



LAND DEVELOPMENT SOLUTIONS

STATEMENT OF ENVIRONMENTAL EFFECTS

**FOR THE
ALTERATIONS & ADDITIONS, AND CHANGE OF USE
OF EXISTING DWELLING**

277 NEWCASTLE STREET, EAST MAITLAND

Lot 1 DP 198609

Prepared: August 2021

Reference: 6801

Client: Dr Sreekanth Kodur

SURVEYING • PLANNING • ENGINEERING

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1.0 INTRODUCTION

This Statement of Environmental Effects has been prepared to accompany a Development Application for the alterations, additions, and Change of Use of an existing residential dwelling at No. 277 Newcastle Street, East Maitland to Health Consulting Rooms.

Land Development Solutions Pty Ltd is lodging this application on behalf of our client, Dr Sreekanth Kodur, pursuant to Section 4.12 of the Environmental Planning and Assessment (EP&A) Act 1979. The proposal has been prepared in accordance with the provisions of Part 4 Division 4.3 Section 4.15 of the EP&A Act 1979, the relative State Environmental Planning Policies, Maitland City Council's Local Environmental Plan 2011, Lifestyle 2030 and Development Control Plan 2011.

Section 4.15(1) of the EPA Act, 1979 provides the assessment criteria which a consent authority is to take into consideration, where relevant, when considering a development application. An assessment of the proposal relative to the matters prescribed under Section 4.15(1) is provided in this report.

1.1 PURPOSE

The purpose of this SoEE is to outline the development proposal, consider any environmental effects, which may arise due to the proposed development and address how these issues can be mitigated. This application will demonstrate how the proposal will complement and enhance the surrounding neighbourhood and help support the rapidly growing need for additional healthcare services in the area.

2.0 SITE ANALYSIS

2.1 LOCATION & PROPERTY DESCRIPTION

The title details of the parcel subject to this Development Application are Lot 1 in DP 198609, 277 Newcastle Street, East Maitland, Parish of Maitland, County of Northumberland.

The proposed development site is on the north western corner of Newcastle and Brunswick Streets, with frontages of 16.67m and 38.105m respectively. The site is within a R1 General Residential zone and has an area of 637m². A single storey dwelling with tile roof, fibre cement shed, fibre cement and timber garage, and carport currently occupy the site.

