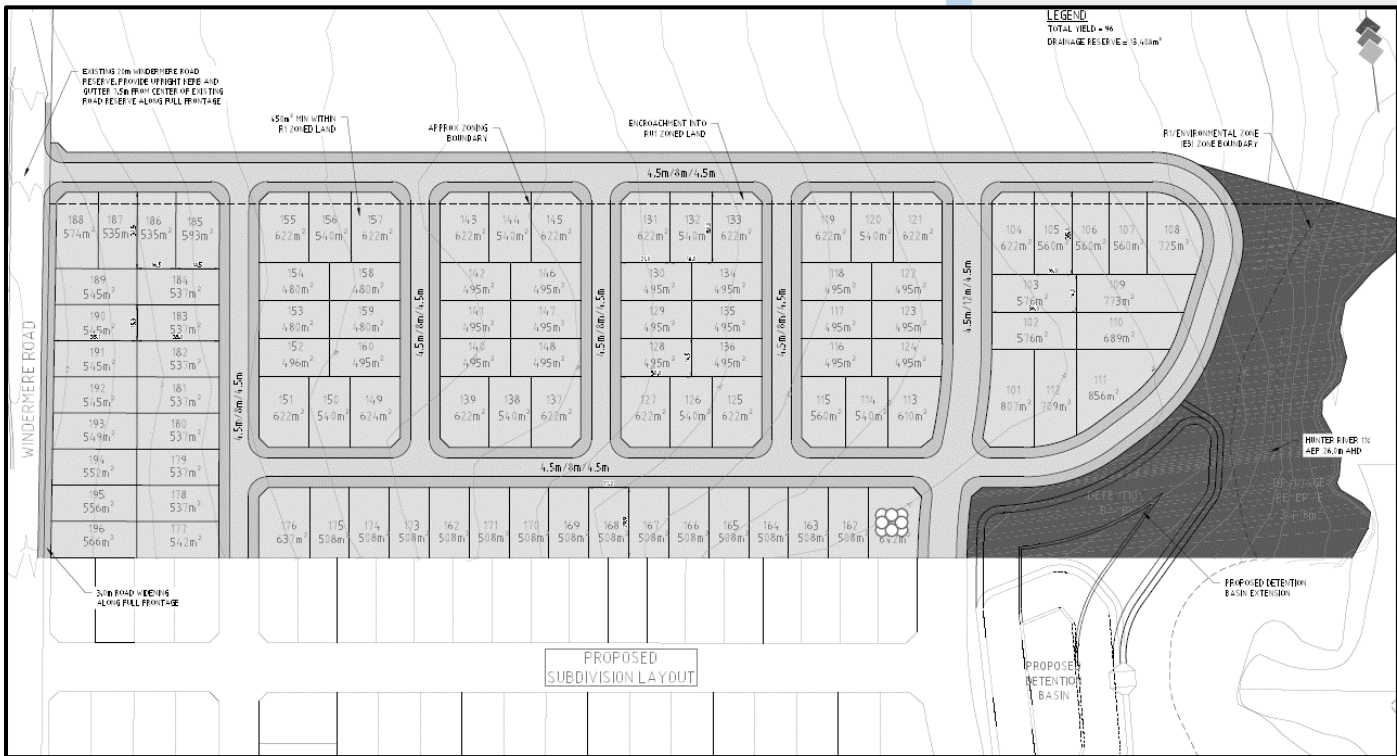


Visual Impact Assessment (VIA)

Torrens title subdivision (96 residential Lots + 1 Residue Lot)



**Windermere Road,
Windermere, NSW, 2321
(LOT: 1902 DP1112961)**

Contact:

Erin Daniel
Principal Planner,
Perception Planning
PO Box 107, Clarence Town, NSW, 2321
0428 883 911
erin@perceptionplanning.com.au

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ABBREVIATIONS

EP&A Act	Environmental Planning and Assessment Act 1979
DCP	Development Control Plan
LEP	Local Environmental Plan
LSPS	Local Strategic Planning Statement
MUSS	Maitland Urban Settlement Strategy
URA	Urban Release Area
VIA	Visual Impact Assessment

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1 INTRODUCTION

1.1 PURPOSE AND METHODOLOGY

Perception Planning Pty Ltd has been engaged by the landowners to prepare a Visual Impact Assessment (VIA) for a proposed Torrens title subdivision (1 into 96 R1 Lots and one residue RU1/C3 Lot) implemented over two stages at Windermere Road, Windermere, NSW, 2321, legally identified as Lot 1902 DP1112961 (**'the site'**). The site is located within an Urban Release Area (URA) of Lochinvar and has direct access to Windermere Road.

The purpose of this Visual Impact Assessment (VIA) is to assist Maitland City Council in their assessment and determination of the proposed development and to assist the community in understanding the development and associated visual impacts relating to scale, height, density and bulk from prominent vistas within the locality. This VIA has been prepared in accordance with best practice principles, applicable aspects of the Development Assessment Framework and *Environmental Planning and Assessment Act* (EP&A Act) 1979 (s4.15). In the absence of national or state level guidelines for VIA preparation, an approach has been developed in accordance with the following best practice guidelines:

1. Guidelines for Landscape and Visual Impact Assessment (The Landscape Institute & The Institute of Environmental Management and Assessment, 3rd Edition, 2013)
2. Residential Visual Amenity Assessment (Landscape Institute Guidance Note, March 2019)
3. NSW Government, 2019, 'Local Character and Place Guideline'.

Changes in views and visual amenity are a consideration within the planning process under s4.15 of the EP&A Act. In respect of private views and visual amenity, it is widely known that no-one has a 'right to a view'. This includes situations where a residential's property outlook and/or visual amenity is judged to be 'significantly' affected by a proposed development. Visibility is a product of both how easily a site is seen and the number of viewers that see it. Visibility also relates to visual sensitivity and how the viewer is impacted by the development. The objectives and methodology of this VIA are as follows:

- To provide a description of the site, existing development and the surrounding locality,
- To provide a description and nature of the proposed development,
- To identify and provide a discussion on the prominent vistas towards the proposed development, and
- To provide an assessment of the impact of the development on the visual amenity of the surrounding locality.

