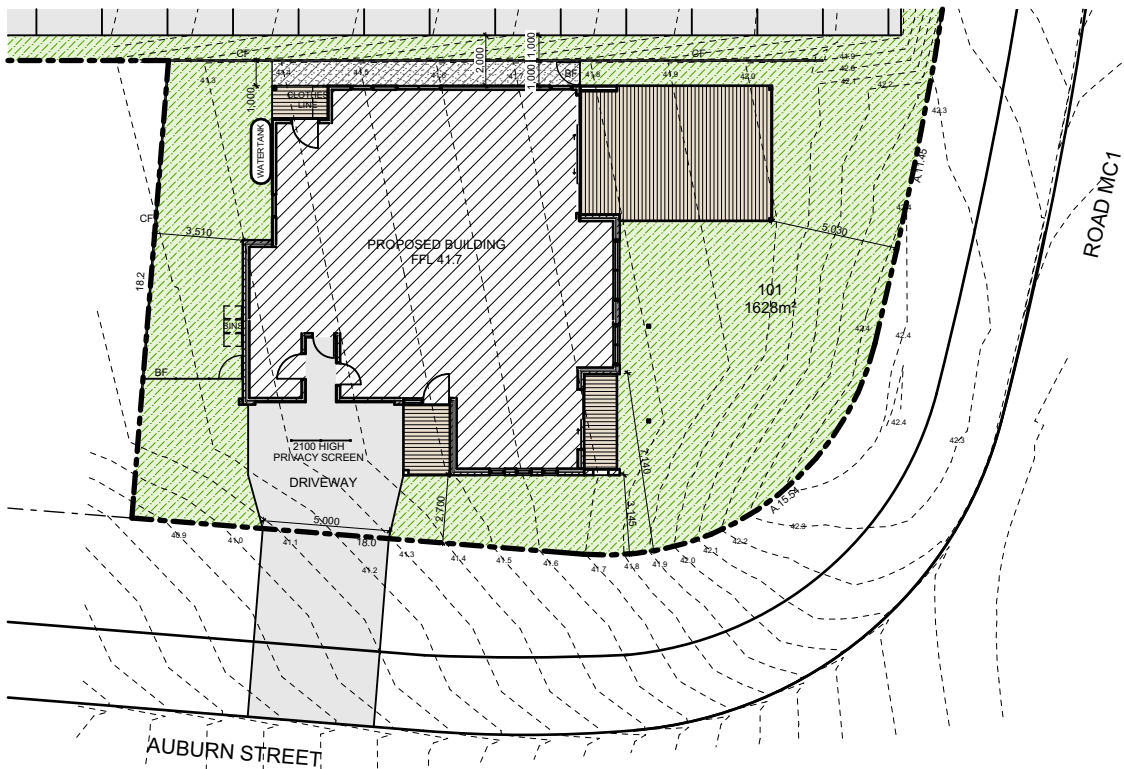
Client
 McCloy Group

Project
 Regrowth Kurri
 Sales / Site Office

Drawing Title
 Shadow Diagrams

Job Number	Drawing Number	Issue
358	DA11	02





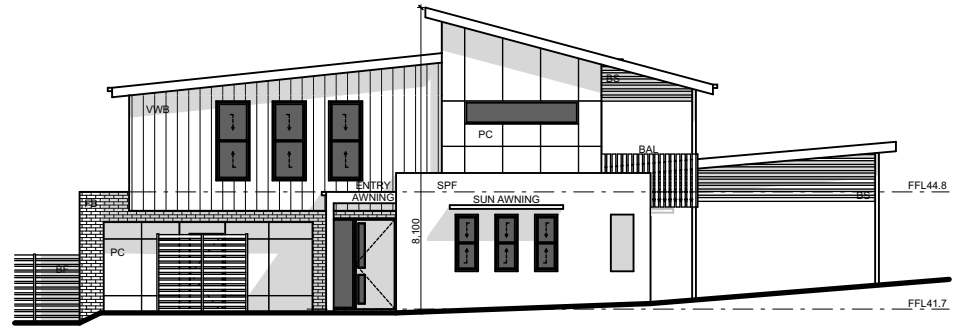
Site Plan

1:300



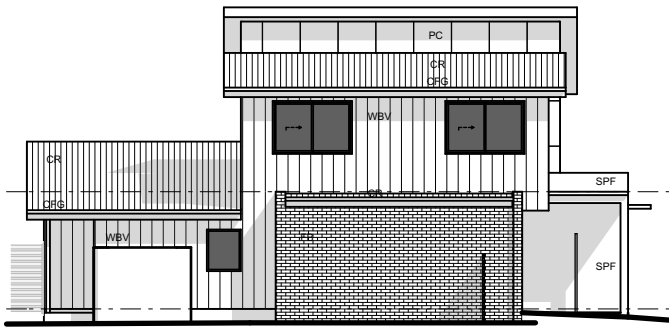
North Elevation

1:200



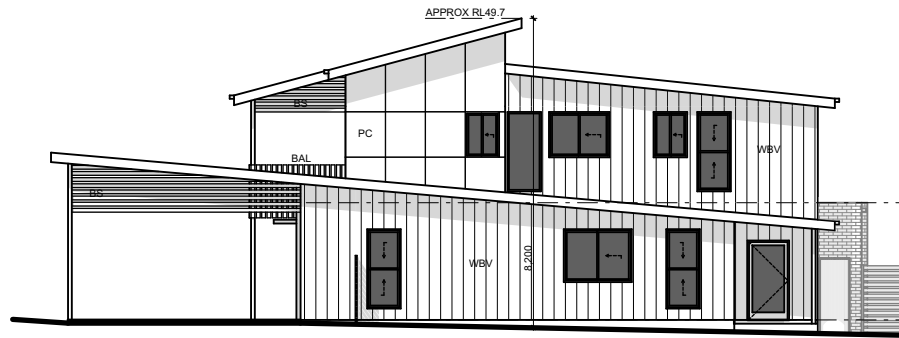
East Elevation

1:200



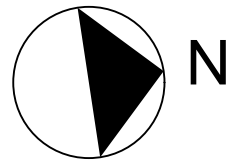
South Elevation

1:200



West Elevation

1:200



Project
 Regrowth Kurri
 Sales / Site Office
 Drawing Title
 Notification Plan

Job Number	Drawing Number	Issue
358	DA21	01