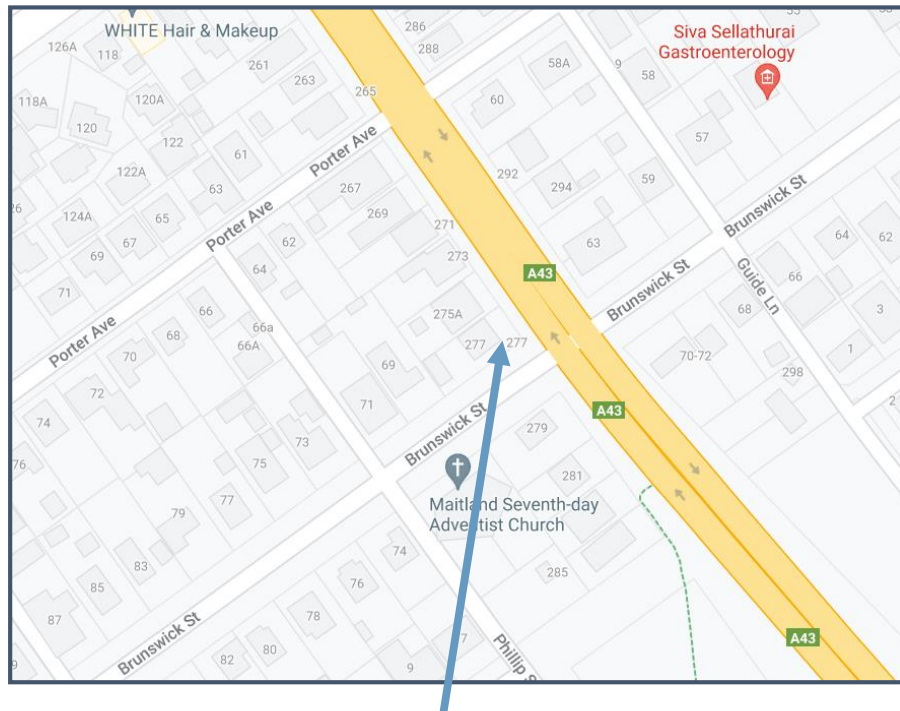


Figure 1: Locality diagram of subject site

2.2 SITE CHARACTERISTICS

The subject site falls within an area that is transitioning from older style residential housing to purpose built commercial premises. A single storey fibre cement residence with tile roof, fibre cement shed, fibre cement and timber garage, and carport currently occupy the site. The area consists predominantly of single and double storey commercial and residential dwellings.

The site is within close proximity to parks, schools, sporting grounds, shopping centres, local businesses and public transport.



Figure 2: Existing dwelling at 277 Newcastle Street, East Maitland

2.2.1 Topography

The site slopes from the west to the east of approximately 7%. The lowest point on the site has an AHD RL of around 34m at the intersection of Newcastle and Brunswick Streets.

2.2.2 Easements

The subject site is not burdened or benefited by any easements.

2.2.3 Flooding

The subject site is not identified as being within a flood effected area.

2.2.4 Geotechnical Conditions

The site is identified as an Acid Sulfate Soils Class 5 and therefore the proposed work will not require an acid sulfate management plan or any additional geotechnical testing.

2.2.5 Site Contamination

It is unlikely that the subject site has been affected by any form of contamination.

2.2.6 Mine Subsidence

The subject site is not within a proclaimed Mine Subsidence District (under Section 22 of the Coal Mine Subsidence Compensation Act 2017).

2.2.7 Heritage Significance

The site is not located within a heritage conservation area.

2.2.8 Bushfire

The subject site is not located within a bushfire threat area.

2.3 STREETScape AND SURROUNDING DEVELOPMENT

The streetscape is a mix of single and double story residential and commercial dwellings of an older style design. The site is adjoined to the north west at No. 275 by a single storey brick and fibro dwelling with metal roof and to the west located at No. 3 is a single storey weatherboard dwelling with tile roof.