For the purposes of the assessment, two key criteria; 'sensitivity to change' and 'magnitude of change' have been used to identify and assess the level of potential visual impact, as follows:

Criteria 1: Sensitivity

Sensitivity includes both the 'susceptibility' of the viewer or receptor, and also the 'value' of the landscape in which the viewer experiences change. These two concepts are co-

dependent in determining the sensitivity of a landscape and the extent to which it can accept change of a particular type and scale without adverse effects on its character. Generally, the key factors for consideration is based on the number of people affected, land use and the distance of the viewer from the proposal (EDAW, 2000).

The site is located within close proximity to a 'visually sensitive area' (to the south, offsite) – contour along ridge line. To this extent it was requested that a VIA be prepared to address this and to also take the location of the neighbourhood playground into consideration, as identified within Chapter F.9 of the Maitland Development Control Plan 2011 (DCP). For the purposes of this assessment, consideration of the wider domain views from the immediately adjoining roads, being Windermere, Luskintyre and Cantwell Road has occurred.

In this case, sensitivity can be reasonably assumed in advance. Those living within view of the site are usually regarded as the highest sensitivity group, as it is recognised that in considering the likely effects on visual amenity experienced by residents that *'residents at home, especially using rooms normally occupied in walking or daylight hours, are likely to experience views for longer than those briefly passing through an area'* (GLVIA3 para 6.36).

Criteria 2: Magnitude of Change

The magnitude of change at any particular residential or rural-residential property depends on the nature, scale and duration of the particular change that is expected to occur and is described as substantial, moderate, slight or negligible based on interpretation of the following parameters:

- a. Distance of the property from the development
- b. Extent of the development in the view
- c. Angle of view in relation to orientation of the property
- d. Proportion of the view occupied by the development
- e. Local context in which the development is seen
- f. Extent of other built development visible, in particular vertical elements.

1.2 REPORT FORMAT

The principal tasks of the visual impact assessment process are reflected in the reports format, as follows:

- **Task 1:** Description of the existing environment and context of the site;
- **Task 2:** Identification of prominent viewpoints / vistas and a range of people and places that have visibility to the site;
- **Task 3:** Description of the proposal and associated materials, colours and design;
- **Task 4:** Determination of the likely visual impact for people and from places;
- **Task 5:** Assessment of significance associated with the visual impact and/or change;
- **Task 6:** Key findings and conclusion.

2 EXISTING ENVIRONMENT

2.1 SITE DETAILS

Site Characteristics	
Lot/DP	Lot 1902 DP1112961 (Figure 1).
Address	Windermere Road, Windermere NSW 2321 ('the site')
Area	47.51 ha
Consent Authority	Maitland City Council
Current Use	Undeveloped residential and rural land within URA.
Site Constraints	Bushfire Prone Land – Vegetation category 3 Minimum lot size – 450m ² (R1) 40 ha (RU1 & C3) Urban Release Area (Lochinvar) Acid Sulfate Soils – Class 5 Biodiversity Values Map Flood Prone Land Riparian Lands and Watercourse – Lochinvar Creek.

2.2 SITE DESCRIPTION

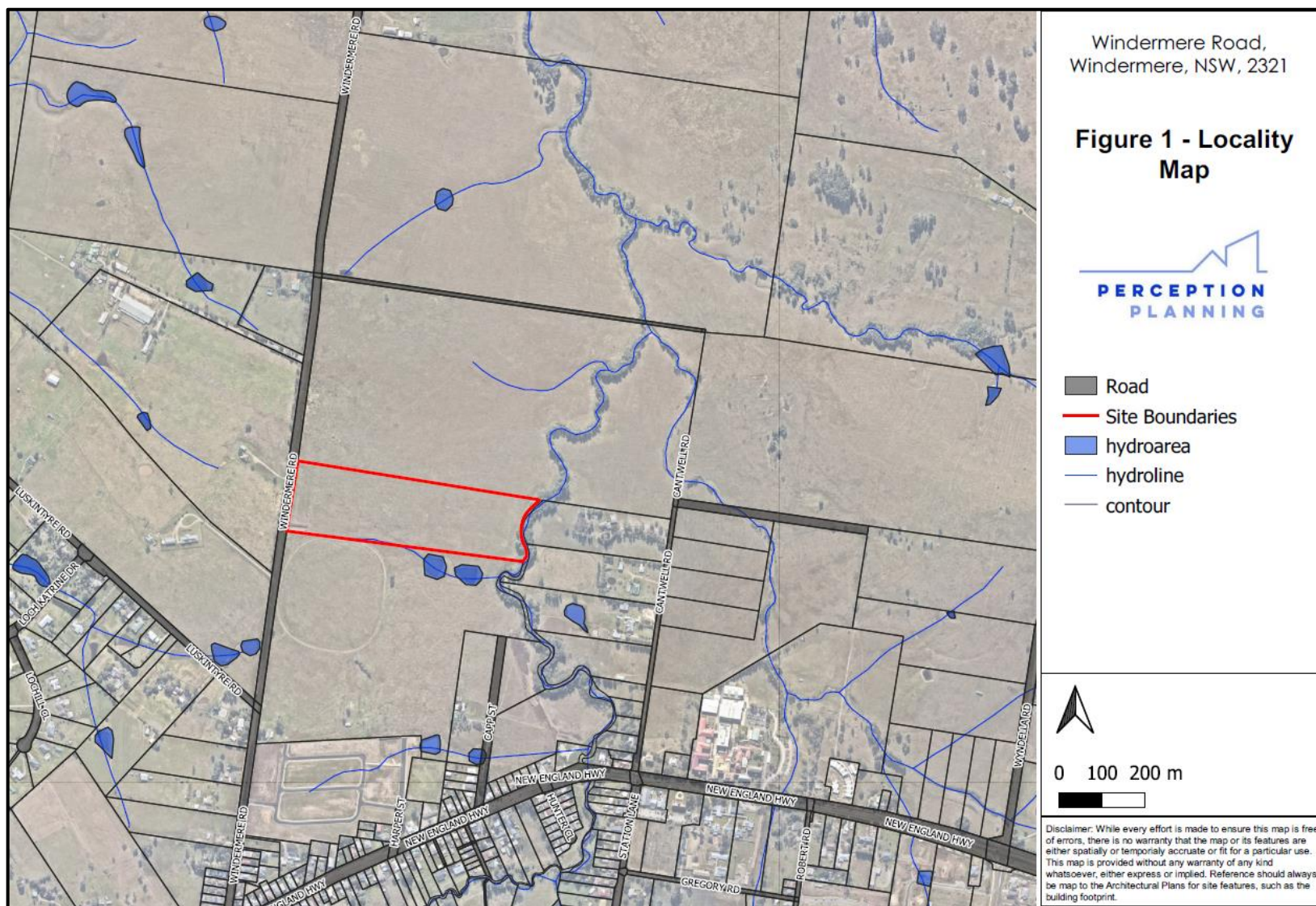
The site particulars are summarised in the table above, with site constraints obtained from the NSW Planning Portal. The site is located within the Lochinvar Urban Release Area (URA), is directly accessible from Windermere Road to the west and is bound by the Lochinvar Creek watercourse to the east. The site is zoned R1 – General Residential Zone, RU1 Primary and C3 – Environmental Management under the Maitland Local Environmental Plan 2011 (**'the LEP'**).

