
Statement of Environmental Effects (SoEE)

Associated with

Development Application

For

Carley Butchard

**Lot 215, No. 4 Boronia Close,
Aberglasslyn, NSW 2320 (DP852275)**

Date: 21.01.2022

Introduction

This SoEE has been prepared to support a Development Application (DA) for Proposed Alteration to Existing Room of the Dwelling for Beauty Salon (Home Business).

This SoEE demonstrates that the proposal is generally consistent with the relevant statutory controls. In particular, the proposal represents a permissible form of development.

The aerial image (*Refer Figure 1*) below shows the subject site:



Figure 1: aerial image of site (*Source: Six Maps*)

Site & Context

The site is located at 4 Boronia Close, Aberglasslyn, NSW 2320 and is legally described as Lot 215 in DP 852275. (*Refer Figure 2*)

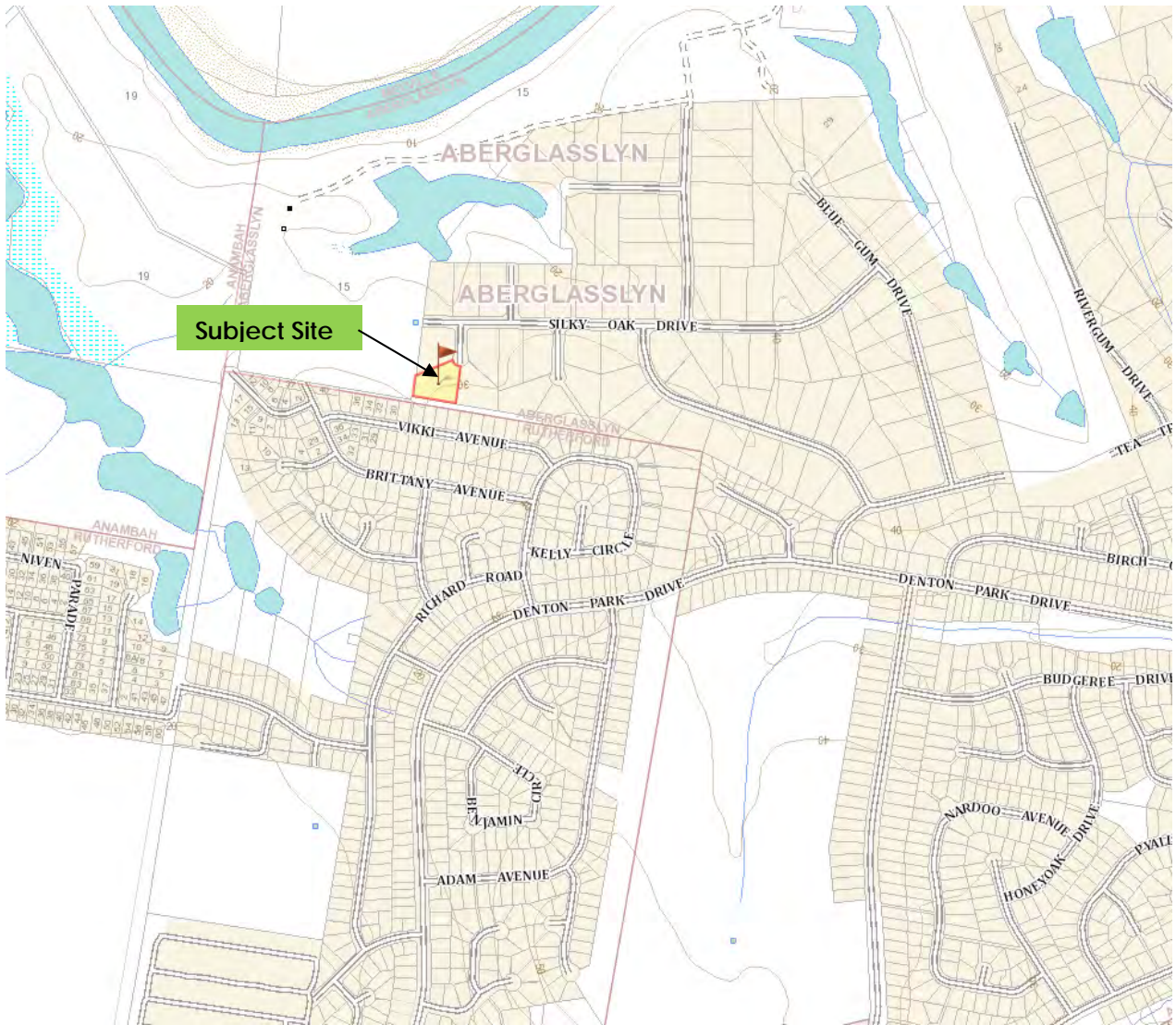


Figure 2: site location (Source: Six Maps)