Figure 3: Neighbouring dwelling at No.275 Newcastle Street

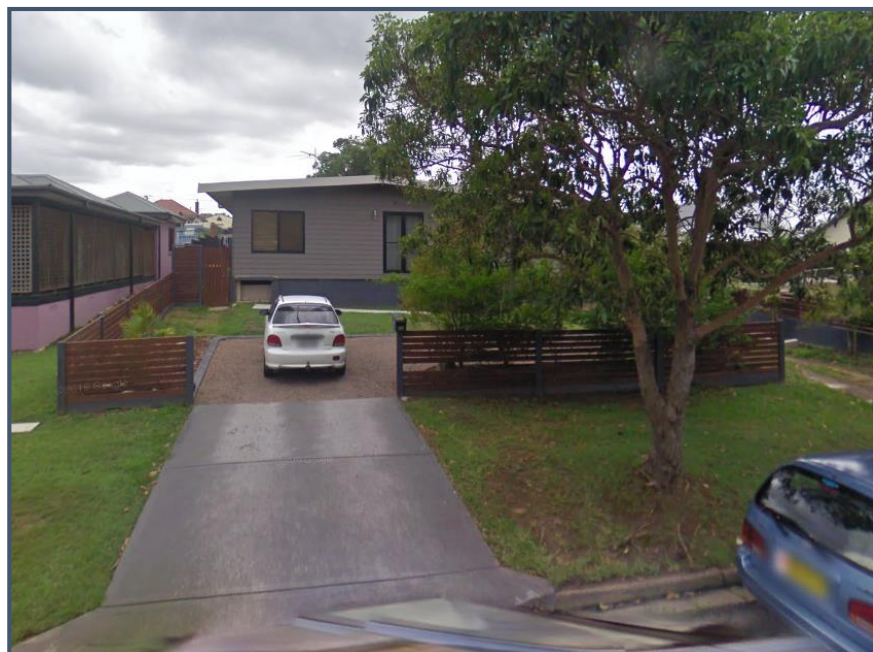


Figure 4: Neighbouring dwelling at No.69 Brunswick Street

3.0 DETAILS OF THE PROPOSAL

3.1 THE PROPOSAL

The purpose of this application is to obtain consent for the alterations, additions, and change of use to allow health consulting service to be known as “Pacific Heart Centre”. The proposal encloses a rear deck to increase to overall gross floor area by 16m², includes internal alterations, demolition of garage, carport and construction of a carpark at the rear of the building. Disability access is provided with a proposed access ramp and a disabled toilet is proposed.

The Practice will operate two consulting rooms, one “stress test” room, two office spaces, staff room and a waiting area. The centre’s hours of operation will be 9am -5pm Monday to Friday. The practice consists of the Doctor, nurse, office manager and a receptionist.

3.2 SITE OPPORTUNITIES AND CONSTRAINTS

The site allows a unique opportunity to create an additional healthcare service in a location that is ideally suited to urban infrastructure, public transport, schools and recreational facilities. There are already various medical and commercial businesses operating in and around Newcastle and Brunswick Streets including a shopping centre, gastroenterologist, podiatrist, specialist surgeon and obstetrician.

3.3 EXISTING USE

The site is currently used for residential housing.

3.4 SURROUNDING DEVELOPMENT

The area consists predominantly of residential and commercial dwellings in the form of single and double-storey buildings.

The site is located within a short distance to schools, shopping centre, cafes, sporting ovals and netball courts, and various transport networks. The proposed healthcare centre is a valuable addition to the local community.

3.5 HERITAGE CONSIDERATIONS

As detailed in [Section 2.2.7](#) of this report the site is not located within a conservation area.

3.6 SITE PLANNING & ANALYSIS

The development design is based on adaptive reuse of a significant portion of the existing building whilst upgrading it to meet the BCA, NCC and disability access requirements. The existing driveway apron is maintained with removal of the current garage and carport to provide a carpark for the practice that is accessible from the local street network of Brunswick Street. The design will provide upgraded disability access from the street while also including accessible amenities and carparking appropriate for disability access. The proposed extensions are very minor and will be retained within 3m of fire source feature.

3.7 BUILDING DESIGN

The architectural design is single storey with windows looking towards Brunswick and Newcastle Streets. The waiting room and reception receives excellent sunlight throughout the day with the consult rooms located on the northern side of the building. A subtle mix of materials enhances the proposed built form whilst maintaining the current façade to Newcastle Street.

The development utilises Environmentally Sustainable Design principles where possible whilst still working within the constraints of the site.

The proposed development has been designed to integrate commercial entities forming a coherent and incorporated solution on the site, providing a high level of:

- amenity
- passive solar access
- privacy
- visual petition
- acoustic privacy
- convenience

(refer to [Appendix B Architectural Plans](#)).

3.7.1 Building details

The minor alterations and additions will allow the space to operate as a purpose-built medical centre. The majority of the alterations are internal, with minor external works including a new access ramp and stairs and the existing pergola to be enclosed which increased the building size by 16m² with a new window, as shown on the architectural plans included at [Appendix B](#).

3.7.2 Building Height & Scale

Council Requirement:

There is no numerical requirement for building heights for the subject site, however the height of the existing dwelling will remain unchanged.

3.7.3 Side & Rear Setbacks

The proposed alterations and additions will not alter the existing side and rear setbacks.

3.8 TYPE OF BUILDING CONSTRUCTION

The proposed alterations and additions will be constructed of standard building materials to continue the existing building material pallet with light weight cladding for the walls as detailed in the Architectural plans submitted.