The Lochinvar URA is located off Windermere Road, adjoining the existing R1 General Residential subdivision known as 'Hillcrest Lochinvar' (south) and other rural allotments (north and east). The URA has traditionally been used for rural residential and grazing and is within the visual catchment of Hillcrest Lochinvar and also visible over the undulating relatively flat landscape from all directions. Riparian vegetation along Lochinvar Creek provides some visual buffering looking across the site from the east. The site is located within the northern area of the URA, which will complete development of zoned residentially zoned land within this part of the catchment.

The site currently maintains direct vehicular access from Windermere Road (160m wide), however future subdivision adjoining the site will also enable additional access via new roads from the south developed in accordance with the consent issued under DA/2020/1248. Vegetation on the site generally consists of natural grasses and has a relatively flat topography, sloping slightly down towards Lochinvar Creek. A narrow strip of riparian vegetation is associated with Lochinvar Creek, which flows through the eastern portion of the site in a northern direction. No existing structures or dams are located on the site.

The site is located approximately 500m of the New England Highway, which connects the land to Maitland, CBD, Rutherford Industrial Area, the Upper Hunter and beyond, and 5.2km from the Hunter Expressway. This site is located 3.9km from Lochinvar Train Station (south) which provides transport/connection to Scone, Maitland and Newcastle and beyond.

Figure 1 - Locality Plan (Source: Perception Planning, 2022)



2.3 CHARACTER OF LOCALITY

Character is what makes a neighbourhood distinctive and is the identity of a place. It encompasses the way it looks and feels and differentiates an area apart from another. It includes the sense of belonging a person feels to that place, the way people respond to the atmosphere and their emotional response to that place (NSW Gov, 2019). Desired future character refers to an agreed vision of how an area will change over time, including an identification of characteristics to be retained or enhanced. Visual character is formed by patterns created by the relationship of all elements within an area, including both the public and private domain.

Lochinvar is a rural – residential suburb that is situated within the western portion of the Maitland Local Government Area, that has experienced moderate to large scale residential growth over the last decade, reflective of the URA and associated zoning. As detailed within the Maitland Urban Settlement Strategy (MUSS), the expected major growth corridors for residential development during the period for the Strategy comprise of zoned residential land at Thornton North, Lochinvar, Farley and Gillieston Heights. The Maitland Local Strategic Planning Statement 2040 (LSPS) identifies that Lochinvar is located within the western precinct and incorporates priority housing release areas to accommodate future growing population.

It is noted that Clause 4.1A of the Maitland LEP 2011 provides exceptions to minimum lot sizes in the R1 Zone, with the objective of this clause aiming to encourage housing diversity without adversely impacting on residential amenity. Clause 4.1A provides that development consent may be provided if a DA proposes the subdivision of land into 2 or more lots equal to or greater than 300 square metres and the erection of an attached dwelling, a semi-detached dwelling or a dwelling house on each lot resulting from the subdivision. From this, it is clear that the Council encourages dense urban development within the R1 Zone of Lochinvar.

The subject site is located within a URA and adjoining existing and approved subdivision with patterns developed for dense urban development. The location of the site is not isolated, in comparison to the rural properties located further away from the Lochinvar neighbourhood centre. The design and character of the centre is reflective of the greater environment consisting of generally flat or low-lying topography of the land. The style of buildings anticipated is contemporary in nature, varying between weatherboard and brick veneer.

This site will complete the most north-western proportion of the currently residentially zoned land of the URA and will be the interface between general residential land use and the rural living interface, that is so characteristic of the Maitland LGA and settlement pattern.