The subject site is located in a lifestyle subdivision of Aberglasslyn with nigger lots and the area is occupied by mostly single & double storey residence. (Refer Figure 3 & 4)



Figure 3: photo of existing neighbours along Boronia Close - looking West (Source: Photo taken by Ash on 11/11/21)



Figure 4: photo of existing neighbours along Boronia Close - looking East (Source: Photo taken by Ash on 11/11/21)

The site currently has a double storey brick veneer dwelling. (Refer Figure 5)



Figure 5: photo of site (existing dwelling) from Boronia Close (Source: Photo taken by Ash on 11/11/21)

The site falls down from rear to front (towards street) from South West to North East and Side to side from South East to North West. Proposed Alteration to Existing Room of the Dwelling for Beauty Salon (Home Business) as per Architectural Drawings. (Refer Figure 6)



Figure 6: site plan (Source: drawing from AMS Design & Drafting)

The site falls into class 5 Acid Sulfate Soils so no further report is required.

The development does not adversely affect the views of neighbouring properties as it is of double storey on the big block of land and there is existing residence on site.

The site zoning is R5 – Large Lot Residential and it faces South West from Boronia Close.

Present and previous uses

The site currently has a double storey dwelling consisting of 5 bedrooms, lounge, family, dining, kitchen, powder, laundry, bath, rumpus and alfresco.

The proposed use will still be a Residential Dwelling consisting of the existing as mentioned above with proposed alteration to existing room of the dwelling for beauty salon (home business) which is permissible under the Maitland Local Environmental Plan 2011. (Refer Figure 7 & 8)



Figure 7: Existing floor plan (Source: drawing from AMS Design & Drafting)



Figure 8: Proposed floor plan (Source: drawing from AMS Design & Drafting)

The development already has a positive contribution to the character of the local Streetscape and proposed alteration to existing room of the dwelling for beauty salon (home business) will maintain the contribution as there is no change to the elevation and the project is only for an internal alteration. The scale and appearance of the development is compatible and sympathetic to the existing development in the locality and proposed alteration will still be compatible.

Operation and management

Proposed home business will operate as beauty salon as follows:

- some type of activities will include;
 - waxing
 - Facial tinting (Eyelash & eyebrow)
 - Fake tans
 - Manicure/Pedicure & hand/foot treatments
 - Facials
 - Body massage
 - Eyelash lifting
 - Microdermabrasion
 - Skin chemical peels
 - Skin needling
 - Ear piercing
 - Eyelash extensions
 - Acrylic (false) nails
 - Body treatments (body exfoliation/scrubs, mud wraps etc)
 - Makeup

- equipment's used;
 - Wax pots
 - Paraffin wax heater
 - Facial steamer
 - Hot towel cabinet
 - Spray Tan unit (+ compressor with gun)
 - Mega lamp
 - Nail LED lamp (to set gel polish)

- the resident will be the sole employee at the present.
- Salon will operate on demand by appointment only at different hours between 8:00am and 8:00pm, 7 days a week.
- Maximum number of customers expected at any one time will be 3, anticipated 1 at a time.
- Area for storage will be located inside the salon as cupboards.
- Waste disposal will be allocated to covered general bin and sharp container inside the salon. Outside bin will also be available for general waste.

Access and Traffic

Traffic generation will not be affected by the use of the new alteration (beauty salon) as existing dwelling is being used as a residence and new will be occupied by same people except there may be slight increase due to the Home Business but looking at the number of customers permitted should not be an issue plus there is plenty of space of site for customer parking. Though traffic generation will be increased during construction period which is always common.

It is not considered that the traffic to be generated will have any appreciable effect on the traffic flow in the street.

Privacy, views and overshadowing

There will be minimal overshadowing to adjoining premises by the building as it is of existing double storey and proposed internal alteration makes no difference.

The privacy of adjoining premises will not be affected as the building is of existing double storey and proposed internal alteration and the greater setback will provide privacy to adjoining properties.

The building will not substantially affect the views of adjoining premises.

Private Open Space

There is plenty of private open space (existing) with minimum dimension of 3m including 6m by 6m principal area as it is a big block of land as shown on the site plan.

Bushfire

N/A.

Flooding

N/A.

Soil and Water

N/A.

Heritage

N/A.

Energy

N/A.

There is existing outdoor clothes line.

Waste

Waste collection will be by normal domestic waste collection service as it is currently an existing dwelling. All waste from Home Business will be bagged and disposed into general bin and sharps will be disposed into sharps container. Existing garbage and recycling bins are located in an area which has no adverse visual effects and provides efficient and convenient use.

Concluding Comments:

Maitland City Council - Development Control Plan 2011 (DCP)

The application has been prepared to support the construction of a proposed alteration to existing room of the dwelling for beauty salon (home business) on behalf of the applicant.

As demonstrated throughout this SoEE, the proposed alteration meets the provisions set out in the DCP.

Accordingly, it is recommended that the proposal be granted development consent.