3.9 TRAFFIC

The proposed development will not significantly increase traffic in the area due to the low scale proposal and therefore will have no adverse impact on the local road network.

3.10 ACCESS

The combined entry/exit driveway and crossing provides vehicular access directly to/from Brunswick Street and accommodates disabled access. A disability access report is included within this application prepared by Lindsay Perry which supports the proposed works improving disability access and facilities within the site and building.

3.11 PARKING

The objectives of the Vehicle Access and Car Parking according to element C.11 of Maitland City Council's Development Control Plan 2011 are as follows:

- a) To ensure adequate provision of off-street parking to maintain the existing levels of service and safety on the road network;
- b) To detail requirements for the provision of parking and loading/unloading facilities in association with development in the City of Maitland;
- c) To provide a consistent and equitable basis for the assessment of parking provisions;
- d) To facilitate design of parking areas, loading bays and access driveways which function efficiently;
- e) To ensure that parking areas are visually attractive and constructed, designed and situated so as to encourage their safe use; and
- f) To acknowledge the traditional lack of parking spaces within areas of historical or architectural significance (Central Maitland, Morpeth) and balance this with the need to facilitate development in order to maintain vitality and vibrancy in such centres.

The proposed ground level parking design meets the above objectives. The sufficient manoeuvrability has been designed for ease of entry and exit access for staff and patients direct from Brunswick Street.

As required in Appendix A of MCC DCP 2011, the proposed development is classified as a business premises therefore car parking rates are as follows.

- One space per 40m² GFA

The proposed development requires 4 car spaces and provides four, including one disabled park. Additional on-street parking is also available along Brunswick Street with regular public transport also available to the premises.

3.12 DRAINAGE & STORMWATER MANAGEMENT

The proposed development will be provided with a 4,000L rainwater tank for reuse within the building. The proposed impermeable area will be less than the current sites impermeable area. Stormwater from the carpark will be collected and piped to the kerb inlet pit adjacent the site within Brunswick Street as detailed on the attached stormwater management plan in [Appendix E](#).

3.13 UTILITY SERVICES

Preliminary investigations have determined that adequate infrastructure exists within the surrounding residential area to support the development. The location of the proposed services is subject to the final design and approval by the relevant consent authorities.

3.14 WASTE MANAGEMENT

A Site Waste Minimisation and Management Plan has been prepared and included at [Appendix E](#) detailing the waste production during demolition, construction and operation of the development.

Due to the nature of the business the bins are able to be stored along the northern side of the building as detailed in the Waste Management Plan and Landscape Plans. The proposed development will utilise council's existing waste collection from Brunswick Street. By law clinical waste must be kept in either a locked bin or within the building where it is collected by a specialist contractor as required by law under *The Protection of the Environment Operations Act 1997*. All medical practices are regularly audited by Environmental Health Officers from the Director of Public Health Unit.

3.15 VIEWS & PRIVACY

The proposed development will not impact on any views or privacy as demonstrated in the Architectural plans. Careful consideration has been undertaken in the location of windows and the scale of the proposal.

3.16 EROSION & SEDIMENT CONTROL MEASURES

An erosion and sediment control plan have been prepared as part of this development and included in [Appendix H](#).

3.17 LANDSCAPING

Landscaping remains unchanged throughout the site and low maintenance drought tolerant plantings proposed around the carparking area.

3.18 ENERGY EFFICIENCY

The proposed alterations and additions aim to reduce energy and water consumption, in accordance with relevant guidelines.