3 DEVELOPMENT AND PLANNING CONTEXT

3.1 PROPOSED DEVELOPMENT

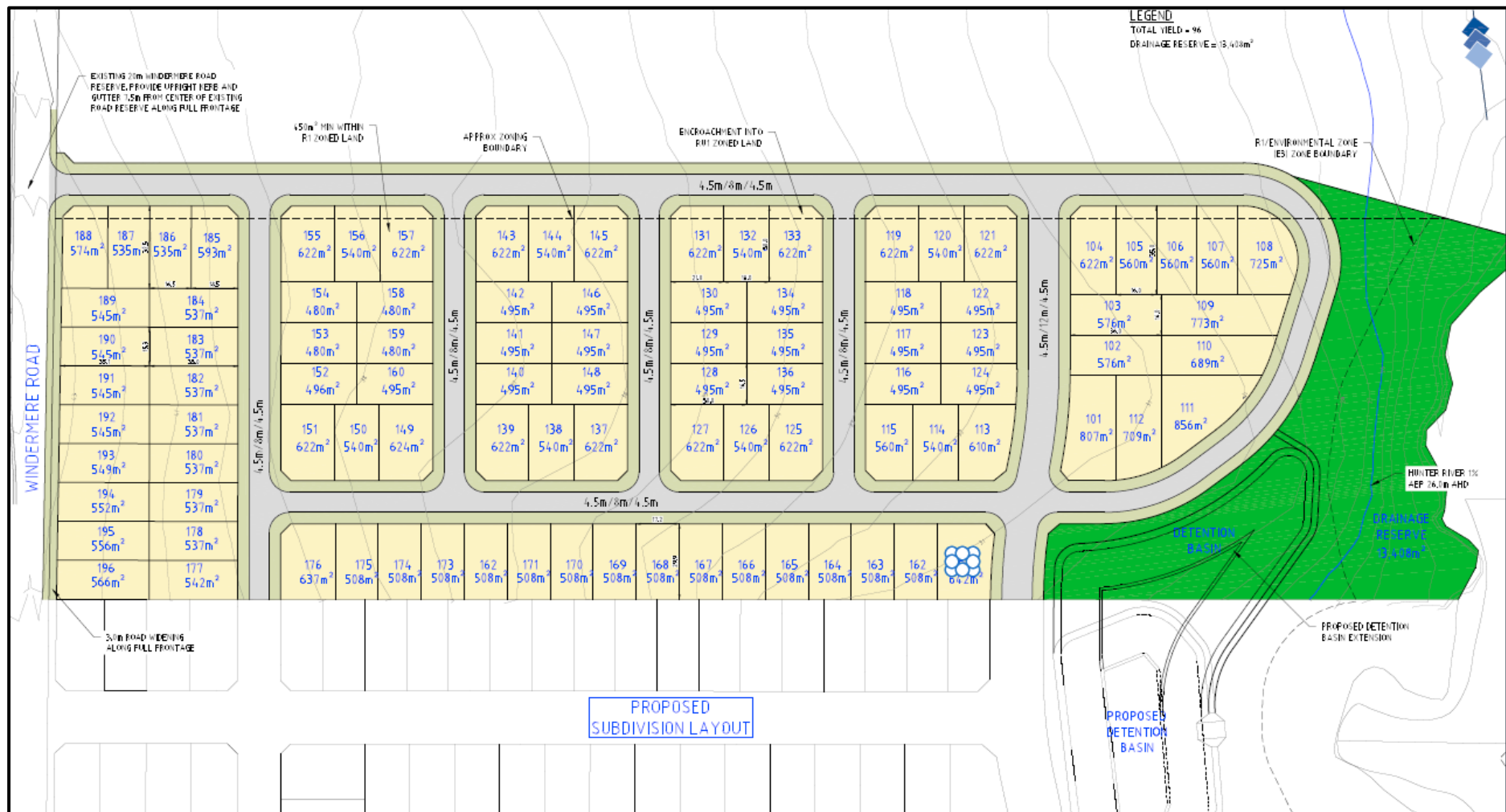
Development consent is sought for a Torrens title subdivision (1 into 96 R1 Lots and one residue RU1 Lot) implemented over two stages (**FIGURE 2**). Specifically, the proposal includes:

- 1 into 96 x R1 residential Lots delivered in two stages, being:
 - **Stage 1:** 50 Lots to the rear of the site adjoining the drainage reserve. Access will be via the adjoining constructed subdivision to the south.
 - **Stage 2:** 46 Lots with access via Windermere Rd and internally from the constructed subdivision to the south.
- One residue RU1/C3 rural Lot measuring 38.4 ha in size.
- Civil works including the creation of internal roads and stormwater drainage infrastructure (including detention basin)
- Vegetation removal and associated earthworks.

The proposed subdivision forms the logical extension of Lot provision within the Lochinvar Urban Release Area (URA) and associated approved subdivision to the south under DA 2020/1248. The proposed subdivision enables completion of the zoned land within the URA. This subdivision will not commence until such time Stage 3 of the subdivision under DA/2020/1248 has been released (including associated intersection requirements under this consent), enabling proper servicing and connection to occur.

The subject site and proposed development are reflective of the character and overall pattern of development within the Lochinvar URA. Each Lot will be capable of supporting a single dwelling with ancillary development or dual occupancy development depending on the Lot size which will respect the low scale nature of the built form within the locality.

Figure 2 - Proposed layout (Source: GCA Engineering Solutions)



3.2 PLANNING CONTEXT

Maitland Local Environmental Plan 2011 (MLEP 2011)

The site is zoned R1 – General Residential under the Maitland LEP 2011. The R1 zone objectives are as follows:

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

The proposal will contribute to providing for the housing needs of the community, will provide a variety of lot sizes for housing density in the area, and enables support to local services and facilities by attracting population to the locality.

The proposal is permissible with consent under Clause 2.6 Subdivision of the LEP. The proposal will result in ninety-eight (96) residential lots with a residentially zoned area greater than the specified minimum lot sizes in accordance with Clause 4.1 of the LEP.

The proposed subdivision and associated future residential housing construction are consistent with the intended character of the area as it provides for a housing product that meets the needs of a growing demographic in the local community. The built form of any development will be considered under future applications, however assumed will be designed and constructed to respond to the DCP requirements and existing and future characteristics of the locality, consistent with the housing that has been recently constructed within the area.

The land has been zoned R1 and identified to be located within a URA under a historic planning proposal, thus it is assumed detailed assessment of the location and density of the subdivision and future dwellings was taken into consideration at this time. In turn, the subdivision design has taken the overall layout provided within the DCP into consideration to ensure respect of the existing character of the site and locality and does not create conflict between the land use zones / adjoining zones.