4.0 PLANNING POLICIES

4.1 STATE PLANNING CONTROLS

The following State Environment Planning Policies have been considered:

4.1.1 SEPP (INFRASTRUCTURE) 2007

The aim of this Policy is to facilitate the effective delivery of infrastructure across the State by:

- (a) improving regulatory certainty and efficiency through a consistent planning regime for infrastructure and the provision of services, and
- (b) providing greater flexibility in the location of infrastructure and service facilities, and
- (c) allowing for the efficient development, redevelopment or disposal of surplus government owned land, and
- (d) identifying the environmental assessment category into which different types of infrastructure and services development fall (including identifying certain development of minimal environmental impact as exempt development), and
- (e) identifying matters to be considered in the assessment of development adjacent to particular types of infrastructure development, and
- (f) providing for consultation with relevant public authorities about certain development during the assessment process or prior to development commencing, and
- (g) providing opportunities for infrastructure to demonstrate good design outcomes.

Adequate infrastructure exists within the area and the proposed scale of the project does not trigger any additional assessment under this SEPP.

4.1.2 SEPP (Building Sustainability Index: BASIX) 2004

(1) Regulations under the Act have established a scheme to encourage sustainable residential development (the BASIX scheme) under which:

- (a) an application for a development consent, complying development certificate or construction certificate in relation to certain kinds of residential development must be accompanied by a list of commitments by the applicant as to the manner in which the development will be carried out, and
- (b) the carrying out of residential development pursuant to the resulting development consent, complying development certificate or construction certificate will be subject to a condition requiring such commitments to be fulfilled.

(2) The aim of this Policy is to ensure consistency in the implementation of the BASIX scheme throughout the State.

(3) This Policy achieves its aim by overriding provisions of other environmental planning instruments and development control plans that would otherwise add to, subtract from or modify any obligations arising under the BASIX scheme.

A BASIX Certificate is not required due to the commercial nature of the proposal however a Section J assessment is included as part of this development application documentation.

4.2 REGIONAL PLANNING CONTROLS

4.2.1 *Lower Hunter Regional Strategy*

The Lower Hunter Regional Strategy (LHRS) was adopted in October 2006 and provides broad guidance to future planning of the Lower Hunter. The following are aims of the strategy:

- Provide for a forecast housing demand of up to 115,000 new dwellings by 2031
- Identify new release areas
- Ensure an adequate supply of employment land in appropriate locations, close to existing centres
- Focus a higher proportion of new housing in centres which will reduce pressure on existing established suburbs
- Ensure the protection of biodiversity through a Regional Conservation Plan.

The proposed commercial development is consistent with the above aims and objectives of the LHRS, with particular emphasis on the development providing additional employment in an existing regional centre.

4.2.2 *Hunter Regional Plan 2036*

The NSW Government's vision for the Hunter is to be the leading regional economy in Australia with a vibrant new metropolitan city at its heart.

- To achieve this vision the Government has identified four key goals for the region:
 - The leading regional economy in Australia
 - A biodiversity-rich natural environment
 - Thriving communities
 - Greater housing choice and jobs.

Health services are identified as major economic drivers into the future therefore, the proposed medical centre satisfies the aims of the Hunter Regional Plan 2036.

4.3 MAITLAND LOCAL ENVIRONMENTAL PLAN 2011

The site is zoned R1 General Residential under the Maitland Local Environmental Plan 2011.

The relevant intentions for R1 that concern this particular development are:

Objectives of zone:

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day-to-day needs of residents.



Figure 5: Subject site within R1 zone

Permitted with consent

Attached dwellings; Bed and breakfast accommodation; Boarding houses; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Group homes; Home-based child care; Home industries; Hostels; Hotel or motel accommodation; Multi dwelling housing; Neighbourhood shops; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Residential flat buildings; Respite day care centres; Roads; Semi-detached dwellings; Seniors housing; Serviced apartments; Shop top housing; Tank-based aquaculture; **Any other development not specified in item 2 or 4**

As the proposed use is not listed as prohibited it is therefore permissible within the R1 zoned land

4.3.1 Land Use Definitions and Permissibility

The applicable land use definition for the proposed development, based on definitions from the Maitland LEP 2011, is a “health services facility”, which is defined as:

- A building or place used to provide medical or other services relating to the maintenance or improvement of the health, or the restoration to health, of persons or the prevention of disease in or treatment of injury to persons, and includes any of the following:
 - (a) a medical centre
 - (b) community health services facilities
 - (c) health consulting rooms
 - (d) patient transport facilities, including helipads and ambulance facilities
 - (e) hospital

The proposed health care facility is consistent with these land uses and definitions and permissible with consent considering it is not listed as a prohibited development under the R1 zoning guidelines. Additionally, there are a number of healthcare facilities along Newcastle Street and surrounding streets including a podiatrist, specialist surgeon, obstetrician and gastroenterologist.

4.3.2 Specific Maitland LEP 2011 Clauses

Clause 2.7 – Demolition Requires Development Consent

The proposed development seeks approval for demolition of internal areas of the existing building, garage and carport. A demolition plan is included within the Architectural set of plans identifying the structures to be demolished as part of this application.

Clause 4.3 – Height of Buildings

The objective of this Clause is to ensure the heights of buildings are appropriate for their location, and to permit building heights that encourage high quality urban form. There is no minimum height requirement for the dwelling in line with planning controls.

Clause 4.4 – Floor Space Ratio

As above, there is no FSR requirement for the proposal. The footprint of the existing dwelling will remain largely unchanged with the enclosure of the rear deck increasing the overall buildings gross floor area by 16m².

Clause 7.1 – Acid Sulfate Soils

As mentioned in this report, the subject site is classified ASS Class 5, therefore a management report is not required.

Clause 7.2 – Earthworks

Clause 7.2 requires that earthworks for which development consent is required will not have an adverse impact on environmental functions and processes, neighbouring uses, cultural heritage items or features of the surrounding land.

Minimal site earthworks are proposed as the design of the carpark works with the current site grades and the nature of the building is bearers and joist construction.

4.4 SECTION 4.15 OF ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

Section 4.15 (evaluation) of the EP&A Act states:

Matters for consideration—general:

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application—

- (a) the provisions of—
 - (i) any environmental planning instrument, and
 - (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
 - (iii) any development control plan, and
 - (iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
 - (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph),
 - (v) (Repealed)that apply to the land to which the development application relates,
- (b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,
- (c) the suitability of the site for the development,
- (d) any submissions made in accordance with this Act or the regulations,
- (e) the public interest.

4.5 DEVELOPMENT CONTROL PLAN 2011

The purpose of MCC DCP 2011 is to:

- provide a detailed planning document that outlines requirements for development which meets community expectations and addresses the key environmental planning issues of the Local Government Area and
- to identify certain development as advertised development and to detail public notification requirements in accordance with Section 4.15 of the EPA Act.

The relevant sections applicable to this application are addressed below:

PART B – ENVIRONMENTAL GUIDELINES

B2 – Stormwater

Skelton Consulting Engineers has prepared a Stormwater Management Plan which is included at [Appendix D](#). The proposed alterations and additions comply with council's requirements.

B4 – On-site Sewage Management Systems

This chapter applies to all land within the Maitland City Council LGA that is not capable of being connected to a reticulated sewerage system. This clause is not applicable to the proposed development due to the availability of connection to the required sewerage system.

B5 – Tree Management

There are no trees located on the site, therefore this clause does not apply.

B6 – Waste Minimisation and Management

Waste management for the proposed development will be compliant in accordance with Council's Waste Management Guidelines. A Site Waste Minimisation and Management Plan (SWMMP) has been prepared and is included as [Appendix E](#).

B7 – Riparian Land and Waterways

The subject site is not located within riparian land or any waterways.

PART C (C.8) – RESIDENTIAL DESIGN

The following controls will be applied to the development, considering the alterations and additions are of an existing dwelling, in the absence of Design Controls applicable for commercial developments.

2 - Design Criteria

The objective of this clause is to ensure residential development is of a high quality, sensitive to the existing character of the area and the opportunities and constraints of both the site and its surrounds. The proposed development complies with council's objectives with a modernised design that complements the surrounding area.