Maintaining character does not mean change cannot occur. Change will likely be necessary to retain the vitality, viability, and significance of the place. The amount of change should be guided by whether the attributes that warranted the main characterisation will be retained (NSW Gov, 2019). This proposal is consistent, in that the lots have historically been used for rural residential living and large open lifestyles. The proposed subdivision design aims to provide larger than average residential lots. The northern most lots have been designed as the largest lots that each include a minor portion of RU1 land contained within 21 Lots, along with 450m² of R1 land, being:

- 104 – 108,
- 119 – 121
- 131 – 133
- 143 – 145
- 155 – 157
- 185 – 188

The intent of this inclusion is to provide larger allotments on the 'edge' of the rural zone to ensure a proper transition from the residential zone. The perimeter road is then located

wholly within RU1 land in accordance with bushfire requirements. This enables the preservation of rural character and minimises conflict between the two zones. This will reinforce the R1 zoning of the land whilst ensuring respect for the adjoining rural zones within the locality and allows for a respected transition from the residential to rural zone character and density in both the local and wider community. As requested by Council in the pre-DA meeting, the design has been amended to ensure the proposed subdivision can support itself without relying on a possible future re-zoning of the remaining land through incorporation of a perimeter road and associated street tree planting to create a ‘rural edge’, as shown in **FIGURE 3** below. This landscaping also provides a suitable buffer between the two zones and minimises conflict. To this extent, the development is compliant with the RU1 zone objectives.

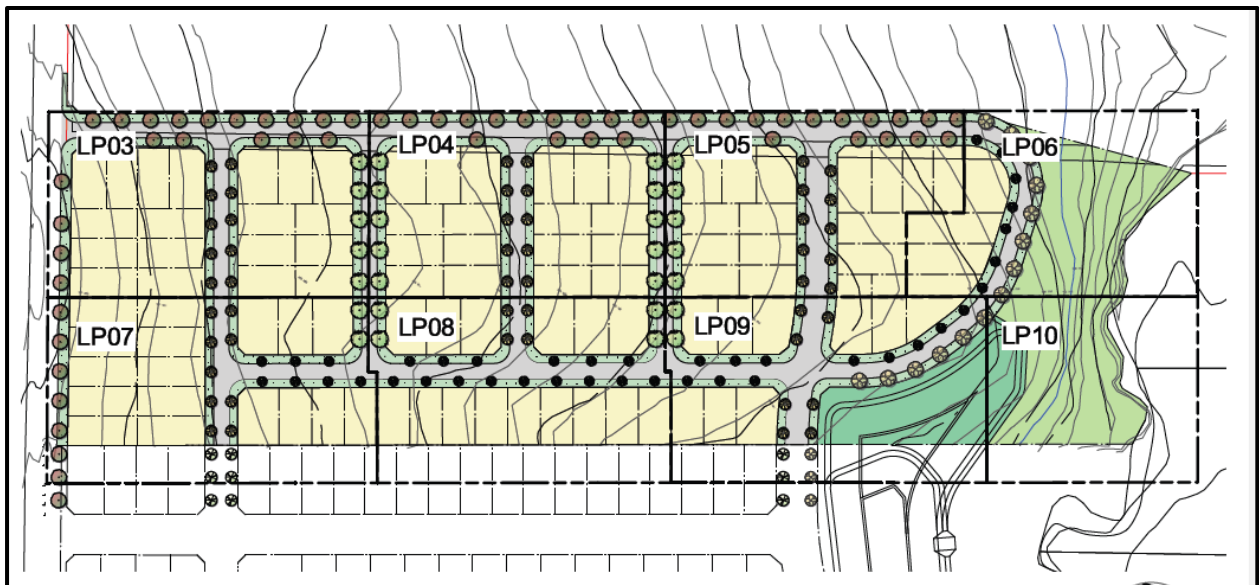


Figure 3 - Proposed landscaping to create rural edge (Moir, 2022)

Maitland Development Control Plan 2011 (DCP)

The Maitland Development Control Plan 2011 (DCP) is the primary and comprehensive DCP that applies to the entire Maitland LGA. The DCP provides guidelines and controls for specific types of development.

Part F.2 (Residential Urban Release Areas) applies to the development. The design criteria contained under Clause 2.2 states that “*subdivision design must have regard to minimising any adverse visual impacts of development when viewed from public roads and surrounding properties*” (p. 7). The design criteria contain the following under Clause 2.4:

- **D.1** *Where practicable, existing vegetation is to be maintained and enhanced (particularly along ridgelines, knolls and the slopes), so as to provide buffers and landscaped visual relief within subdivisions and housing development.*
- **D.2** *Where available, subdivision and housing design should take advantage of significant and attractive views overlooking surrounding rural lands by orienting streets and locating public space to capture views.*
- **D.3** *Development adjacent to rural land and flood prone land are to be suitably designed so as to be compatible with the existing rural character and setting.*

- **D.4** *New landscaping shall be provided in visually prominent locations throughout subdivisions, particularly adjacent to any classified roads, including road reserves where practicable, to provide visual relief to the built elements.*

Part F.9 also applies to the development, relating to the Lochinvar URA. In accordance with Clause 1.6(18) of this Part, the following is noted:

“Reference should be made to Figure 56 of this Chapter, and the adopted Lochinvar Structure Plan 2007, in identifying key sites and visually sensitive areas within the Lochinvar URA that are of particular importance and should be considered when preparing visual impact assessments to support Development Applications”.

Figure 56 of this Part (p. 154) as shown in **Figure 3** identifies a ‘visually significant area’ predominantly on 48 Windermere Road (approved for subdivision under DA/2020/1248) on the southern the adjoining lot and its common southern boundary with 26 Windermere Road, Lochinvar (approved for subdivision under DA 14-2722). This visual area is approximately 430m south of this subject site and development footprint. It is noted that no visually sensitive areas are located on the site subject of this application.