3 – Development Incorporating Existing Dwellings

NA

4 – Bulk earthworks and retaining walls

Earthworks for the proposed alterations and additions will be minimal and will preserve the existing topography and character of the neighbourhood, therefore complying with council's requirements.

5 – Street Building setbacks

Council's objective is for developments to provide setbacks that complement the streetscape, allow flexibility in the siting of buildings and allow for landscape settings and open space requirements. The proposed carpark and access ramp are not within the front setback. The footprint of the main dwelling will not change, therefore the proposed development complies with council's objective.

6 – Side and rear setbacks

The proposed development complies with setback requirements, as previously discussed.

7 – Site coverage and unbuilt areas

Skelton Consulting Engineers has prepared a Stormwater Management Plan which is included at [Appendix D](#). Site coverage is reduced from the current site coverage due to the removal of the garage and carport

8 – Building height, bulk and scale

The footprint and height of the dwelling will remain unchanged.

9 – External appearance

The proposed development includes modernising the external features of the existing dwelling which will aesthetically contribute and complement the surrounding area.

13 – Landscape Design

Landscaping remains unchanged at the front of the site and low maintenance planting and drought tolerant plantings will be implemented surrounding the carparking area.

16 – View, Visual and Acoustic Privacy

The proposed alterations and additions will not impact the views or privacy of adjoining neighbours. While a small increase in the number of people accessing the site is expected, this will not create adverse noise impact on neighbouring dwellings.

18 – Stormwater Management

Previously discussed throughout this report.

PART C.11 – VEHICULAR ACCESS AND CAR PARKING

3.1 – Access to site

The driveway is 4.5m wide and has been designed to provide safe manoeuvrability for vehicles entering/exiting the site. There is also ample turning space within the carpark, therefore the proposed development complies with council's objectives to access the site.

3.2 – Sight distances

As shown on the architectural plans, the site provides ample sight distances for all access to driveways from Brunswick Street, which is a residential street with a speed limit of 50km/hr offering additional safety for vehicles and pedestrians.

3.3 – Entrance/exit to the site

The proposed development is small-scale in nature therefore a shared entry/exit has been designed. The proposed development will also not generate higher volumes of traffic, therefore the proposed entry/exit to the site meets council's objectives.

3.4 – Location of parking areas

Council requires that parking facilities for visitors and customers be provided where clearly visible from the street so their use is encouraged. Parking is clearly visible as it has frontage to the street, therefore meeting council's objectives.

4 – Loading/unloading requirements

On-site loading and unloading facilities must be provided for all businesses, commercial, industrial, retail and storage uses and any other where regular deliveries of goods are made to or from the site. Adequate loading/unloading space is provided along the northern side of the development. Due to the small-scale nature of the development, deliveries are not expected frequently and are low scale therefore the site will adequately cope with any loading/unloading requirements.

5 – Car parking for persons with a disability

Council requires medical services to include:

- One space per two to five surgeries (or equivalent)
- Two spaces for six or more surgeries (or equivalent)

The proposed development includes two consult rooms, and one disability car space, therefore complying with council's requirements.

6 – Bicycle parking

Due to the small-scale nature of the proposed development, it is not expected that bicycle spaces will be required. However, should any staff/visitor require a space, the site has adequate space to accommodate this need.

7 – Major traffic generating development

NA

8 – SEPP Infrastructure

Covered previously in this report

Carparking requirements

Carparking is discussed in [Section 3.11](#) of this report.

C.12 – CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

Crime Prevention Through Environmental Design (CPTED) is a strategy that focuses on the planning, design and structure of cities, communities and neighbourhoods. It reduces potential criminal activity by using design and place management principles that reduce the likelihood of essential crime ingredients (law, offender, victim or target, opportunity) from intersecting in time and space. CPTED is based on four key strategies including territorial reinforcement, surveillance, access control and space/activity management. The proposal will improve the current surveillance of this area, providing active street frontage overlooking the footpath and adjacent spaces optimising safety and security for the development and the public domain.