The proposed subdivision layout incorporates 96 Lots varying between 480m² and 856m² in size (generally) and detention / stormwater basin adjoining the enhancement and regeneration of the riparian zone. This site is located on the north-western extremity of the URA and residentially zoned land. Hence this proposal shall form the northern boundary of residential living on the rural land interface. As per other settlements within the URA and other greenfield development site’s this proposal includes a wide perimeter road along the rural interface (management of visual, flooding and bushfire constraints) of the site with additional street landscaping and riparian zone enhancement to soften future built elements of the development. Such measure shall act as a visual buffer when looking towards the site from the north, east and west. The design and layout aim to provide a sympathetic transition from flat rural lands into residential living when looking towards the new residential subdivision.

The Subdivision and housing lot orientation is designed to take advantage of significant and attractive views overlooking the surrounding rural lands by orienting streets to capture views.

All masterplan sites identified within the DCP are not located within proximity to the site, thus are not considered as part of this VIA. The DCP also states that *“there are no specific requirements as residential densities are already controlled by lot size in the MLEP 2011”*. Amenity impacts thus relate to the surrounding residential and rural zoned land in all directions, due to being located close to the ‘ridge’ of the adjoining land. The residential and rural zoned land surrounding the site and existing uses are consistent with the residential housing that will make up this development. The locality has seen and will continue to see the construction of new dwellings due to being located within the URA.

It was requested in the Pre-DA that a VIA be prepared for this proposal. For the purposes of this assessment, consideration of the wider domain views from the immediately adjoining roads, being Windermere, Luskintyre and Cantwell Road and consideration of the residential/rural transition zone has occurred.

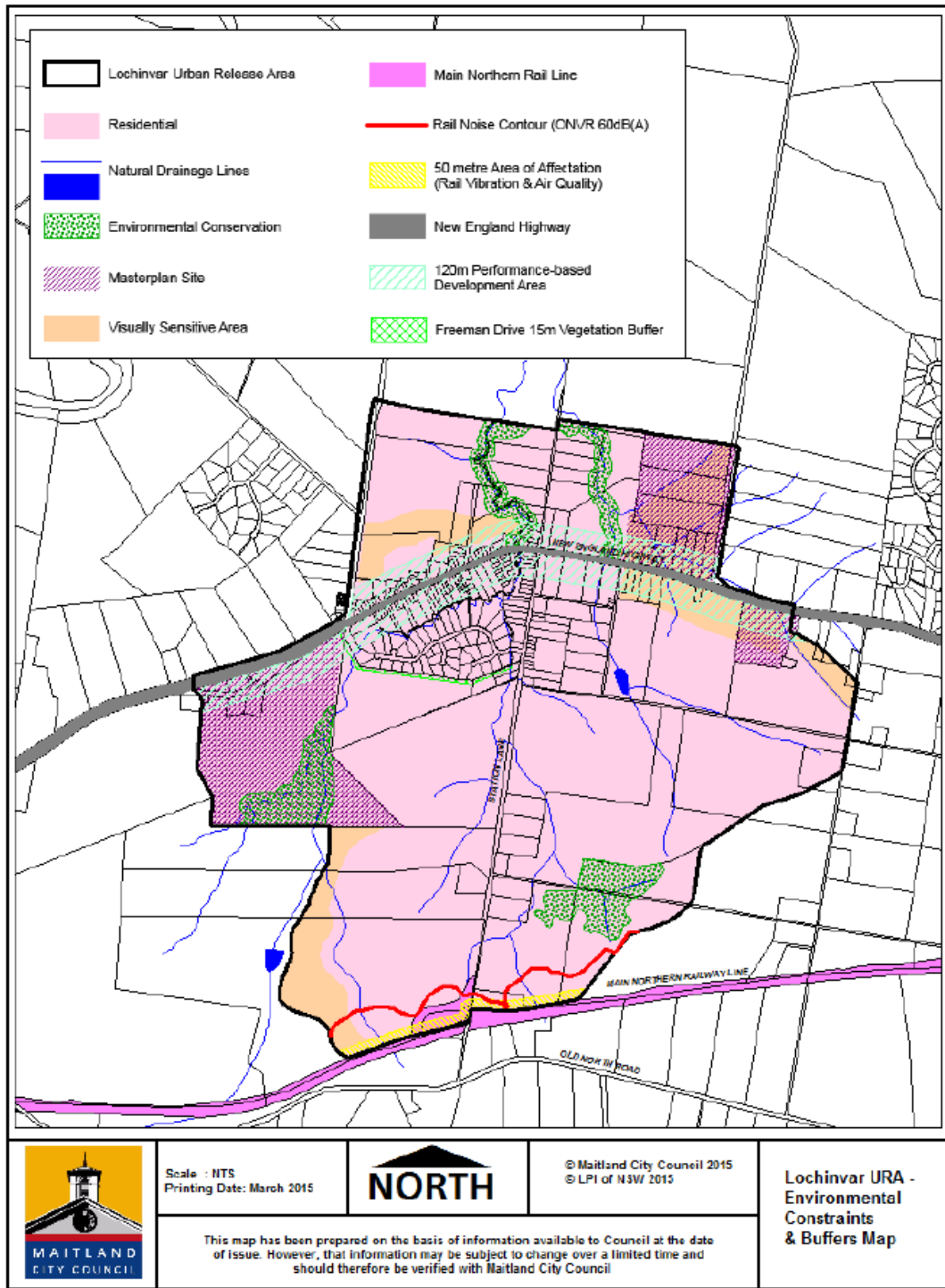


Figure 4 - Figure 56 - Lochinvar URA constraints and buffers (Source: Part F.9 of the DCP)

4 VIEWPOINTS AND IMPACT

4.0 SUMMARY

Visibility is a product of both how easily a site is seen and the number of viewers that see it. Visibility also relates to visual sensitivity and how the viewer is impacted by the development.