Passive surveillance is achieved over the street, driveway and carpark. Due to the nature of the development a CPTED report is not required.

5.0 DEVELOPMENT ISSUES

5.1 PERMISSIBILITY, LAND USE AND ZONE OBJECTIVES

As indicated in [Section 4 'Planning Controls'](#) of this report, the site is zoned R1 General Residential zone.

The proposed development is permissible within the R1 zone on a merit-based assessment.

5.2 BUILDING DESIGN

The proposed development is architecturally designed to complement the existing character of Newcastle and Brunswick Streets.

The commercial premises is orientated to the street frontage providing for appropriate presentation to the street and for passive and active surveillance.

Setbacks:

Previously detailed in [Section 3.7.3](#) of this report.

Height:

As previously discussed in this report, there is no height requirement for the proposed development.

Solar Access:

The proposed development is compliant with this element of MCC DCP 2011 and the Architect has given consideration to solar orientation of the consulting rooms and reception area.

5.3 LANDSCAPING

Landscaping remains unchanged.

5.4 STORMWATER AND FLOODING

Skelton Consulting Engineers has prepared a Stormwater Management Plan, included at [Appendix E](#). The plans detail:

- Stormwater detention and reuse
- Stormwater drainage details

The plans demonstrate that the proposed development is compliant in terms of stormwater and drainage.

5.5 TRAFFIC, ACCESS & CAR PARKING

Traffic, access and parking has been explained in detail in Sections [3.10](#), [3.11](#) and [3.12](#) of this report.

5.6 SOCIAL AND ECONOMIC IMPACTS

The proposed development will have several significant social and economic benefits to the local community, including:

- Provision of much-needed healthcare services to satisfy and contribute to on-going demand.
- Contributes to economic growth of the Maitland community and encourages additional use of facilities.

5.7 UTILITIES AND SERVICES

Public utility services including reticulated water and sewer, electricity, and telecommunications are available to the site. Preliminary investigations indicate that no upgrading will be required to support the proposal.

5.8 WASTE MANAGEMENT

Waste management for the proposed development will be compliant in accordance with Council's Waste Management Guidelines. A Site Waste Minimisation and Management Plan (SWMMP) has been prepared and is included as [Appendix E](#).

Storage & Collection:

Storage and Collection areas for garbage and recycling are provided within a designated area at the northern side of the building. Waste collection is proposed via normal kerbside collection by Council services as per the current Maitland area schedule. Any sharps or bio hazardous materials are collected by a private contractor as required under the medical professional requirements

The development can be adequately serviced with regard to waste storage and collection.

6.0 CONCLUSION

The above assessment of the proposed alterations, additions and change of use to healthcare service addresses the requirements of Maitland City Council's Development Application guidelines. The development's design is in accordance with the drawings and reports submitted in the appendices. The design supports the development of the R1 General Residential zone by achieving the area plan's objectives for the site.

The nature of the building works will not affect existing service infrastructure which is adequate to cope with the proposed works. As detailed in this application, the development will have no adverse impact on the surrounding residential or business environment and supply the area with a much-needed additional healthcare service opportunity.

The proposal constitutes an appropriate form of development that is consistent with the character and uses of the surrounding area. The proposal is one that has been the subject of detailed design consideration and the resultant scheme is one which fits comfortably within the locality and which creates no significant adverse impacts on any neighbouring properties.

The proposal is reasonable and appropriate when considered under the relevant head for consideration in Section 4.15 of the Environmental Planning and Assessment Act, 1979, as amended, and is worthy of favourable consideration by Council.

APPENDIX A

Site Identification Survey

APPENDIX B

Architectural Plans & Section J Report

APPENDIX C

Hunter Water Endorsed Plans

APPENDIX D

Stormwater Management Plan

APPENDIX E

Site Waste Minimisation and Management Plan (SWMMP)

APPENDIX F

Access Report