Locations can be visually sensitive for a number of reasons however generally relate to aspects including landscape type, landscape character, extent of vegetation, scenic quality and visibility, and how these each combine. Three main visual amenity issues have been identified as key concerns when considering the proposed subdivision of the subject site, including:

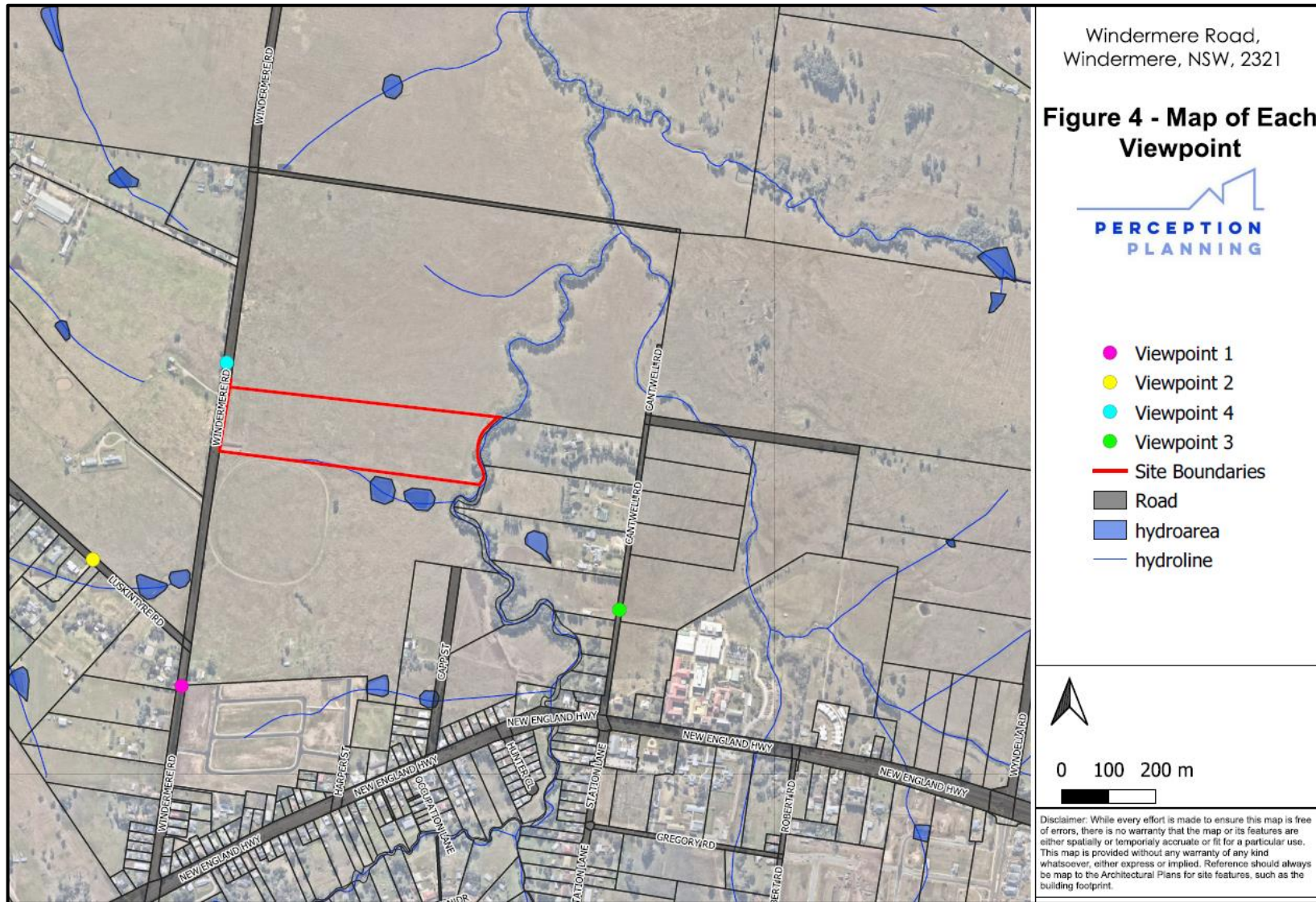
- Change to the existing character of the site and the need to achieve an attractive overall development appropriate to the rural-residential character and setting of Lochinvar;
- The potential effect on the surrounding low residential and rural settings due to any changes in views approaching the site from surrounding street connections; and
- Potential visual amenity impacts on and from nearby properties, particularly those to the north, east and west of the site.

Given the subject site is located within an Urban Release Area, adjoining rural land, four prominent viewpoints / vistas have been chosen to capture the overall visual impact of the proposed development. A summary of the prominent viewpoints / vistas towards the proposed development includes the following, as shown within **Figure 4** and outlined in red:

- **Viewpoint 1** – site viewed from adjoining southern boundary of site on Windermere Road, looking north towards the site.
- **Viewpoint 2** – site viewed from Luskintyre Road, looking east towards the site.
- **Viewpoint 3** – site viewed from 17 Cantwell Road, looking west towards the site.
- **Viewpoint 4** – site viewed from Windermere Road, looking south towards the site.

To assist in appropriately assessing the visual impact from each of these locations, provision of the 'existing' view and landscape has also been provided for contextual analysis. These images are shown in **Images 1 – 4** below.

Figure 5 - Map of each viewpoint



4.1 VIEWPOINT 1:

SITE VIEWED FROM ADJOINING SOUTHERN BOUNDARY OF SITE ON WINDERMERE ROAD, LOOKING NORTH TOWARDS THE SITE



Image 1 - Viewpoint 1

As evidenced by **Image 1**, the sensitivity to change from Windermere Road looking north and adjoining properties closest to Windermere Road towards the site is high when in a stationary position. It is however noted that no existing significant views are maintained by these properties, and views towards the site (when developed) will be consistent with the R1 General Residential development adjoining, closest to Windermere Road.

The vegetation existing on the ridgeline establishes the scale and form of the site from this viewpoint. Any future development on the site will consist of single or two storey dwellings and will not protrude higher than the background, thus will not result in dominating structures to the skyline or existing streetscape. When considering the development in context with the surrounding properties, it is appropriate in scale, proportion and form and will assist in providing additional landscaping and natural elements within the area identification to provide further visual interest from the surrounding street network and adjoining properties towards the site. The proposed development is not visually obtrusive from these viewpoints and in turn, the magnitude of change from these viewpoints is moderate.

When considering the above holistically, sensitivity to change and the degree of change to visual amenity are in turn, low.

4.2 VIEWPOINT 2:

SITE VIEWED LUSKINTYRE ROAD, LOOKING EAST TOWARDS THE SITE



Image 2 - Viewpoint 2

As evidenced by **Image 2**, the existing site (ground level) meets the skyline as a result of the land being vacant pasture and clear of structures. Upon completion of subdivision and associated construction of dwellings, this view will significantly change, when approaching the site from Luskintyre Road. However, the view of the site is only visible around 300m from the site itself, due to the undulating hills located on the northern side of the road screening development. Thus, views towards the development decreases in a fast manner and is screened the topography when located at a greater distance. The sensitivity to change at the nearest point is higher than what occurs further from the site, given the changes in topography and vegetation screening. The sensitivity to change from the viewpoints closest to the subject site is high when in a stationary position however Luskintyre Road incorporates a low traffic volume, which leads the site to have low visibility when in transit.

Future development adjoining Windermere Road is likely to consist of single or two storey dwellings, thus will not drastically change the landscape when comparing to the height of existing vegetation located adjoining these roads. In turn, future development will be well integrated into the surrounds and will not result in dominating structures to the skyline or existing streetscape. When considering the development in context with the surrounding properties and land, it is considered that future development will be appropriate in scale, proportion and form. The proposed development would not be visually intrusive from this viewpoint and in turn, the magnitude of change from these viewpoints is low – negligible.

4.3 VIEWPOINT 3:

SITE VIEWED FROM 17 CANTWELL ROAD, LOOKING WEST TOWARDS THE SITE



Image 3 - Viewpoint 3

As evidenced by **Image 3**, there are open, direct views from the road and associated dwellings towards the site. The existing open paddock is visible in the background, with existing dense vegetation located in the foreground adjoining Lochinvar Creek. This vegetation substantially screens the site thus sensitivity to change from this location is low.

4.4 VIEWPOINT 4:

SITE VIEWED FROM WINDERMERE ROAD, LOOKING SOUTH TOWARDS THE SITE



Image 4 - Viewpoint 4

As evidenced by **Image 4**, views from varying perspectives along Windermere Road towards the development is most substantial from a close viewpoint. The open pasture is visible in the foreground, whilst existing vegetation and established development is visible in the background. Whilst the sensitivity of change from this perspective is high, future development will not be inconsistent with that which is visible in the background. Further, Windermere Road incorporates a low – medium traffic volume, which leads the site to have medium visibility when in transit. The proposed subdivision layout does not incorporate any Lots within the ‘visually sensitive area’ defined by the DCP. All future development on the land will be consistent with that adjoining the site to the south within the URA, which is not likely to dominate the skyline and will be developed with sympathy to the surrounding environment, consisting of low density housing of single to two storeys in height. When considering the development in context with the surrounding properties and land, it will be appropriate in scale, proportion and form, despite being located on a ridge. The proposed development will not be visually obtrusive from these viewpoints and in turn, the magnitude of change from these viewpoints is low.

5 KEY FINDINGS AND SOLUTIONS

When considering the effect of the proposed development from viewpoints, the level of impact is determined by a combination of:

- The situation from which people may view components of the development (e.g. residential occupancy or motorists);
- The number of people with a view towards the development from any one location;
- The distance between a person and components of the development; and
- Duration of time that a person may view the development.

For the purpose of this assessment, it has been assumed, with respect to any future development of residential housing that existing significant vegetation will be retained where possible to assist with maintaining the landscape character. Additional street trees and associated landscaping will also be incorporated into the subdivision to soften the visual impact of housing within this location.

The proposed development would see a visual change in the location and change in built elements which would result in a more developed character of the site and locality. However, it is recognised that the development is responding to the aims and objectives of the R1 Zone and associated Urban Release Area, consistent with the surrounding dense development which has occurred over the last decade.

Generally, the duration of time that a person may view the development from Windermere or Luskintyre Road or surrounding roads is low – moderate, given that they are in transit along the local or main roads. Those low-density residences positioned within the closest proximity to the development that would have a permanent view of the development are not considered to be highly affected due to their existing large setbacks from the site. Future development will be required to comply with the DCP with the inclusion of appropriate setbacks, landscaping, materials, colours, and articulation to soften the appearance of the dwellings. Suitable street tree planting is also proposed to assist in ensuring rural character is preserved and forms an ‘edge’ to the development between the two zones.

This VIA has found that the proposed development would have a low to medium visual effect on the existing visual catchment surrounding the subject site. Visibility of the development is most prominent from the immediate streets, and from the north looking south however, visibility quickly decreases when stepping away from the site due to the changes in topography and large rural blocks creating spacing. Potential public viewpoints at ground level would also be largely blocked by existing housing, vegetation, and the fact that the site sits lower than surrounding properties. The site is not located within the visually sensitive area defined by the DCP and will contribute to the use and nature of the site without adversely affecting the character of the existing streets and associated development. The proposed development includes visually compatible elements within the streetscape, and along the riparian zone, and the perimeter roads with enhance vegetation and landscaping to create visual softening and increasing the attractive scenic views available. The proposal is considered to be consistent with the LGA’s developed character and residential/rural interfaces, with low density development encourage on the fringes, and as per the zone objectives, the landscaping proposed is sufficient and suitable for the area, siting and visual

impact and does not result in a negative impact to the subject site and locality and can be supported on merit by the consent authority.